

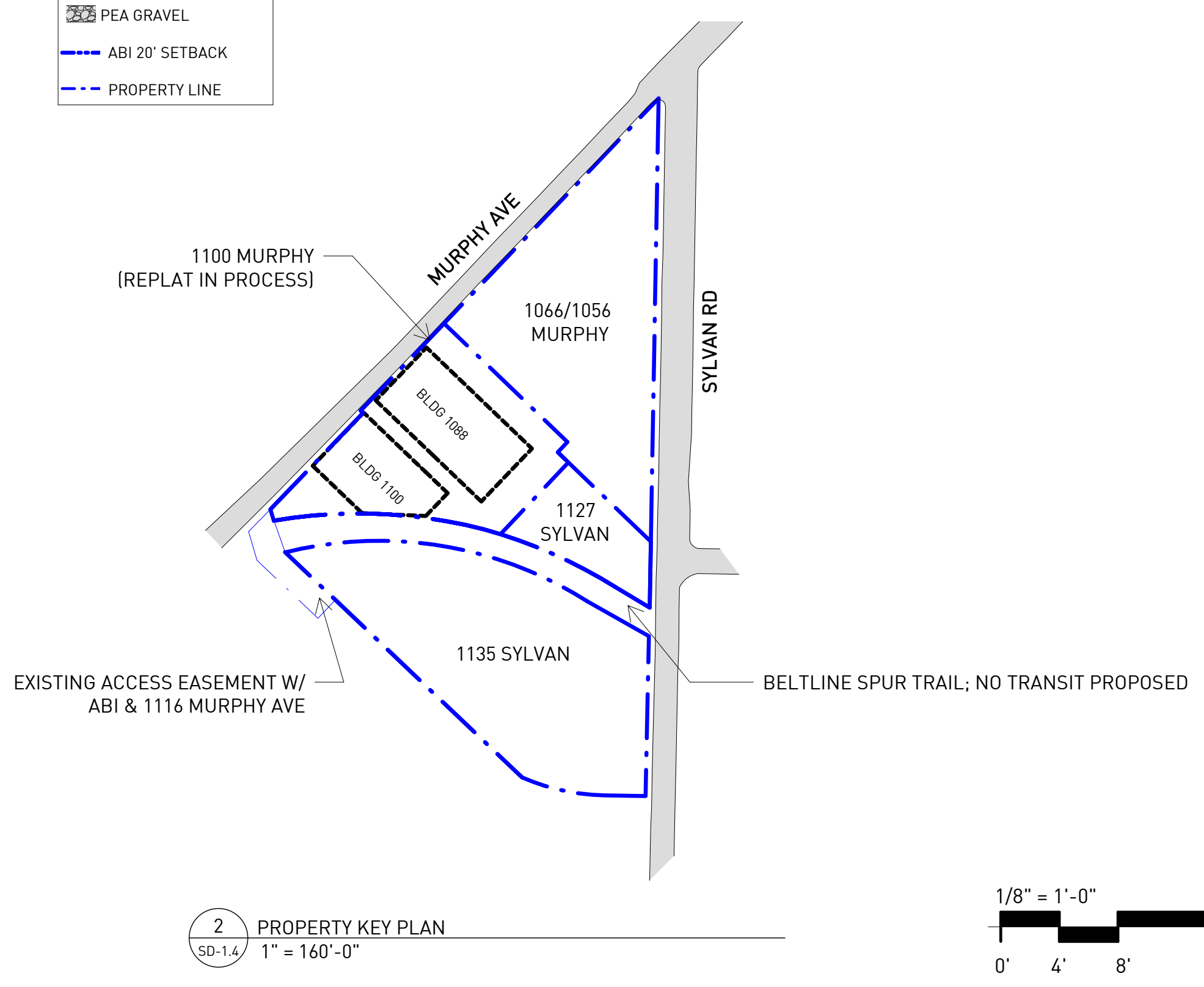
PROJECT INFO: 1100 MURPHY AVE	
ADDRESS	1100 MURPHY AVE SW ATLANTA, GA 30310
LAND LOT:	119
DISTRICT:	14
COUNCIL DISTRICT:	12
NPU:	5
COUNTY:	FULTON
CURRENT LAND USE:	INDUSTRIAL
CURRENT ZONING:	I-1-C / BL OVERLAY
OPEN SPACE & SETBACKS	
U.O.S.R.:	NONE SF
T.O.S.R.:	NONE SF
PUBLIC SPACE REQ'D:	12,309 SF (20%)
PUBLIC SPACE PROV'D:	23,000 SF (37%)
MAX BLDG COVERAGE:	N/A
MAX PERMITTED HEIGHT:	NONE
AREAS	
NLA:	61,545 SF
NONRES:	
1100 MURPHY:	61,362 SF
1088/1086 MURPHY:	59,976 SF
TOTAL NON-RES:	121,338 SF
MAX FAR:	2.0
FAR PROV'D:	1.97
USES:	
OFFICE:	SF TBD
RESTAURANT:	SF TBD
PARKING	
TOTAL PARKING REQ'D:	0 (SEE V-18-285 & V-18-284)
TOTAL OFF-SITE PROV'D:	
1127 MURPHY:	45 SPACES
1135 SYLVAN:	242 SPACES
ON-STREET:	15 SPACES
TOTAL OFF-SITE PROV'D:	302
LOADING REQ'D:	3
LOADING PROV'D:	3 (SEE NOTE)
EXT. BIKE PARKING REQ'D (1/8000):	15
EXT. BIKE PARKING PROV'D:	15 MIN.
ENCLOSED BIKE PARKING REQ'D (1/8000):	15
ENCLOSED BIKE PARKING PROV'D:	15 MIN.

- ### SITE PLAN GENERAL NOTES
- FINAL METES AND BOUNDS TO BE COORDINATED WITH REPLAT. SEE LOT CONSOLIDATION DIAGRAMS FOR FURTHER INFORMATION.
 - NEW UTILITIES TO BE UNDERGROUND TO EXTENT FEASIBLE.
 - IMPROVEMENTS IN THE BELTLINE ROW ARE TO BE COORDINATED WITH ABI AND ARE SUBJECT TO CHANGE.
 - ALL PARKING LOT LIGHTING TO BE COORDINATED TO EQUAL A MINIMUM OF TWO FOOTCANDLE OF LIGHT. NEW STREET LIGHTS AND PARKING LOT LIGHTS TO BE COORDINATED WITH GEORGIA POWER. LOADING SPACES ARE 12'-0" x 35'-0"; OWNER TO COORDINATE TIMING WITH HOURS OF BUSINESS OPERATION.
 - DUMPSTER AREA TO BE ENCLOSED WITH SELF-CLOSING OPAQUE GATE AND OPAQUE WALL. GATE AND WALL TO BE 12 INCHES MIN HIGHER THAN THE DUMPSTER RECEPTACLE. THE MAX HEIGHT OF ENCLOSURE TO BE 7'-0".
 - TREE SPECIES AND LOCATIONS TO BE FINALIZED BY LANDSCAPE ARCHITECT. A VARIETY OF TREES WILL BE USED FOR RESILIENCY PURPOSES. LANDSCAPE ARCHITECT WILL USE THE FOLLOWING SPECIES:
 - A. STREET TREES AND LINEAR APPLICATIONS: 3" CALIPER CANOPY TREE SUCH AS OAK, PRINCETON ELM, MAIN STREET SHANTUNG MAPLE, FASTIGIATE HORNBEAM. UNDERSTORY TREES BELOW POWERLINES SUCH AS SINGLE STEM NATCHEZ CRAPE MYRTLE, RISING SUN RED BUD, FRINGE TREE.
 - B. PARKING LOT TREES: 3" CALIPER MID TO OVERSTORY TREES SUCH AS YELLOWWOOD, OAK SPECIES, BALD CYPRESS, VIRGINIA PINE.
 - C. EVERGREEN TREES FOR SCREENING OR ACCENT: 10-12' HGT. DEODAR CEDAR, VIRGINIA PINE, RED CEDAR.
 - ALL PARTS OF THE PROPOSED SIDEWALK WITHIN THE PRIVATE PROPERTY THE OWNER WILL MAINTAIN IN PERPETUITY OR WILL BE DEDICATED TO COA.

***REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR PRICING DETAILS**

SITE PLAN LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVERS
- NEW ASPHALT
- GRASS / LANDSCAPING
- PEA GRAVEL
- ABI 20' SETBACK
- PROPERTY LINE



**KRONBERG
URBANISTS
ARCHITECTS**

MURPHY TRIANGLE
MURPHY AVE & SYLVAN RD
ATLANTA, GA 30310

Mark	Date	Description
1	04/10/20	SAP REVISION
	04.06.2020	SAP SUBMISSION

Project ID: 1641
 Drawn By: EMW
 Checked By: EJK

SAP SITE PLAN
BL-20-023
Drawing No. SD-1.4