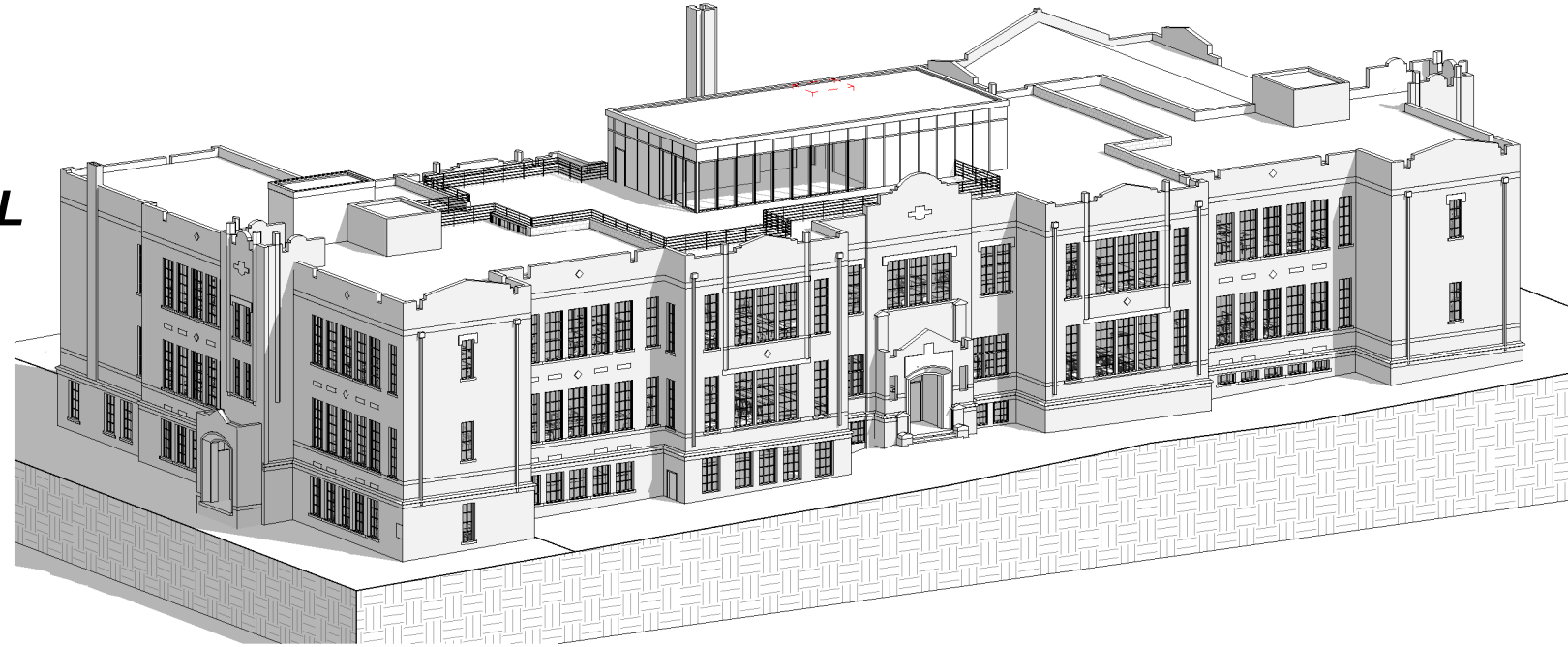


Westside Development Partners
ENGLISH AVE SCHOOL
SCHEMATIC DESIGN

10/04/2019
 LAS Project No. 11119-00



**Lord Aeck Sargent
 Architect**

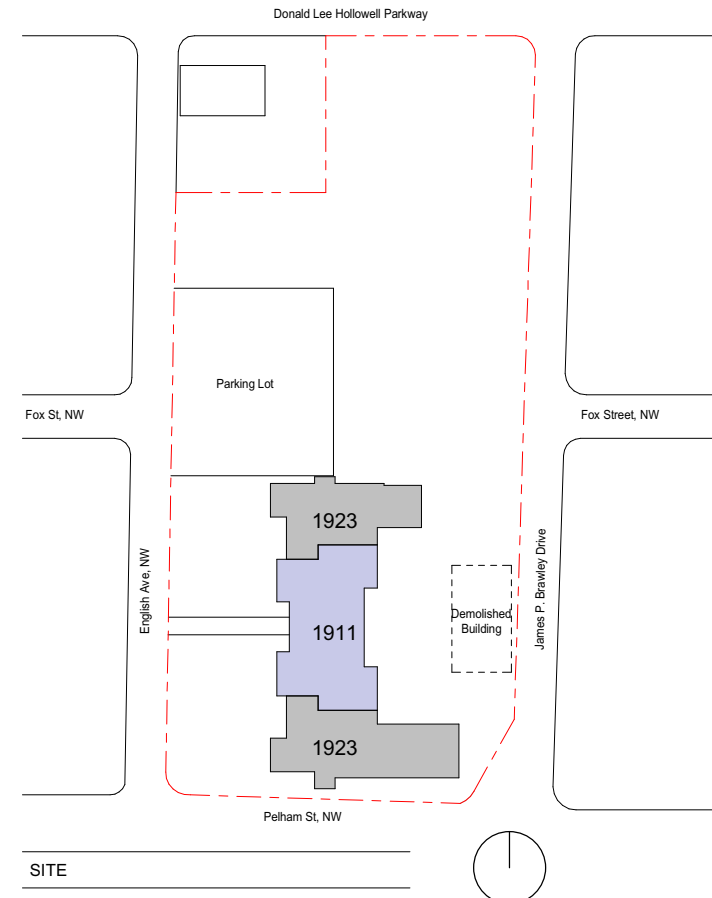
1175 Peachtree Street NE
 100 Colony Square
 Suite 2400
 Atlanta, GA 30361
 (404) 253-1400
 (404) 253-1401 - Fax

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- GENERAL**
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SITE

REVISION:

SHEET TITLE
COVER SHEET

SCALE (1/8"=1')

JOB NAME
 Westside Development Partners
 ENGLISH AVE SCHOOL
 LOCATION
 ENGLISH AVE
 ATLANTA, GA

ISSUE DATE
 10/04/2019
 JOB NO.
 11119-00
 DWG. NO.

G100

SEAL

NOT FOR CONSTRUCTION

PROJECT KEYNOTE LIST

07 9000.JS
08 1100.SF

ABBREVIATIONS

A	AND	EW	ELECTRIC WATER HEATER	KIT	KITCHEN	POL	POLISHED	VERT	VERTICAL
&	AT	EXIST	EXISTING	KO	KNOCKOUT, KNEE OPENING	PR	PAIR	VIF	VERIFY IN FIELD
@	AIR CONDITIONING	EXP	EXPANSION, EXPOSED	KS	KNEE SPACE	PSF	POUNDS PER SQUARE FOOT	VTR	VENT THROUGH ROOF
A/C	ANCHOR BOLT	EXT	EXTERIOR	L	LONG, LENGTH	PSI	POUNDS PER SQUARE INCH	VWC	VINYL WALL COVERING
AB	ACOUSTIC	F	FIRE ALARM	LAV	LAVATORY	PT	PRESSURE TREATED	W	WIDTH, WEST
AC	ACROUSTIC CEILING TILE	FA	FIRE ALARM	LVB	LAVATORY	PTN	PARTITION	W	WITH
AD	AREA DRAIN	FB	FACE BRICK	LVD	LAVATORY	PVC	POLYVINYL CHLORIDE	W	WITH
AFF	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	LB	LOAD BEARING	PVG	PAVING	W/O	WITHOUT
AHU	AIR HANDLING UNIT	FE	FIRE EXTINGUISHER IN CABINET	LBS	POUNDS	PWD	PLYWOOD	WC	WATER CLOSET, WALL COVERING
ALT	ALTERNATE	FF	FIRE EXTINGUISHER ON BRACKET	LEV	LEVEL	Q		WD	WOOD
ALUM	ALUMINUM	FF	FIRE EXTINGUISHER ON BRACKET	LH	LEFT HAND	QT	QUARRY TILE	WGL	WIRE GLASS
APPROX	APPROXIMATE	FFE	FINISHED FLOOR ELEVATION	LHR	LEFT HAND REVERSE	R		WH	WATER HEATER
ARCH	ARCHITECTURAL	FH	FIRE HYDRANT	LIN	LINOLEUM	R/A	RADIUS, RISER	WP	WATERPROOFING
AV	AUDIO-VISUAL	FHC	FIRE HOSE CABINET	LLH	LONG LEG HORIZONTAL	R		WT	WEIGHT
AVG	AVERAGE	FIN	FINISH	LLV	LONG LEG VERTICAL	R/A	RETURN AIR	WWM	WELDED WIRE MESH
		FL	FLOOR, FLOORING	LP	LOW POINT	RB	RESILIENT BASE		
B	BOARD	FO	FACE OF	LT	LIGHT	RD	ROOF DRAIN		
BD	BRICK EXPANSION JOINT	FOC	FACE OF CONCRETE	LT	LIGHT	REF	REFERENCE		
BEJ	BLOCKING	FOM	FACE OF MASONRY	LTL	LINTEL	REINF	REINFORCED, REINFORCING		
BLDG	BLOCKING	FOS	FACE OF STUDS	LVR	LOUVER	REQ'D	REQUIRED		
BLKG	BOTTOM OF	FP	FIREPROOF	LW	LIGHTWEIGHT	RES	RESILIENT		
BO	BOTTOM OF	FR	FIRE RATED			REV	REVISION		
BOT	BOTTOM	FRP	FIBERGLASS REINFORCED PLASTIC	M	METER	RH	RIGHT HAND		
BRG	BEARING	FRT	FIRE RETARDED TREATED	MAINT	MAINTENANCE	RHR	RIGHT HAND REVERSE		
BRK	BRICK	FS	FULL-SIZED	MAX	MAXIMUM	RL	RAIN LEADER		
BSMT	BASEMENT	FT	FOOT, FEET	MDF	MEDIUM DENSITY FIBERBOARD	RM	ROOM		
BUR	BUILT-UP ROOF	FTG	FOOTING	MDO	MEDIUM DENSITY OVERLAY	ROW	RIGHT OF WAY		
		FURN	FURNISH	MECH	MECHANICAL	RTU	ROOFTOP UNIT		
C	CABINET	FUT	FUTURE	MET	METAL	RUB	RUBBER		
CAB	CATCH BASIN	FV	FIELD VERIFY	MEZZ	MEZZANINE	S			
CB	CUBIC FEET PER MINUTE	G	GAS	MFG	MANUFACTURING	S	SOUTH		
CF	CUBIC FEET	GA	GAUGE	MFR	MANUFACTURER	S/A	SUPPLY AIR		
CFM	COLD-FORMED METAL FRAMING	GALV	GALVANIZED	MH	MANHOLE	S/CONC	SEALED CONCRETE		
CJ	CONTROL JOINT	GB	GRAB BAR	MIN	MINIMUM	SCHED	SCHEDULE		
CL	CENTERLINE	GC	GENERAL CONTRACTOR	MIR	MIRROR	SE	SOUTHEAST		
CLG	CEILING	GCMU	GLAZED CONCRETE MASONRY UNIT	MISC	MISCELLANEOUS	SECT	SECTION		
CLOS	CLOSET	GD	GRADE	MNT	MOUNT	SF	SQUARE FOOT		
CM	CENTIMETER	GFRC	GLASS FIBER REINFORCED CONCRETE	MO	MASONRY OPENING	SIM	SIMILAR		
CMU	CONCRETE MASONRY UNIT	GFRG	GLASS FIBER REINFORCED GYPSUM	MTG	MOUNTING	SPECS	SPECIFICATIONS		
CO	CLEAR OPENING, CLEAN OUT	GL	GLASS	MTL	METAL	SQ	SQUARE		
COL	CONCRETE	GWB	GYPSUM WALL BOARD	MULL	MULLION	SS	SERVICE SINK		
CONC	CONFERENCE	GYP	GYPSUM	N	NORTH	SST	STAINLESS STEEL		
CONF	CONSTRUCTION	H	HAND	NE	NORTHEAST	STD	STANDARD		
CONST	CONTINUOUS	HB	HOSE BIBB	NIC	NOT IN CONTRACT	STL	STEEL		
CORR	CORRIDOR	HC	HANDICAPPED, HOLLOW CORE	NO	NUMBER	STND	STAINED		
CPT	CARPET	HD	HEADER	NOM	NOMINAL	STOR	STORAGE		
CT	CERAMIC TILE	HDR	HARDWARE	NPS	NOMINAL PIPE SIZE	STRUCT	STRUCTURAL		
CW	CHILLED WATER	HDW	HARDWOOD	NTS	NOT TO SCALE	SUSP	SUSPENDED		
CY	CUBIC YARD	HK	HOOK(S)	NW	NORTHWEST	SW	SOUTHWEST		
		HM	HOLLOW METAL	O	OVERALL	SYM	SYMMETRICAL		
D	DEEP	HORIZ	HORIZONTAL	OA	OVERALL	SYS	SYSTEM		
DBL	DOUBLE	HP	HIGH POINT, HORSE POWER	OC	ON CENTER	T	TREAD		
DET	DETAIL	HR	HOUR	OD	OUTSIDE DIAMETER	T&G	TOP AND BOTTOM		
DF	DRINKING FOUNTAIN	HS	HEAT STRENGTHENED	OF	OWNER FURNISHED CONTRACTOR	TC	TOP OF CURB		
DIA	DIAMETER	HT	HEIGHT	OFI	OFFICE	TEL	TELEPHONE		
DIAG	DIAGONAL	HVAC	HEATING VENTILATION AIR CONDITIONING	OFF	OFFICE	TEMP	TEMPORARY		
DIM	DIMENSION	HW	HOT WATER	OFI	OWNER FURNISHED OWNER	THK	THICK, THICKNESS		
DN	DOWN	I	INSIDE DIAMETER	OH	OVERHEAD, OPPOSITE HAND	TO	TOP OF		
DR	DOOR	ID	INSIDE DIAMETER	OPNG	OPENING	TOC	TOP OF CONCRETE		
DS	DOWNSPOUT	INSUL	INSULATION	OPP	OPPOSITE	TOS	TOP OF STEEL		
DWG(S)	DRAWING(S)	INT	INTERIOR	OTO	OUT-TO-OUT	TOW	TOP OF WALL		
		INV	INVERT	P	PARTICLE BOARD	TS	TRANSPARENT		
E	EAST	J	JANITOR	PBD	PARTICLE BOARD	TYP	TYPICAL		
EA	EACH	JAN	JANITOR	PC	PRECAST	U	UNDERCUT		
EF	EACH FACE	JC	JANITOR CLOSET	PERF	PERFORATED	UC	UNIT HEATER		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	JST	JOIST	PL	PLATE, PROPERTY LINE	UH	UNFINISHED		
EJ	EXPANSION JOINT	JT	JOINT	PLAM	PLASTIC LAMINATE	UNFIN	UNFINISHED		
EL	ELEVATION	K	KNOCKDOWN	PLAS	PLASTER	UNO	UNLESS NOTED OTHERWISE		
ELEC	ELECTRICAL	KG	KILOGRAM	PLBG	PLUMBING	UTIL	UTILITY		
ELEV	ELEVATION			PLWD	PLYWOOD	V	VAPOR BARRIER		
EQ	EQUAL			PLYWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
EQUIP	EQUIPMENT			PNT(D)	PAINT(ED)				
EW	EYE WASH, EACH WAY								
EWC	ELECTRIC WATER COOLER								

GENERAL PROJECT NOTES

- DIMENSIONS ON PLANS ARE TO FACE OF CMU OR FACE OF GWB UNLESS NOTED OTHERWISE.
 - MASONRY DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS.
 - DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
 - DIMENSIONS RELATED TO THE EXISTING BUILDING SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
 - EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO THE OUTSIDE FACE OF GLAZING, MASONRY OR EIFS.
- PARTITIONS/FINISHES/GENERAL
- SEE LIFE SAFETY PLANS, FLOOR PLANS & PARTITION TYPES FOR LOCATION OF FIRE RATED WALLS.
 - PROVIDE CONTINUOUS HORIZONTAL BLOCKING IN ALL PARTITIONS WHERE INDICATED AND WHERE REQUIRED FOR EQUIPMENT AND CASEWORK ATTACHMENT.
 - ALL INTERIOR AND EXTERIOR WOOD BLOCKING SHALL BE TREATED AS CALLED FOR IN SPECIFICATIONS.
 - IN GENERAL, THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE OR OTHER OUTLETS. OUTLET HOLES SHALL BE PACKED WITH ACOUSTICAL SEALANT.
 - WHEN OUTLETS ARE INDICATED AS OCCURRING BACK-TO-BACK THEY SHOULD BE SEPARATED BY 16 INCHES HORIZONTALLY. WHERE DIMENSIONS ARE SHOWN WHICH CONFLICT WITH THIS, OBTAIN DIRECTION FROM ARCHITECT.
 - PROVIDE A SEALANT JOINT AT ALL INTERSECTIONS OF GWB WALLS OR GWB CEILINGS WITH CMU PARTITIONS.
 - MAINTAIN INTEGRITY OF ALL RATED PARTITIONS AT INSTALLATION OF RECESSED FIRE EXTINGUISHER CABINETS, CABINETS, TOWEL DISPENSERS, RECEPTACLES, ELECTRICAL PANELS AND OTHER RECESSED ITEMS. AT GWB WALLS, OBTAIN THIS INTEGRITY BY INSTALLING AN ADDITIONAL LAYER OF GYPSUM BOARD WITHIN WALL AROUND ALL SIDES OF ITEM AND AN ADDITIONAL LAYER BEHIND ITEM.
 - WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL AND PLUMBING ITEMS PENETRATE PARTITIONS, STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE AND/OR ACOUSTIC ISOLATION SPACES.
 - BEFORE PATCHING ANY FIRE-RATED CMU PARTITION, FILL ANY EXPOSED CELLS SOLID WITH GROUT.
 - PROVIDE FINISHED WALL UNDER AND BEHIND WALL EQUIPMENT AND CASEWORK.
- COORDINATION/INDICATION OF ENGINEERING WORK ON ARCHITECTURAL DRAWINGS:
- WORK OF ENGINEERING DISCIPLINES IS SHOWN ON ARCHITECTURAL DRAWINGS FOR COORDINATION AND CONVENIENCE PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK.
 - SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATION OF CEILING MOUNTED MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES.
 - WHERE EXPOSED STRUCTURE CEILING AREAS OCCUR IN ARCHITECTURAL REFLECTED CEILING PLANS, FULL DELINEATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS IS NOT PROVIDED, SELECTED ELEMENTS AND DEVICES MAY BE SHOWN FOR LOCATION OR COORDINATION (E.G. LIGHT AND SPRINKLER SPACING)

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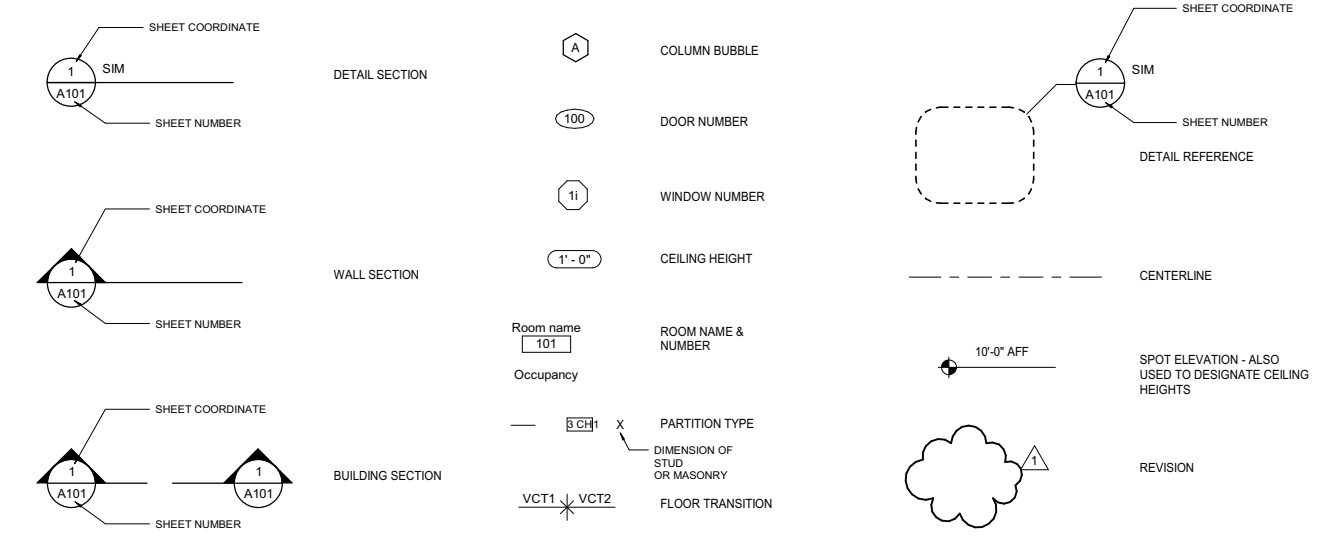
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REVISION:

KEYNOTE LIST / SYMBOLS / LEGEND / GENERAL NOTES

Westside Development Partners
ENGLISH AVE SCHOOL
ENGLISH AVE
ATLANTA, GA

SYMBOLS



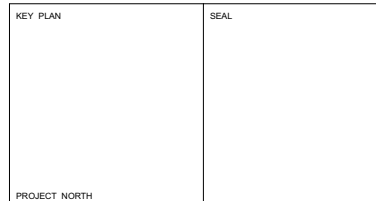
DRAWING KEYNOTING SYSTEM

A KEYNOTING SYSTEM IS USED ON THE DRAWINGS FOR MATERIAL REFERENCES AND NOTES. REFER TO THE KEY LEGEND ON THE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE SYMBOL ON THE RESPECTIVE DRAWING.

EACH KEYNOTE SYMBOL CONSISTS OF A 6-DIGIT NUMBER FOLLOWED BY AN ALPHA-NUMERIC SUFFIX. THE 6-DIGIT NUMBER RELATES TO THE SPECIFICATION SECTION WHICH GENERALLY COVERS THE ITEM THAT IS REFERENCED AND THE SUFFIX COMBINED WITH THE 6-DIGIT NUMBER CREATES A KEYNOTE SYMBOL WHICH IDENTIFIES THE SPECIFIC REFERENCE NOTATION USED ON THE DRAWING. THE SUFFIX DOES NOT RELATE TO ANY CORRESPONDING REFERENCE LETTER OR NUMBER IN THE SPECIFICATION.

THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTING SYSTEM REFERENCE NUMBER RELATED TO THE SPECIFICATIONS SECTIONS NUMBERING SYSTEM, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

THE KEYNOTE LIST IS NOT A COMPLETE LIST OF THE CONTRACT SPECIFICATIONS NOR IS IT A COMPLETE LIST OF ALL MATERIALS CALLED FOR.

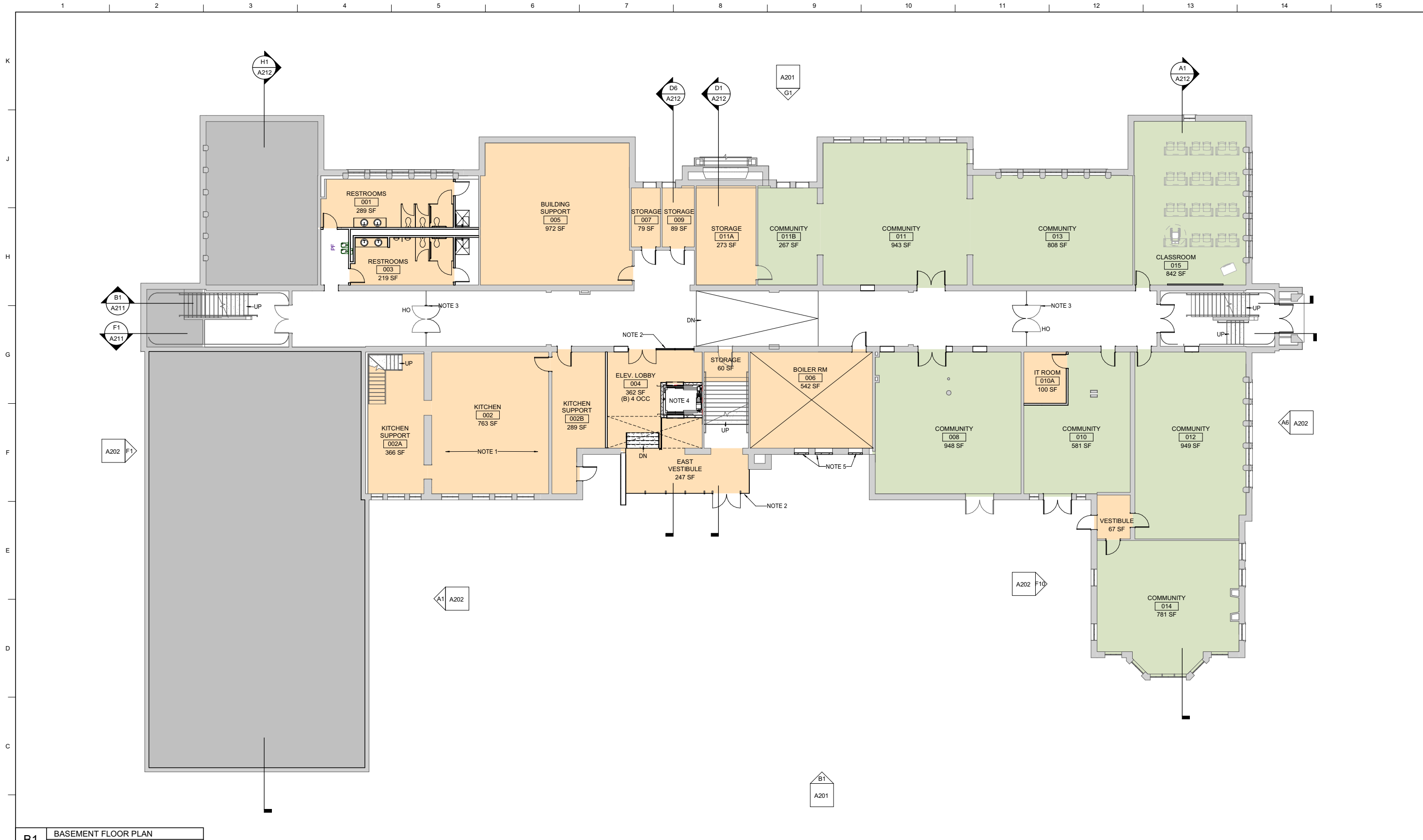


ISSUE DATE: 10/04/2019
JOB NO.: 11119-00
DWG. NO.: G101

PROJECT NORTH

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B1 BASEMENT FLOOR PLAN

MATERIAL KEYNOTES

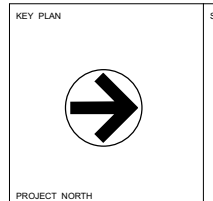
	EXISTING
	NEW CONSTRUCTION
HO	HOLD - OPEN DOORS

GENERAL NOTES

- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- ANY NEW WALLS INFILLING EXISTING, MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- KITCHEN TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE BY KITCHEN DESIGNER. INSTALL TILE FLOOR, IMPACT RESISTANT GWB WALLS, AND SS WAINSCOTT.
- NEW INTERIOR STOREFRONT SYSTEM.
- REHABILITATE EXISTING DOORS.
- NEW ELEVATOR, FIVE STOPS. FRONT AND REAR OPENINGS.
- BRICK IN EXISTING WALL VENTS AT BOILER ROOM.



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REVISION:

SHEET TITLE
BASEMENT FLOOR PLAN

SCALE (IN.):
1/8" = 1'-0"
1/4" = 1'-0"
1/2" = 1'-0"
3/4" = 1'-0"
1" = 1'-0"
1 1/4" = 1'-0"
1 1/2" = 1'-0"
1 3/4" = 1'-0"
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2 1/4" = 1'-0"
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14" = 1'-0"
14 1/4" = 1'-0"
14 1/2" = 1'-0"
14 3/4" = 1'-0"
15" = 1'-0"

JOB NAME
Westside Development Partners

LOCATION
ENGLISH AVE
ATLANTA, GA

ISSUE DATE
10/04/2019

JOB. NO.
11119-00

DWG. NO.
A101



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B1 FIRST FLOOR PLAN

MATERIAL KEYNOTES


	EXISTING
	NEW CONSTRUCTION
HO	HOLD - OPEN DOORS

GENERAL NOTES

- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- ANY NEW WALLS INFILLING EXISTING, MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- BUILD OUT WALL FOR FIRE CURTAIN.
- NEW STOREFRONT SYSTEM.
- REHABILITATE EXISTING DOOR.
- NEW ELEVATOR, FIVE STOPS. FRONT AND REAR OPENINGS.
- NEW STEEL STAIRS.
- NEW INTERIOR STOREFRONT, TYPICAL AS INDIVIDUAL OFFICE DIVIDERS. SLIDING DOORS AT STOREFRONT OFFICE DIVIDERS.
- PROVIDE NEW DROPPED GYPSUM SOFFIT. LOCATION BASED ON HISTORIC LOCATION OF CLOSETS.
- PRINTING STATION.

KEY PLAN 

PROJECT NORTH

SEAL

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REVISION:

SHEET TITLE: **FIRST FLOOR PLAN**

JOB NAME: **Westside Development Partners**

LOCATION: **ENGLISH AVE ATLANTA, GA**

ISSUE DATE: **10/04/2019**

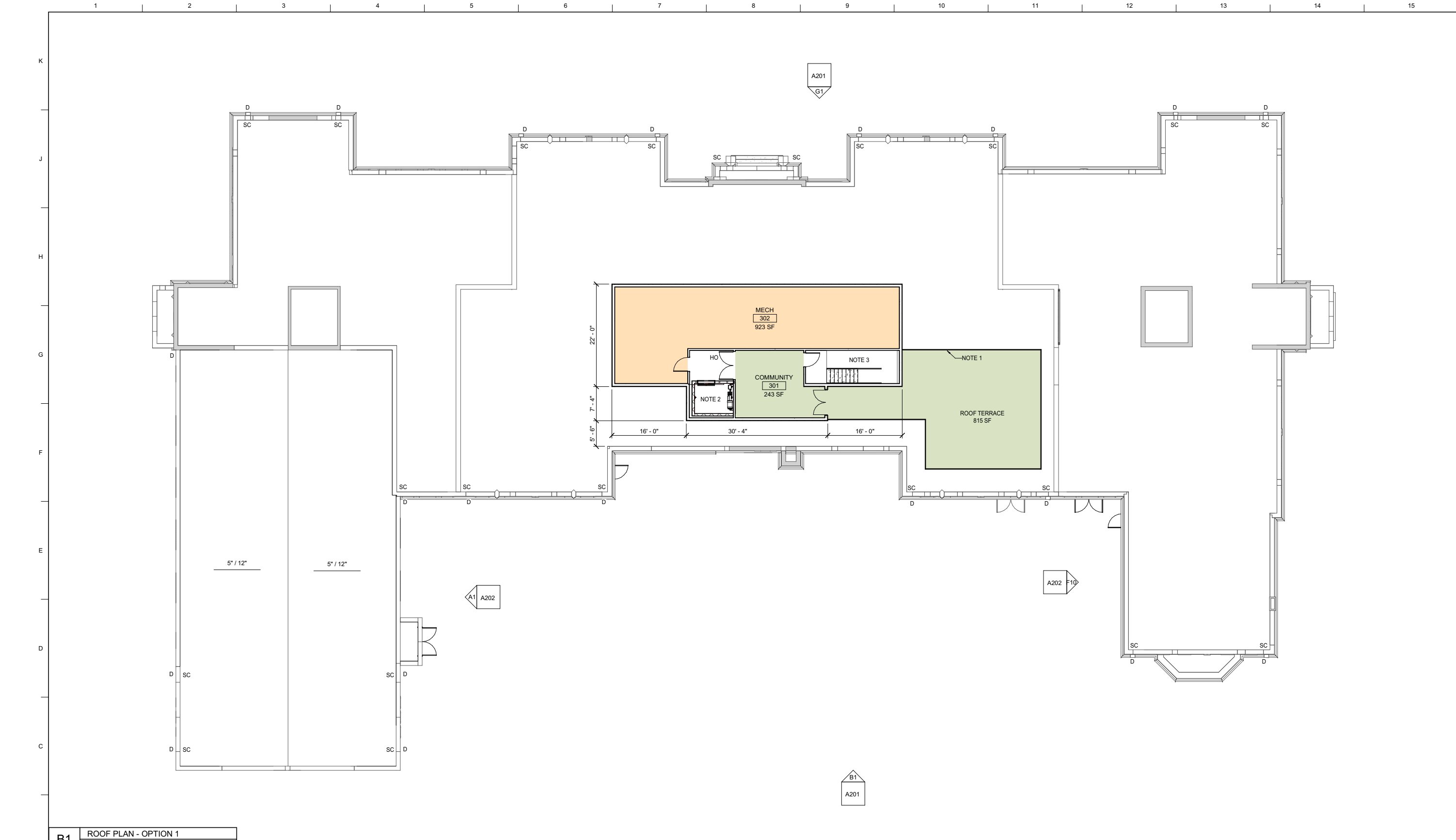
JOB NO.: **11119-00**

DWG. NO.: **A102**

SCALE (IN.): **1/8" = 1'-0"**

SCALE (FT): **1" = 20'-0"**

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REVISION:

SHEET TITLE

ROOF PLAN - DESIGN OPTION 1

SCALE (IN/FT)

1" = 10'-0" 1/4" = 1'-0" 1/8" = 1'-0" 1/16" = 1'-0" 1/32" = 1'-0" 1/64" = 1'-0"

JOB NAME

Westside Development Partners

LOCATION

ENGLISH AVE SCHOOL
 ENGLISH AVE
 ATLANTA, GA

ISSUE DATE

10/04/2019

JOB NO.

11119-00

DWG. NO.

A104

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B1 ROOF PLAN - OPTION 1

MATERIAL KEYNOTES

	EXISTING
	NEW CONSTRUCTION
	HOLD - OPEN DOORS

ROOF LEGEND

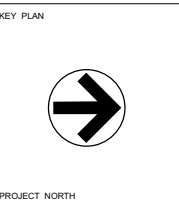
SC	SCUPPER
D	DOWNSPOUT

GENERAL NOTES

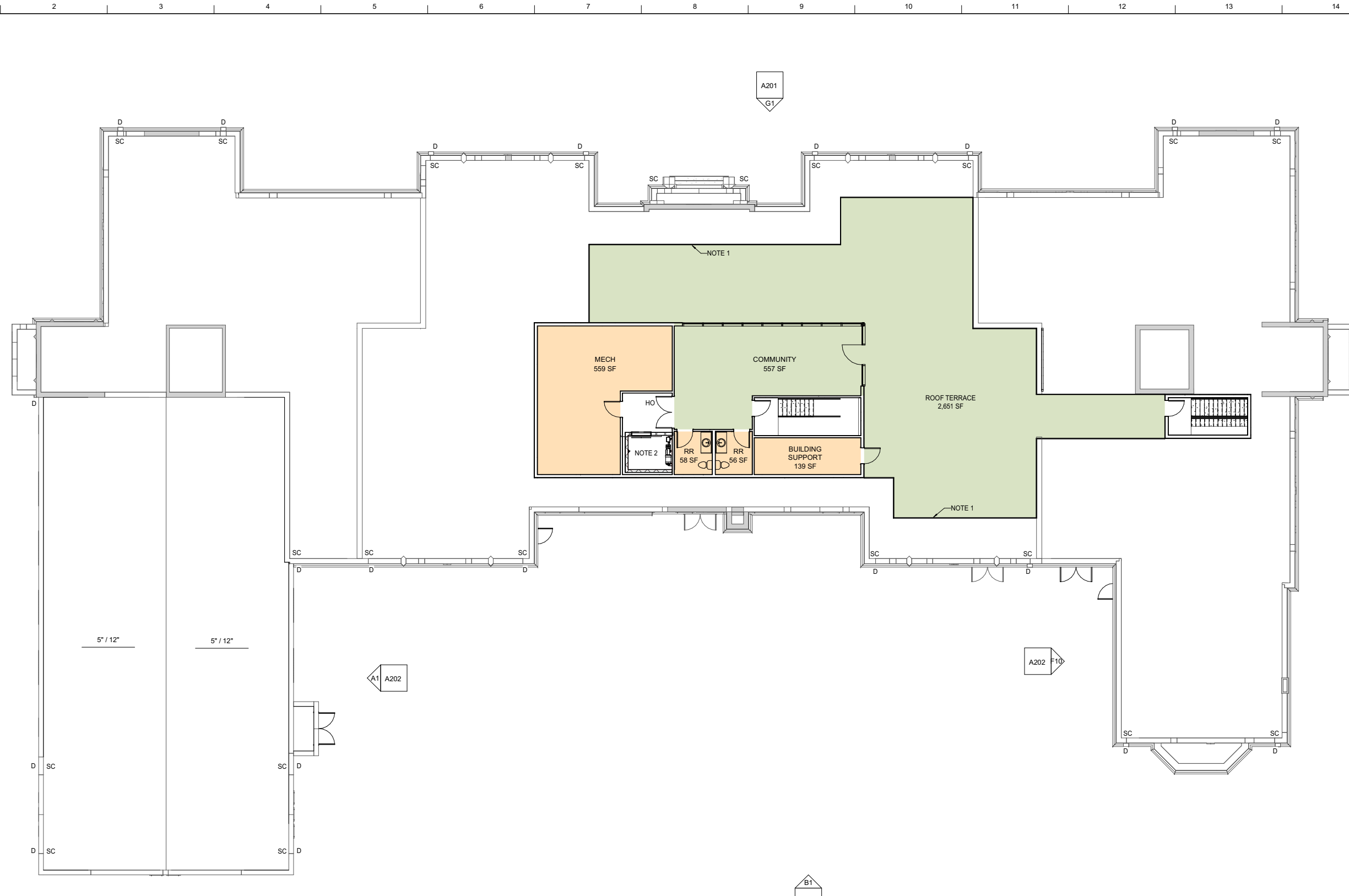
- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK
- ANY NEW WALLS INFILLING EXISTING, MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC./STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- NEW METAL RAILING.
- NEW ELEVATOR, FIVE STOPS. FRONT AND REAR OPENINGS.
- NEW STEEL STAIR



SEAL



B1 ROOF PLAN - OPTION 2

MATERIAL KEYNOTES

	EXISTING
	NEW CONSTRUCTION
	HOLD - OPEN DOORS

ROOF LEGEND

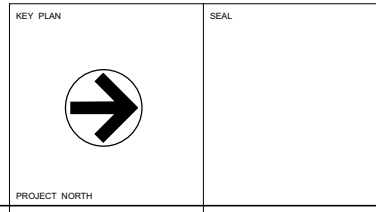
SC	SCUPPER
D	DOWNSPOUT

GENERAL NOTES

- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- ANY NEW WALLS INFILLING EXISTING, MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- NEW METAL RAILING.
- NEW ELEVATOR, FIVE STOPS. FRONT AND REAR OPENINGS.



REVISION:

SHEET TITLE
ROOF PLAN - DESIGN OPTION 2

SCALE (IN/FT)
1/8" = 1'-0" 1/4" = 3'-0" 1/2" = 6'-0" 3/4" = 9'-0" 1" = 12'-0"

JOB NAME
Westside Development Partners

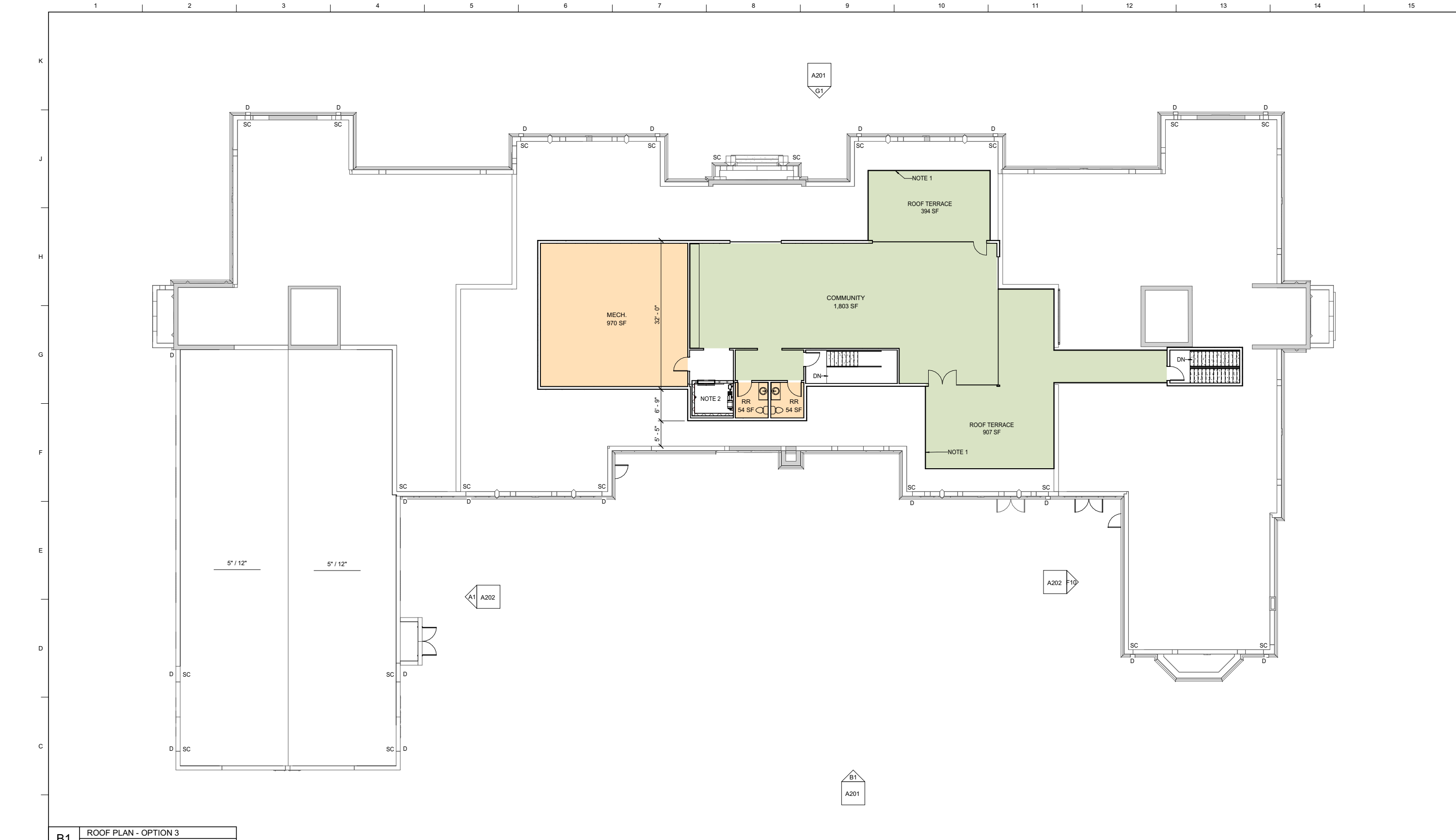
LOCATION
ENGLISH AVE SCHOOL
ENGLISH AVE
ATLANTA, GA

ISSUE DATE
10/04/2019

JOB. NO.
11119-00

DWG. NO.
A105

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B1 ROOF PLAN - OPTION 3

MATERIAL KEYNOTES

	EXISTING
	NEW CONSTRUCTION
HO	HOLD - OPEN DOORS

ROOF LEGEND

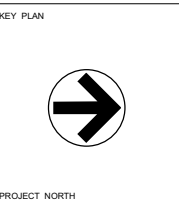
SC	SCUPPER
D	DOWNSPOUT

GENERAL NOTES

- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- ANY NEW WALLS INFILLING EXISTING, MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- NEW METAL RAILING.
- NEW ELEVATOR, FIVE STOPS. FRONT AND REAR OPENINGS.



SEAL

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10/04/2019

JOB. NO.
11119-00

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A106

SHEET TITLE
ROOF PLAN - DESIGN OPTION 3

SCALE (IN.)
1/8" = 1'-0"

JOB NAME
Westside Development Partners

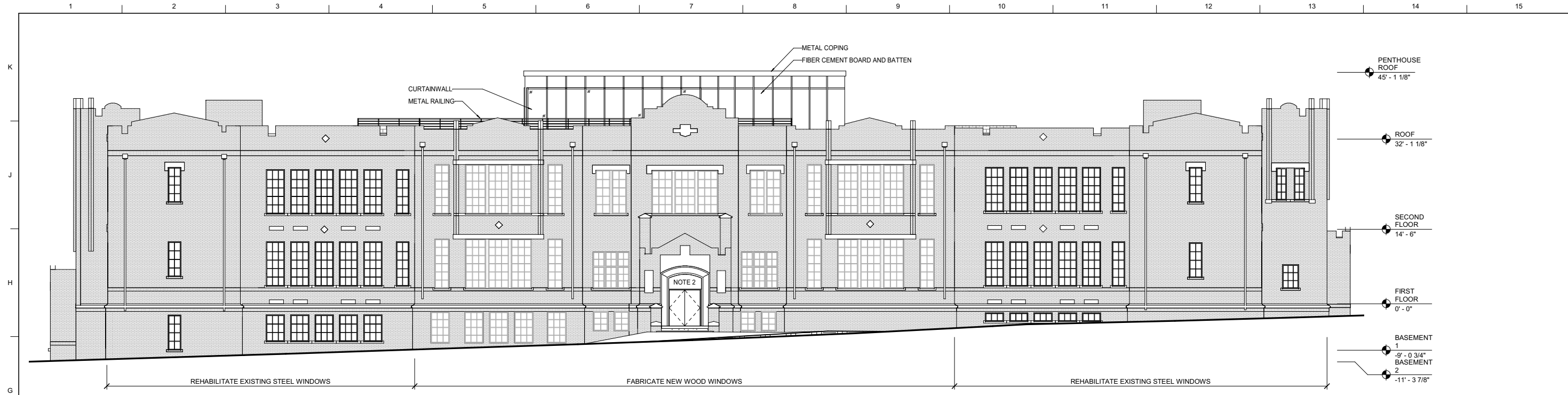
LOCATION
ENGLISH AVE
ATLANTA, GA

LORD AECK SARGENT
A KATERRA COMPANY

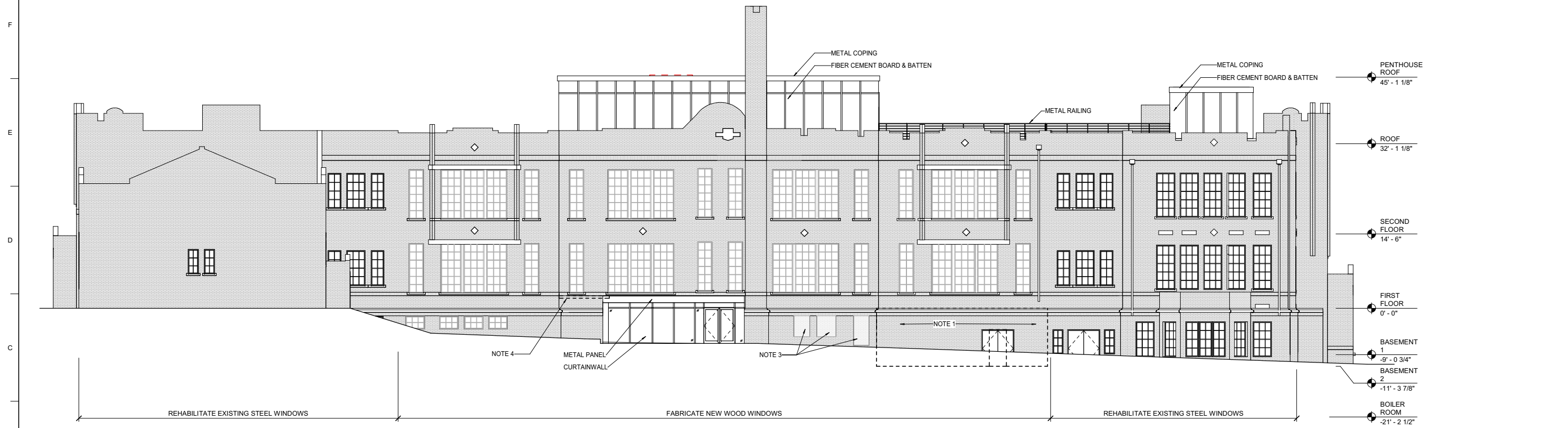
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G1 WEST ELEVATION



B1 EAST ELEVATION

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

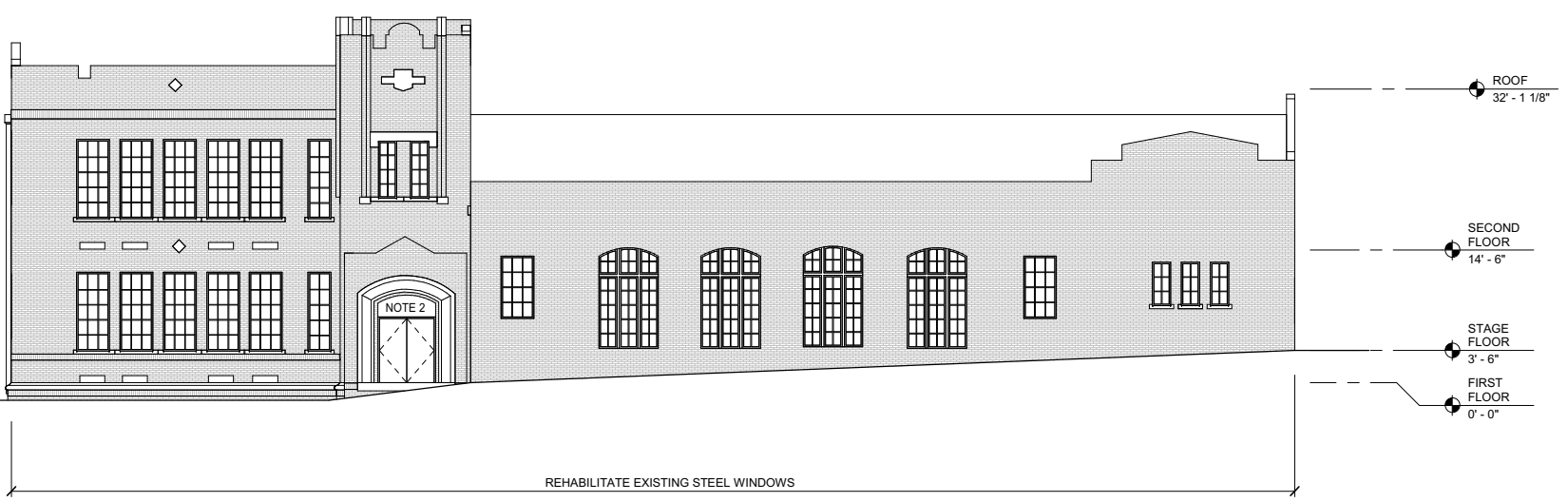
- A. REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.

- 1. REMOVE NON-HISTORIC CONCRETE BLOCK ADDITION.
- 2. FABRICATE NEW DOOR AND TRANSOM WINDOW.
- 3. BRICK IN EXISTING WALL VENTS AT BOILER ROOM.
- 4. REMOVE NON HISTORIC SHED ROOF.

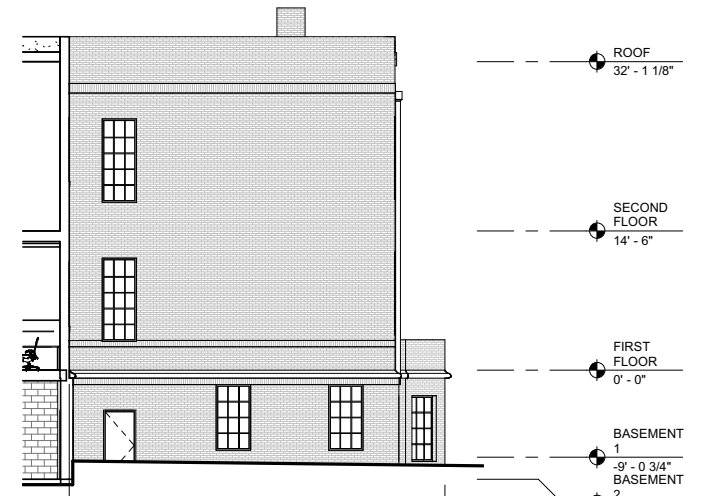
REVISION:

NOT FOR CONSTRUCTION

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 11/5/2020 1:37:29 PM



F1 SOUTH ELEVATION



F10 NORTH WING - SOUTH ELEVATION



A1 GYM - NORTH ELEVATION



A6 NORTH ELEVATION

MATERIAL KEYNOTES

GENERAL NOTES

A. REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.

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REVISION:

SHEET TITLE
EXTERIOR ELEVATIONS
 SCALE (IN.)
 1" = 20'-0"

SHEET SPECIFIC NOTES

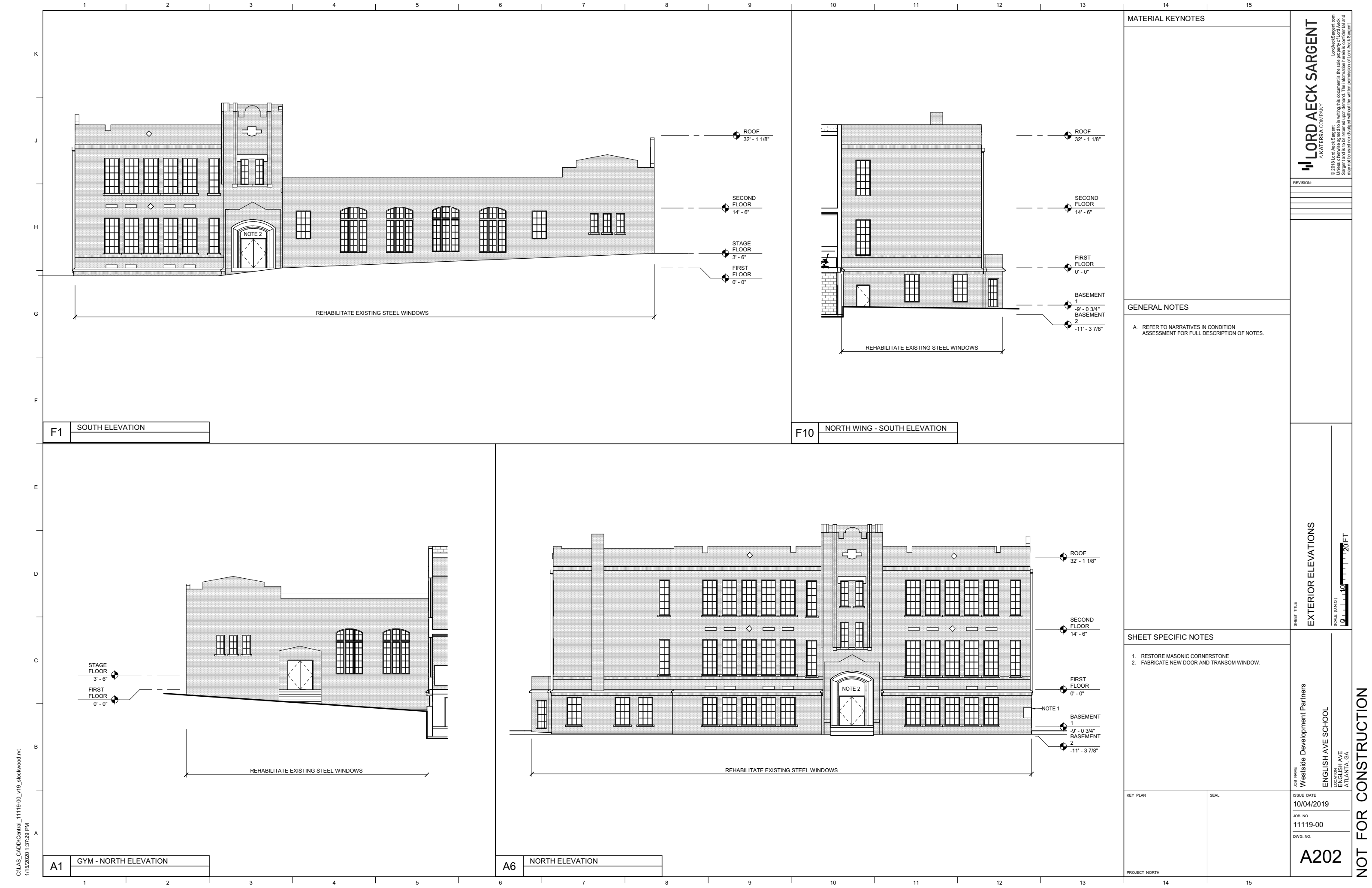
1. RESTORE MASONIC CORNERSTONE
2. FABRICATE NEW DOOR AND TRANSOM WINDOW.

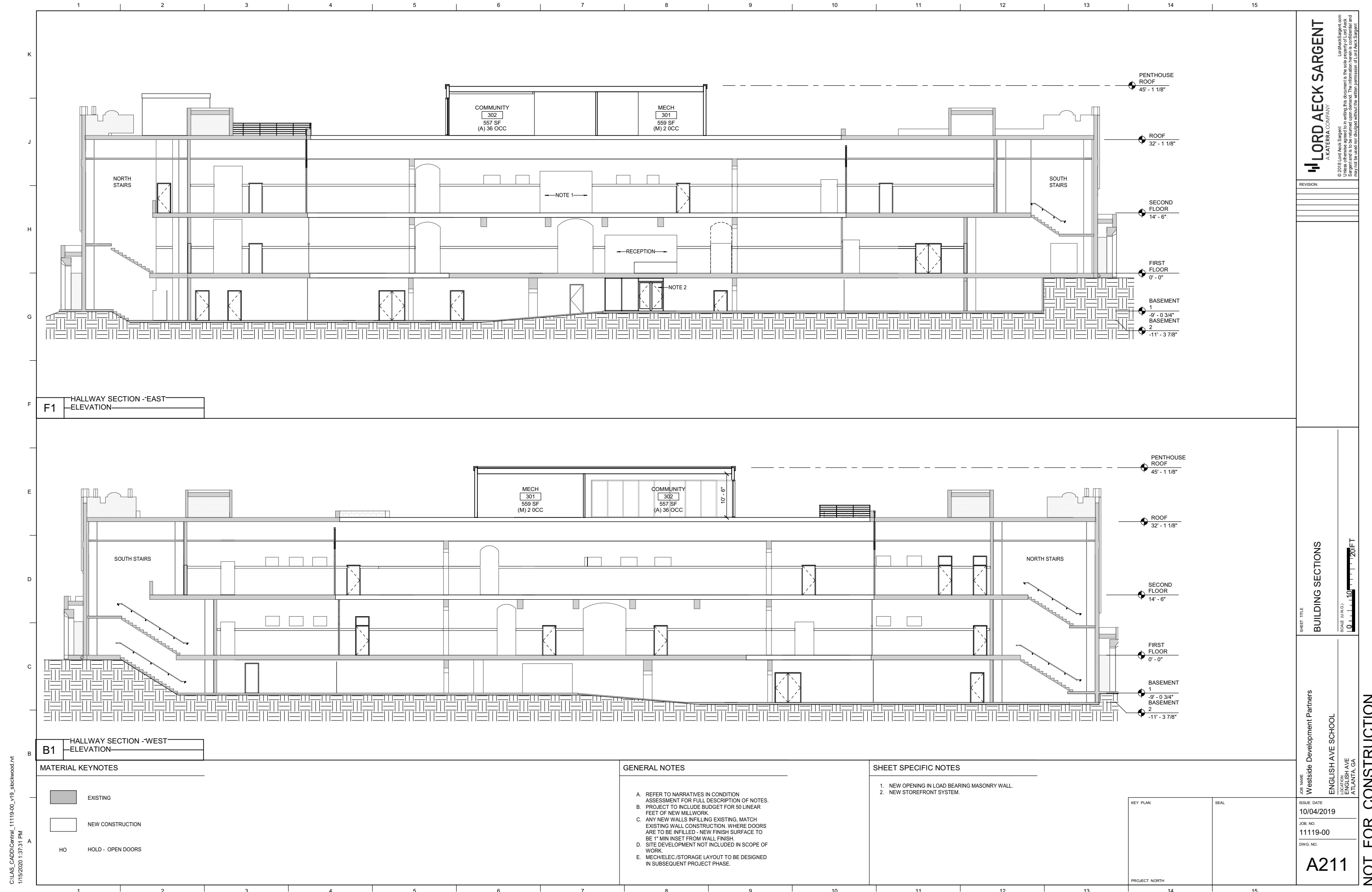
JOB NAME
 Westside Development Partners
 ENGLISH AVE SCHOOL
 LOCATION
 ENGLISH AVE
 ATLANTA, GA

ISSUE DATE
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 JOB NO.
 11119-00
 DWG. NO.

A202

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F1 HALLWAY SECTION -EAST
ELEVATION

B1 HALLWAY SECTION -WEST
ELEVATION

MATERIAL KEYNOTES

	EXISTING
	NEW CONSTRUCTION
	HOLD - OPEN DOORS

GENERAL NOTES

- REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- ANY NEW WALLS INFILLING EXISTING MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

- NEW OPENING IN LOAD BEARING MASONRY WALL.
- NEW STOREFRONT SYSTEM.

KEY PLAN	SEAL
PROJECT NORTH	

REVISION:

BUILDING SECTIONS

SCALE (IN.): 1/8" = 1'-0"

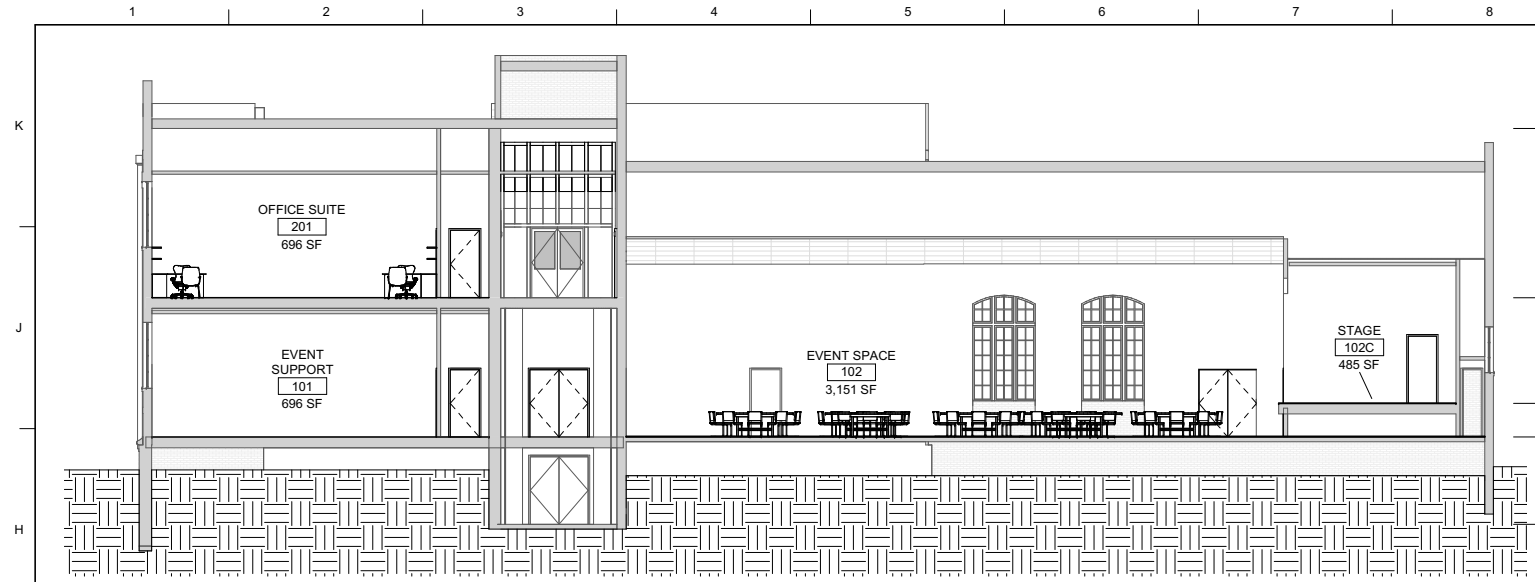
10' 10' 20' FT

JOB NAME: Westside Development Partners
LOCATION: ENGLISH AVE ATLANTA, GA

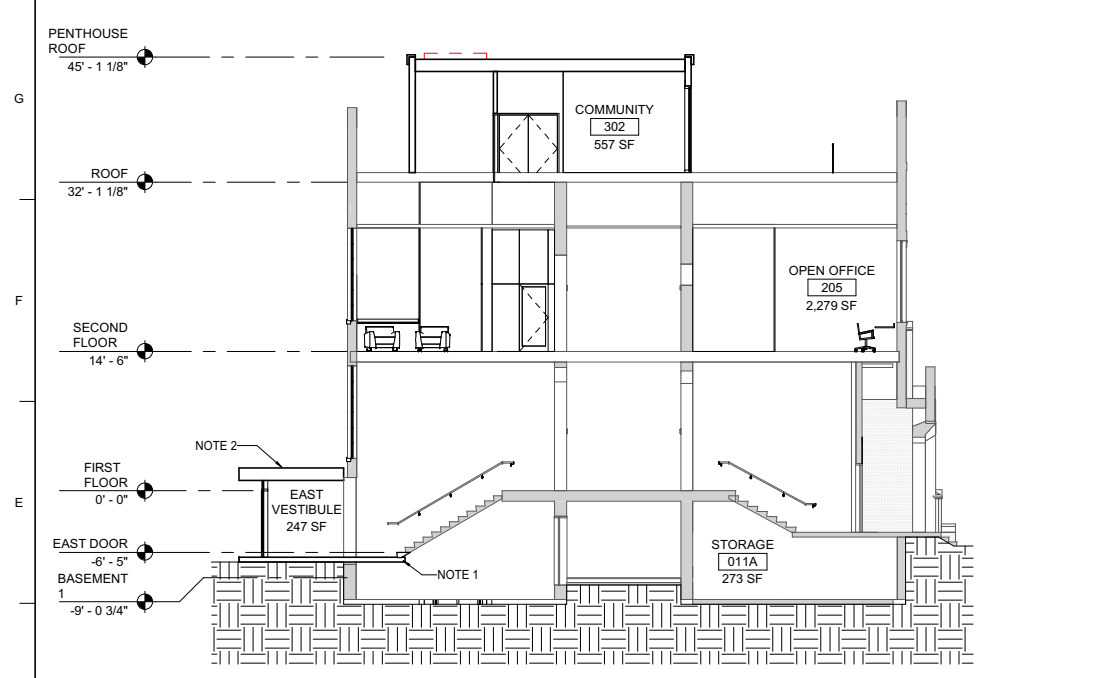
ISSUE DATE: 10/04/2019
JOB NO.: 11119-00
DWG. NO.:

A211

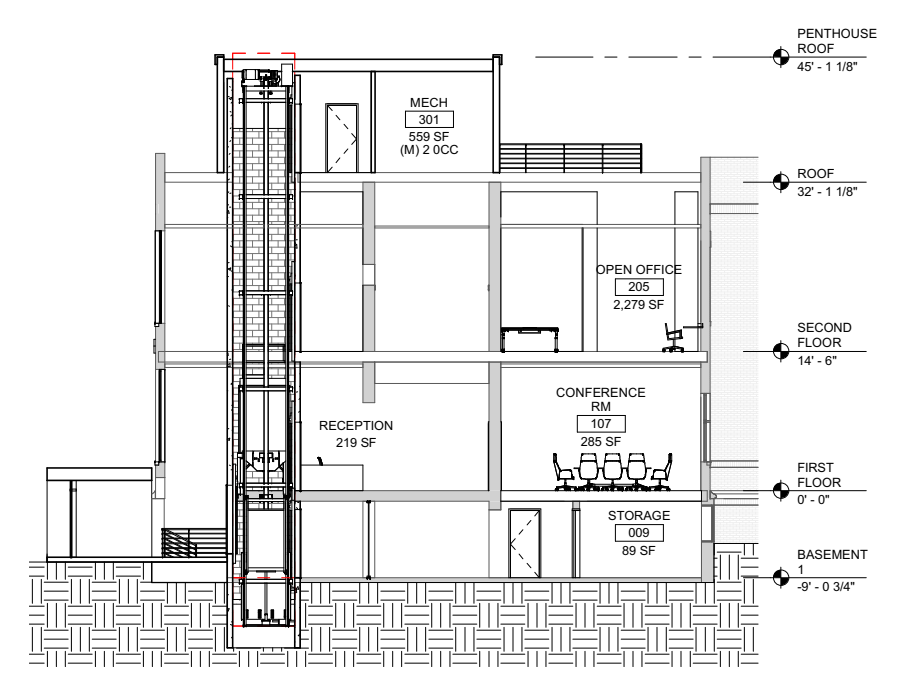
NOT FOR CONSTRUCTION



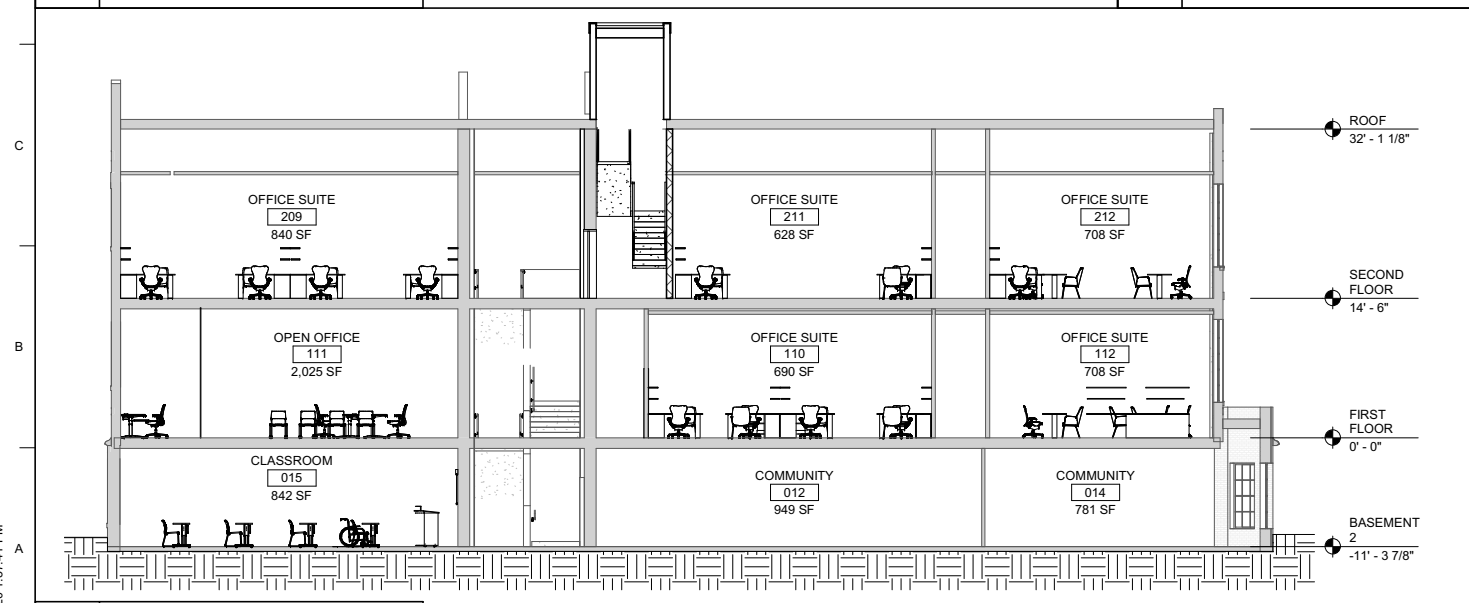
H1 EVENT SPACE SECTION



D1 MAIN ENTRANCE SECTION



D6 ELEVATOR SECTION



A1 BUILDING SECTION 1

MATERIAL KEYNOTES

- EXISTING
- NEW CONSTRUCTION
- HO HOLD - OPEN DOORS

GENERAL NOTES

- A. REFER TO NARRATIVES IN CONDITION ASSESSMENT FOR FULL DESCRIPTION OF NOTES.
- B. PROJECT TO INCLUDE BUDGET FOR 50 LINEAR FEET OF NEW MILLWORK.
- C. ANY NEW WALLS INFILLING EXISTING. MATCH EXISTING WALL CONSTRUCTION. WHERE DOORS ARE TO BE INFILLED - NEW FINISH SURFACE TO BE 1" MIN INSET FROM WALL FINISH.
- D. SITE DEVELOPMENT NOT INCLUDED IN SCOPE OF WORK.
- E. MECH/ELEC/STORAGE LAYOUT TO BE DESIGNED IN SUBSEQUENT PROJECT PHASE.

SHEET SPECIFIC NOTES

1. ADD 1 ADDITIONAL STEP AT BOTTOM OF EAST STAIRS - MATCH EXISTING STAIR RISER HEIGHT.
2. NEW CONSTRUCTION.

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REVISION:

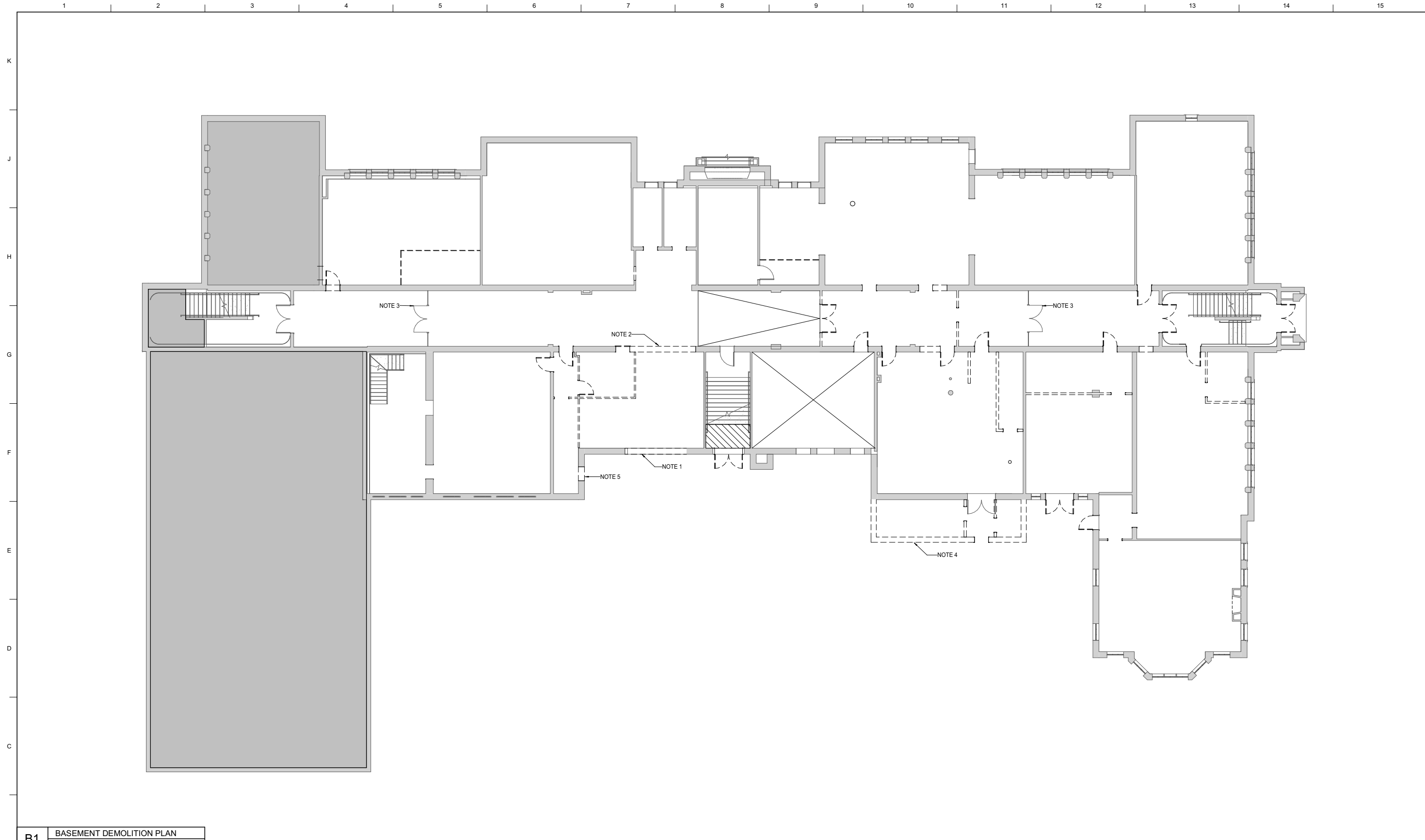
SHEET TITLE
BUILDING SECTIONS
 SCALE (IN.):
 1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"
 3/4" = 9'-0"
 1" = 12'-0"
 120 FT

JOB NAME
 Westside Development Partners
 ENGLISH AVE SCHOOL
 LOCATION
 ENGLISH AVE
 ATLANTA, GA

ISSUE DATE
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 11119-00
 DWG. NO.

A212

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B1 BASEMENT DEMOLITION PLAN

DEMOLITION LEGEND

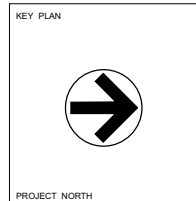
	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS.
	EXISTING WALLS TO REMAIN
	INDICATES EXISTING DOOR TO BE DEMOLISHED.
	EXISTING FLOOR / ROOF TO BE DEMOLISHED.

GENERAL NOTES

- SEE NARRATIVES FOR ALL DEMO NOTES.
- PROVIDE SHORING PRIOR TO DEMOLITION WORK.
- ABATE HAZARDOUS MATERIALS.
- REMOVE ALL EXISTING PLUMBING, FIXTURES, AND MECHANICAL SYSTEMS.

SHEET SPECIFIC NOTES

- REMOVE BRICK INFILL IN MASONRY WALL FOR NEW WALL OPENING.
- NEW 17'-0" OPENING IN LOAD BEARING MASONRY WALL.
- EXISTING DOORS TO REMAIN.
- REMOVE NON-HISTORIC CONCRETE BLOCK ADDITION.
- REMOVE BRICK INFILL FOR NEW DOOR.



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ISSUE DATE
10/04/2019

JOB. NO.
11119-00

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AD101

SHEET TITLE
BASEMENT DEMOLITION PLAN

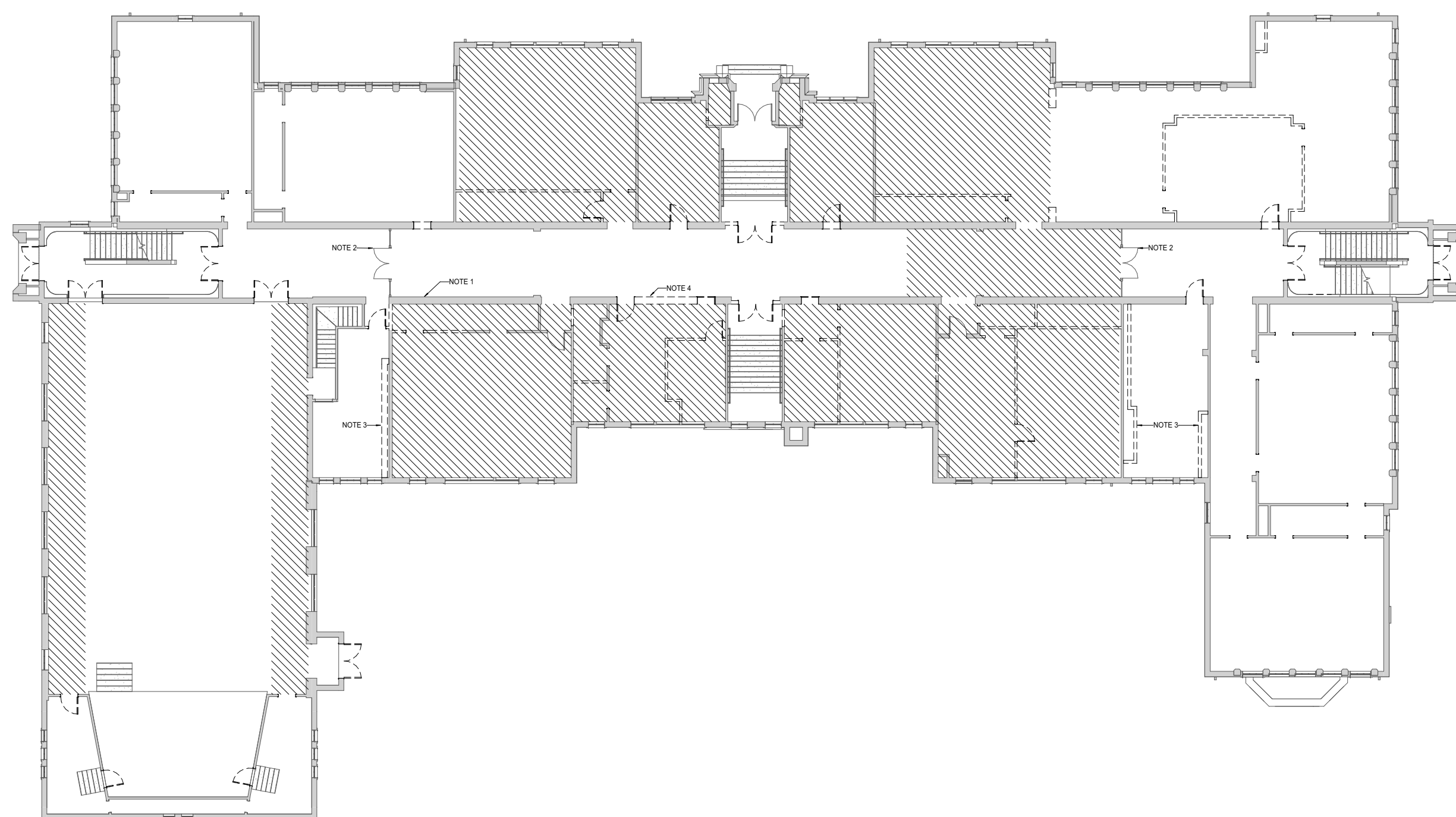
SCALE (IN/FT)
1/8" = 1'-0" 1/4" = 3'-0" 1/2" = 6'-0" 3/4" = 9'-0" 1" = 12'-0"

REVISION:

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



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B1 FIRST FLOOR DEMOLITION PLAN

DEMOLITION LEGEND

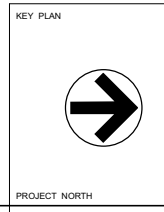
	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS.
	EXISTING WALLS TO REMAIN
	INDICATES EXISTING DOOR TO BE DEMOLISHED.
	EXISTING FLOOR / ROOF TO BE DEMOLISHED.

GENERAL NOTES

A. SEE NARRATIVES FOR ALL DEMO NOTES.
 B. PROVIDE SHORING PRIOR TO DEMOLITION WORK.
 C. ABATE HAZARDOUS MATERIALS.
 D. REMOVE ALL EXISTING PLUMBING, FIXTURES, AND MECHANICAL SYSTEMS.

SHEET SPECIFIC NOTES

- ALL WOOD HANDRAILS LOCATED WITHIN HALLWAYS ON FIRST FLOOR TO BE REMOVED.
- EXISTING DOORS TO REMAIN
- NON-HISTORIC CONCRETE BLOCK WALLS TO BE DEMOLISHED.
- NEW 17'-0" OPENING IN LOAD BEARING MASONRY WALL.



REVISION:

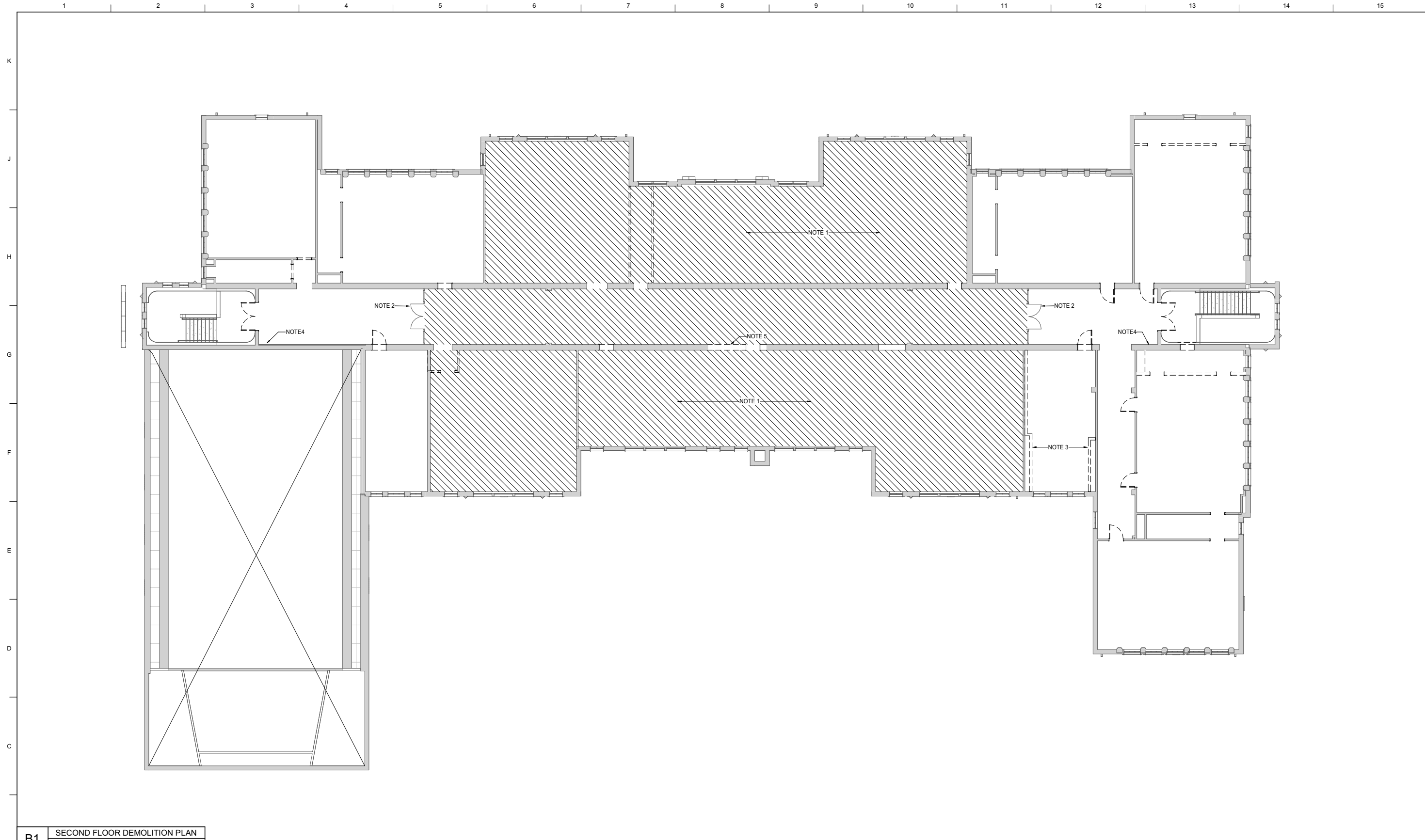
SHEET TITLE
FIRST FLOOR DEMOLITION PLAN
 SCALE (IN.):
 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"
 1 1/4" = 1'-0"
 1 1/2" = 1'-0"
 1 3/4" = 1'-0"
 2" = 1'-0"
 2 1/4" = 1'-0"
 2 1/2" = 1'-0"
 2 3/4" = 1'-0"
 3" = 1'-0"
 3 1/4" = 1'-0"
 3 1/2" = 1'-0"
 3 3/4" = 1'-0"
 4" = 1'-0"
 4 1/4" = 1'-0"
 4 1/2" = 1'-0"
 4 3/4" = 1'-0"
 5" = 1'-0"
 5 1/4" = 1'-0"
 5 1/2" = 1'-0"
 5 3/4" = 1'-0"
 6" = 1'-0"
 6 1/4" = 1'-0"
 6 1/2" = 1'-0"
 6 3/4" = 1'-0"
 7" = 1'-0"
 7 1/4" = 1'-0"
 7 1/2" = 1'-0"
 7 3/4" = 1'-0"
 8" = 1'-0"
 8 1/4" = 1'-0"
 8 1/2" = 1'-0"
 8 3/4" = 1'-0"
 9" = 1'-0"
 9 1/4" = 1'-0"
 9 1/2" = 1'-0"
 9 3/4" = 1'-0"
 10" = 1'-0"
 10 1/4" = 1'-0"
 10 1/2" = 1'-0"
 10 3/4" = 1'-0"
 11" = 1'-0"
 11 1/4" = 1'-0"
 11 1/2" = 1'-0"
 11 3/4" = 1'-0"
 12" = 1'-0"
 12 1/4" = 1'-0"
 12 1/2" = 1'-0"
 12 3/4" = 1'-0"
 13" = 1'-0"
 13 1/4" = 1'-0"
 13 1/2" = 1'-0"
 13 3/4" = 1'-0"
 14" = 1'-0"
 14 1/4" = 1'-0"
 14 1/2" = 1'-0"
 14 3/4" = 1'-0"
 15" = 1'-0"

JOB NAME
 Westside Development Partners
 ENGLISH AVE SCHOOL
 LOCATION
 ENGLISH AVE
 ATLANTA, GA

ISSUE DATE
 10/04/2019
 JOB NO.
 11119-00
 DWG. NO.
AD102





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B1 SECOND FLOOR DEMOLITION PLAN

DEMOLITION LEGEND

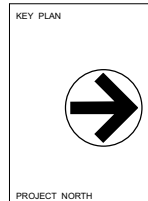
-  INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS.
-  EXISTING WALLS TO REMAIN
-  INDICATES EXISTING DOOR TO BE DEMOLISHED.
-  EXISTING FLOOR / ROOF TO BE DEMOLISHED.

GENERAL NOTES

- A. SEE NARRATIVES FOR ALL DEMO NOTES.
- B. PROVIDE SHORING PRIOR TO DEMOLITION WORK.
- C. ABATE HAZARDOUS MATERIALS.
- D. REMOVE ALL EXISTING PLUMBING, FIXTURES, AND MECHANICAL SYSTEMS.

SHEET SPECIFIC NOTES

1. ANY ADDITIONAL WALLS WITHIN SPACE TO BE DEMOLISHED. DOCUMENT LOCATION OF EXISTING WALLS PRIOR TO DEMOLITION.
2. EXISTING DOORS TO REMAIN.
3. NON-HISTORIC CONCRETE BLOCK WALLS TO BE DEMOLISHED.
4. REMOVE EXISTING LADDER ACCESS TO ROOF.
5. NEW 12'-0" OPENING IN LOAD BEARING MASONRY WALL.



SEAL

REVISION:

SECOND FLOOR DEMOLITION PLAN

SCALE (IN.): 1/8" = 1'-0"

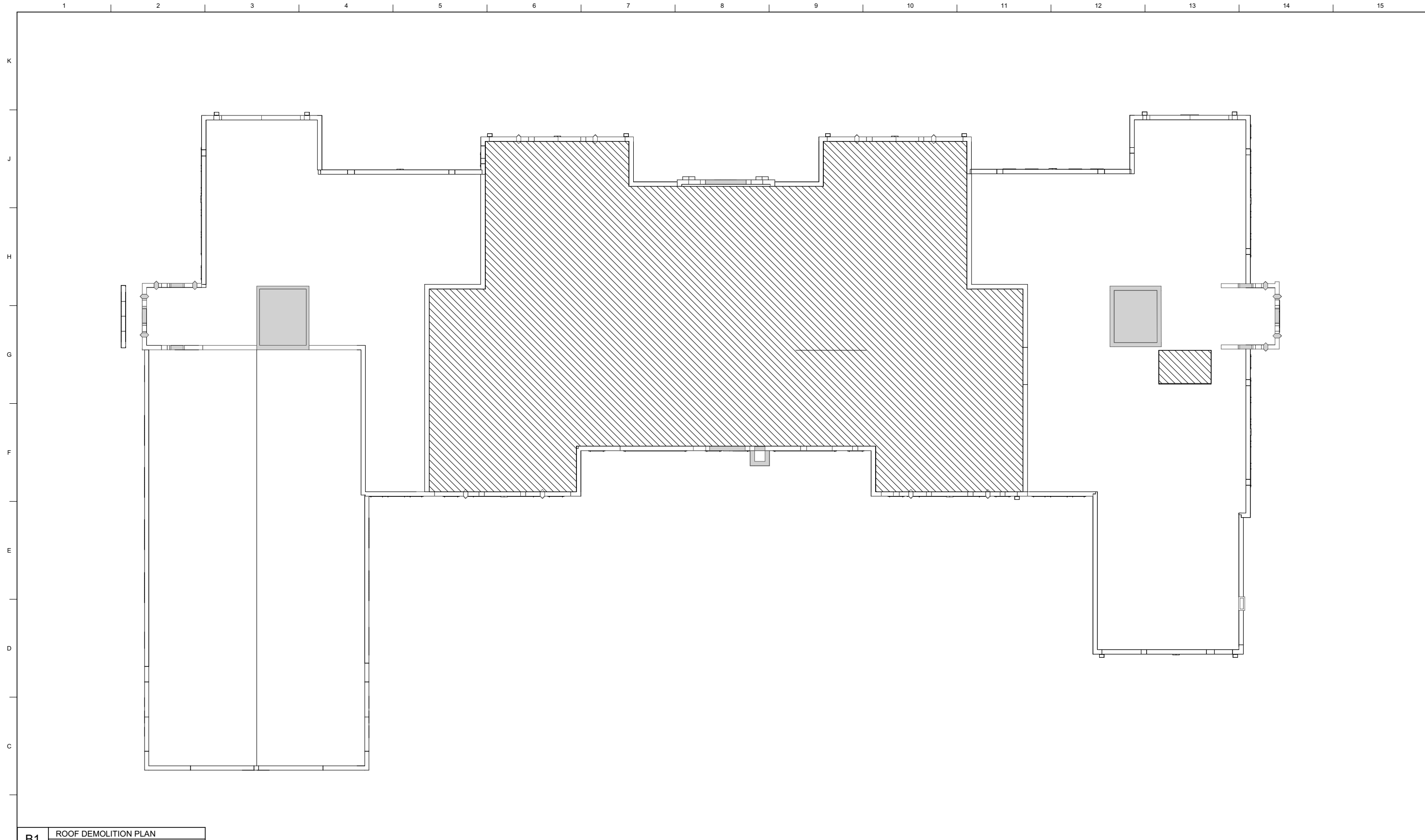
JOB NAME: Westside Development Partners
LOCATION: ENGLISH AVE ATLANTA, GA

ISSUE DATE: 10/04/2019
JOB. NO.: 11119-00
DWG. NO.:

AD103





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B1 ROOF DEMOLITION PLAN

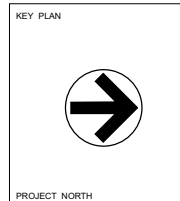
DEMOLITION LEGEND

	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS.
	EXISTING WALLS TO REMAIN
	INDICATES EXISTING DOOR TO BE DEMOLISHED.
	EXISTING FLOOR / ROOF TO BE DEMOLISHED.

GENERAL NOTES

A. SEE NARRATIVES FOR ALL DEMO NOTES.
 B. PROVIDE SHORING PRIOR TO DEMOLITION WORK.
 C. ABATE HAZARDOUS MATERIALS.
 D. REMOVE ALL EXISTING PLUMBING, FIXTURES, AND MECHANICAL SYSTEMS.

SHEET SPECIFIC NOTES



SEAL

JOB NAME
Westside Development Partners

LOCATION
ENGLISH AVE SCHOOL
ENGLISH AVE
ATLANTA, GA

ISSUE DATE
10/04/2019

JOB. NO.
11119-00

DWG. NO.
AD104

SHEET TITLE
ROOF DEMOLITION PLAN

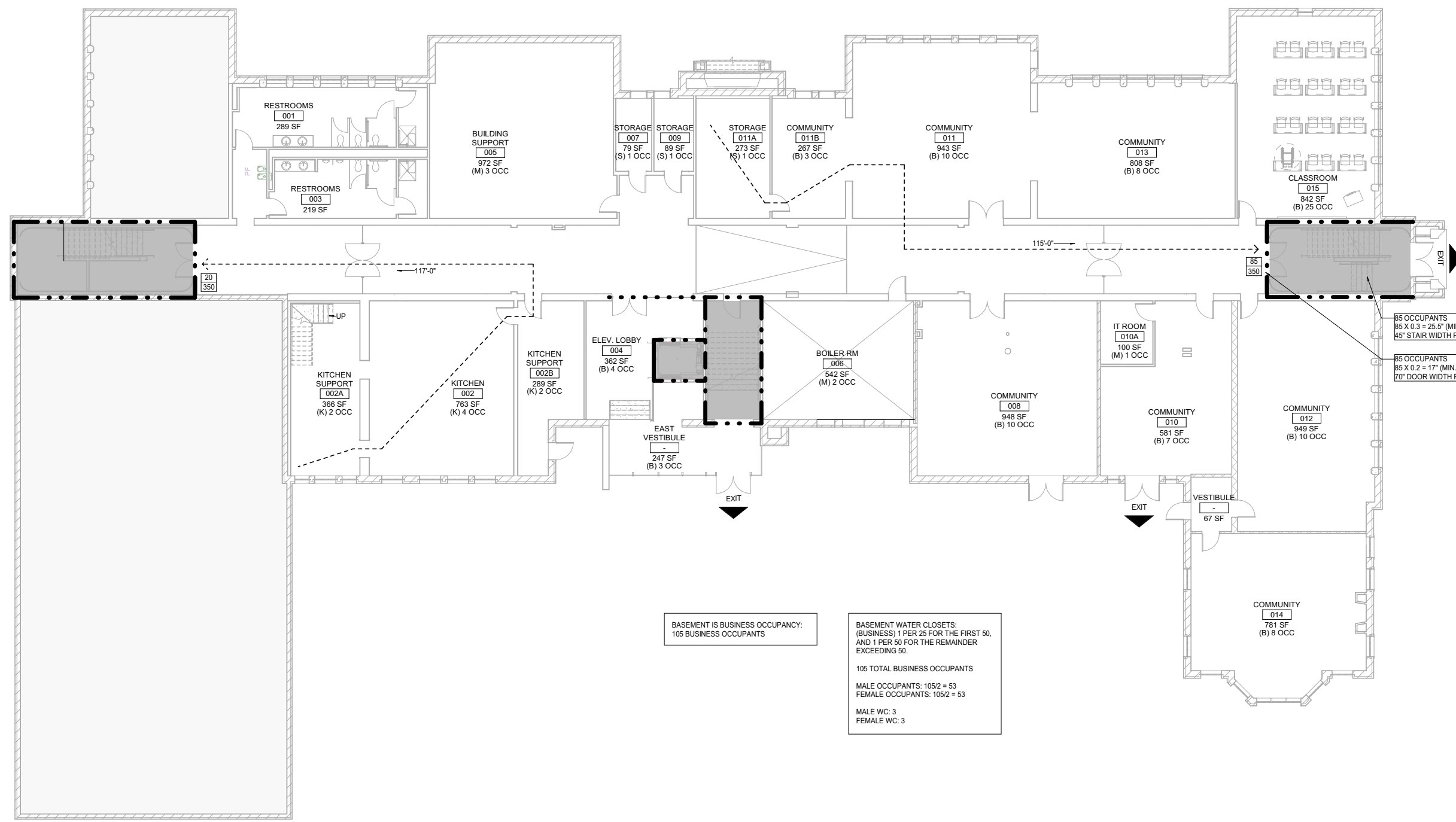
SCALE (IN/FT)
1/8" = 1'-0" 1/4" = 3'-0" 1/2" = 6'-0" 3/4" = 9'-0" 1" = 12'-0"

REVISION:

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BASEMENT IS BUSINESS OCCUPANCY:
105 BUSINESS OCCUPANTS

BASEMENT WATER CLOSETS:
(BUSINESS) 1 PER 25 FOR THE FIRST 50,
AND 1 PER 50 FOR THE REMAINDER
EXCEEDING 50.

105 TOTAL BUSINESS OCCUPANTS
MALE OCCUPANTS: 105/2 = 53
FEMALE OCCUPANTS: 105/2 = 53
MALE WC: 3
FEMALE WC: 3

85 OCCUPANTS
85 X 0.3 = 25.5' (MIN. 44" STAIR WIDTH REQUIRED)
45' STAIR WIDTH PROVIDED.

85 OCCUPANTS
85 X 0.2 = 17' (MIN. 32" EGRESS DOOR WIDTH REQUIRED)
70' DOOR WIDTH PROVIDED.

B1 BASEMENT - LIFE SAFETY PLAN

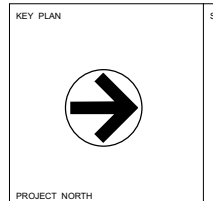
LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)		GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	BUILDING EXIT AT GRADE		ACTUAL NUMBER OF OCCUPANTS
	SMOKE PARTITION		CAPACITY OF DOOR OR EXIT
	1-HOUR RATED WALL		WIDTH OF STAIR OR CORRIDOR
	2-HOUR RATED WALL		CAPACITY OF STAIR OR CORRIDOR
	3-HOUR RATED WALL		OCCUPANCY TYPE AND NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

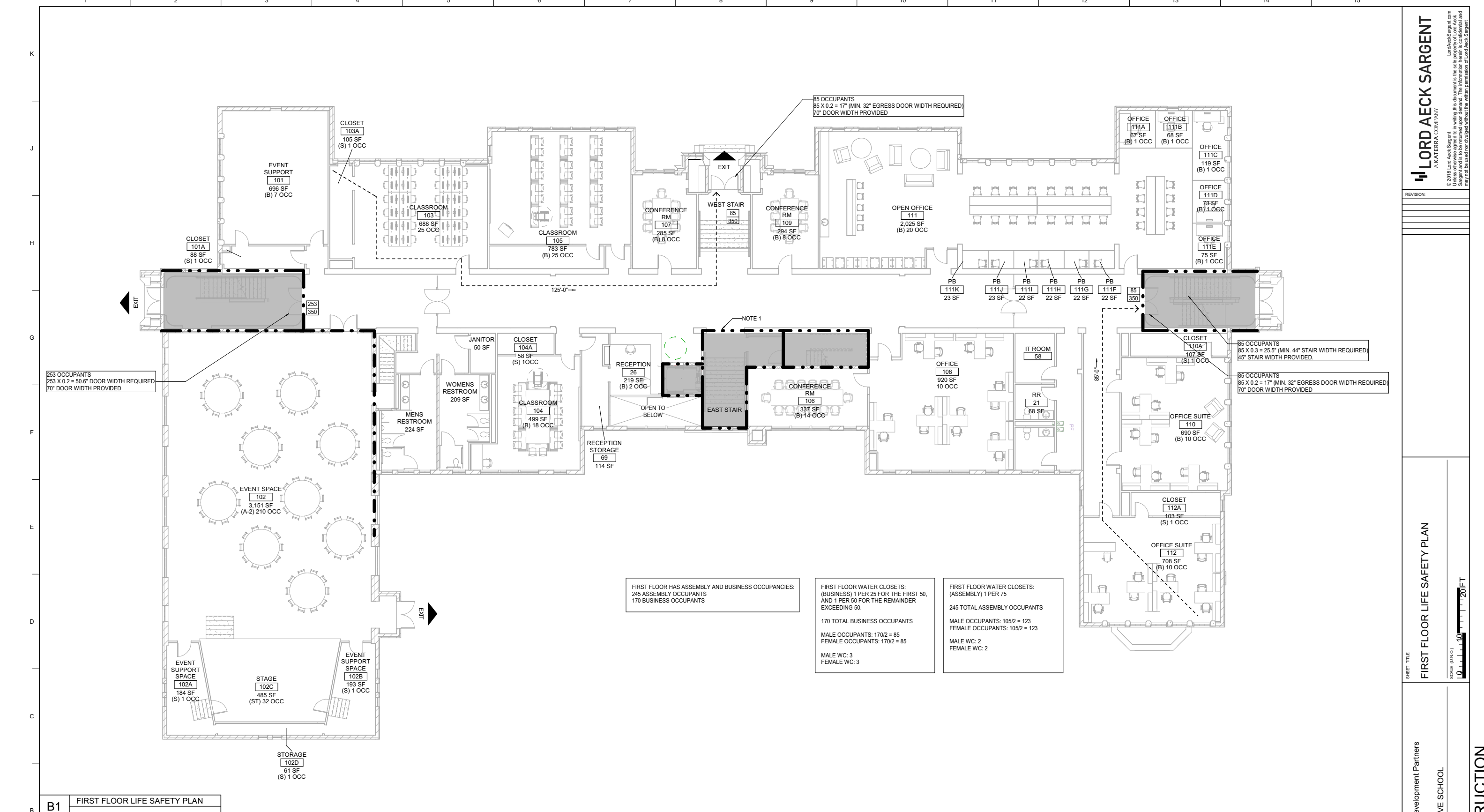
A- ASSEMBLY (UNCONCENTRATED)	15 SF / OCCUPANT
ST- STAGE	15 SF / OCCUPANT
B- BUSINESS	100 GSF / OCCUPANT
K- KITCHEN	200 GSF / OCCUPANT
S- STORAGE	300 GSF / OCCUPANT
M- MECH	300 GSF / OCCUPANT

SHEET SPECIFIC NOTES



REVISION:

NOT FOR CONSTRUCTION



FIRST FLOOR HAS ASSEMBLY AND BUSINESS OCCUPANCIES:
245 ASSEMBLY OCCUPANTS
170 BUSINESS OCCUPANTS

FIRST FLOOR WATER CLOSETS:
(BUSINESS) 1 PER 25 FOR THE FIRST 50,
AND 1 PER 50 FOR THE REMAINDER
EXCEEDING 50.

170 TOTAL BUSINESS OCCUPANTS
MALE OCCUPANTS: 170/2 = 85
FEMALE OCCUPANTS: 170/2 = 85

MALE WC: 3
FEMALE WC: 3

FIRST FLOOR WATER CLOSETS:
(ASSEMBLY) 1 PER 75

245 TOTAL ASSEMBLY OCCUPANTS
MALE OCCUPANTS: 105/2 = 123
FEMALE OCCUPANTS: 105/2 = 123

MALE WC: 2
FEMALE WC: 2

B1 FIRST FLOOR LIFE SAFETY PLAN

LIFE SAFETY LEGEND	
	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/EXIT ENCLOSURE
	— ACTUAL NUMBER OF OCCUPANTS
	— CAPACITY OF DOOR OR EXIT
	— WIDTH OF STAIR OR CORRIDOR
	— CAPACITY OF STAIR OR CORRIDOR
	(B) 10 OCC — OCCUPANCY TYPE AND NUMBER OF OCCUPANTS

OCCUPANCY TYPES:	
A- ASSEMBLY (UNCONCENTRATED)	15 SF / OCCUPANT
ST- STAGE	15 SF / OCCUPANT
B- BUSINESS	100 GSF / OCCUPANT
K- KITCHEN	200 GSF / OCCUPANT
S- STORAGE	300 GSF / OCCUPANT
M- MECH	300 GSF / OCCUPANT

SHEET SPECIFIC NOTES

- 1 HOUR RATED FIRE CURTAIN AT ARCHED OPENING.

KEY PLAN	SEAL
PROJECT NORTH	

REVISION:

SHEET TITLE

FIRST FLOOR LIFE SAFETY PLAN

SCALE (IN.): 1/8" = 1'-0"

JOB NAME

Westside Development Partners

ENGLISH AVE SCHOOL

LOCATION

ENGLISH AVE
ATLANTA, GA

ISSUE DATE

10/04/2019

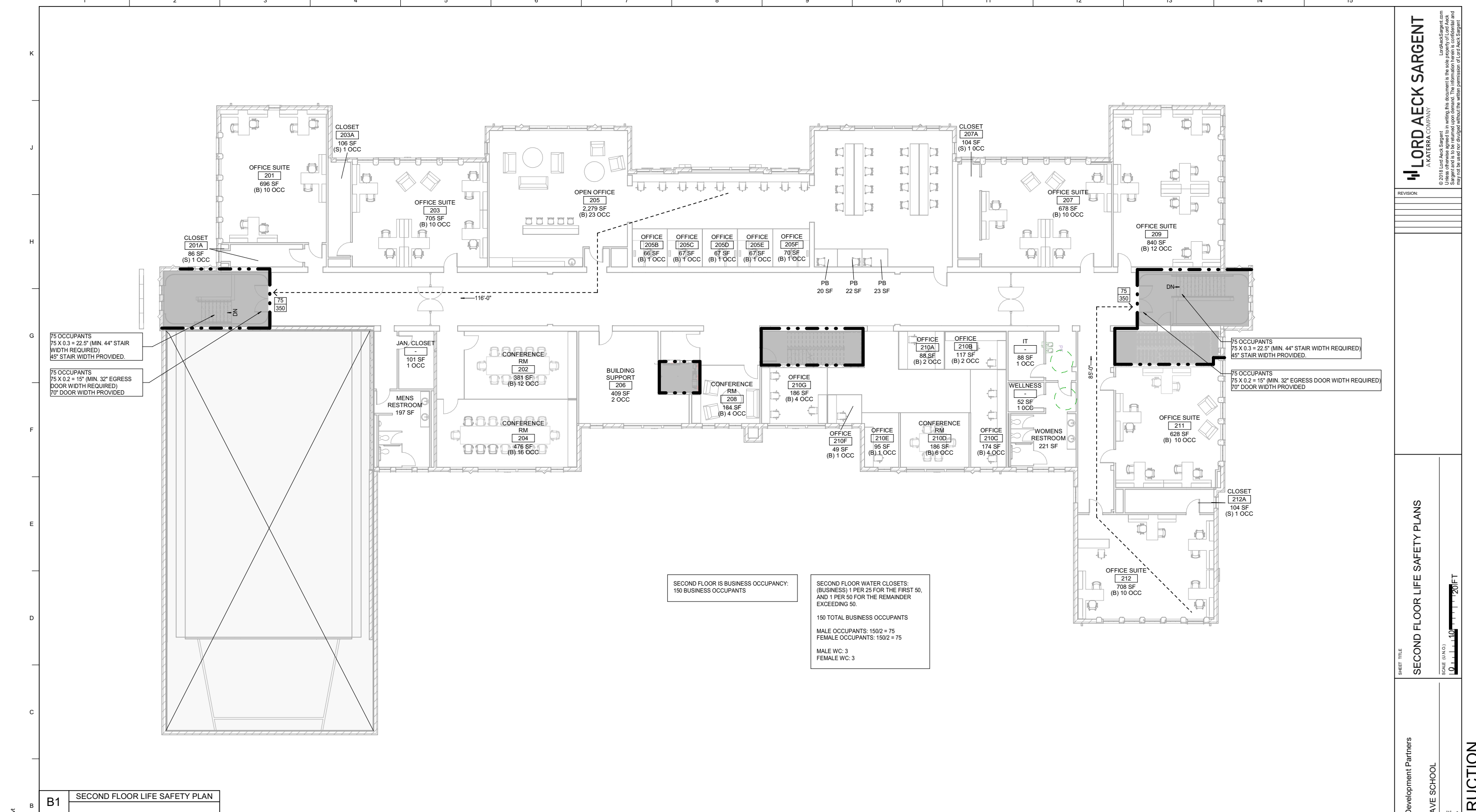
JOB NO.

11119-00

DWG. NO.

G202

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B1 SECOND FLOOR LIFE SAFETY PLAN

LIFE SAFETY LEGEND	
	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	ACTUAL NUMBER OF OCCUPANTS
	CAPACITY OF DOOR OR EXIT
	WIDTH OF STAIR OR CORRIDOR
	CAPACITY OF STAIR OR CORRIDOR
	OCCUPANCY TYPE AND NUMBER OF OCCUPANTS

OCCUPANCY TYPES:	
A- ASSEMBLY (UNCONCENTRATED)	15 SF / OCCUPANT
ST- STAGE	15 SF / OCCUPANT
B- BUSINESS	100 GSF / OCCUPANT
K- KITCHEN	200 GSF / OCCUPANT
S- STORAGE	300 GSF / OCCUPANT
M- MECH	300 GSF / OCCUPANT

SHEET SPECIFIC NOTES	
SECOND FLOOR IS BUSINESS OCCUPANCY: 150 BUSINESS OCCUPANTS	
SECOND FLOOR WATER CLOSETS: (BUSINESS) 1 PER 25 FOR THE FIRST 50, AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50.	
150 TOTAL BUSINESS OCCUPANTS	
MALE OCCUPANTS: 150/2 = 75	
FEMALE OCCUPANTS: 150/2 = 75	
MALE WC: 3	
FEMALE WC: 3	

REVISION:	

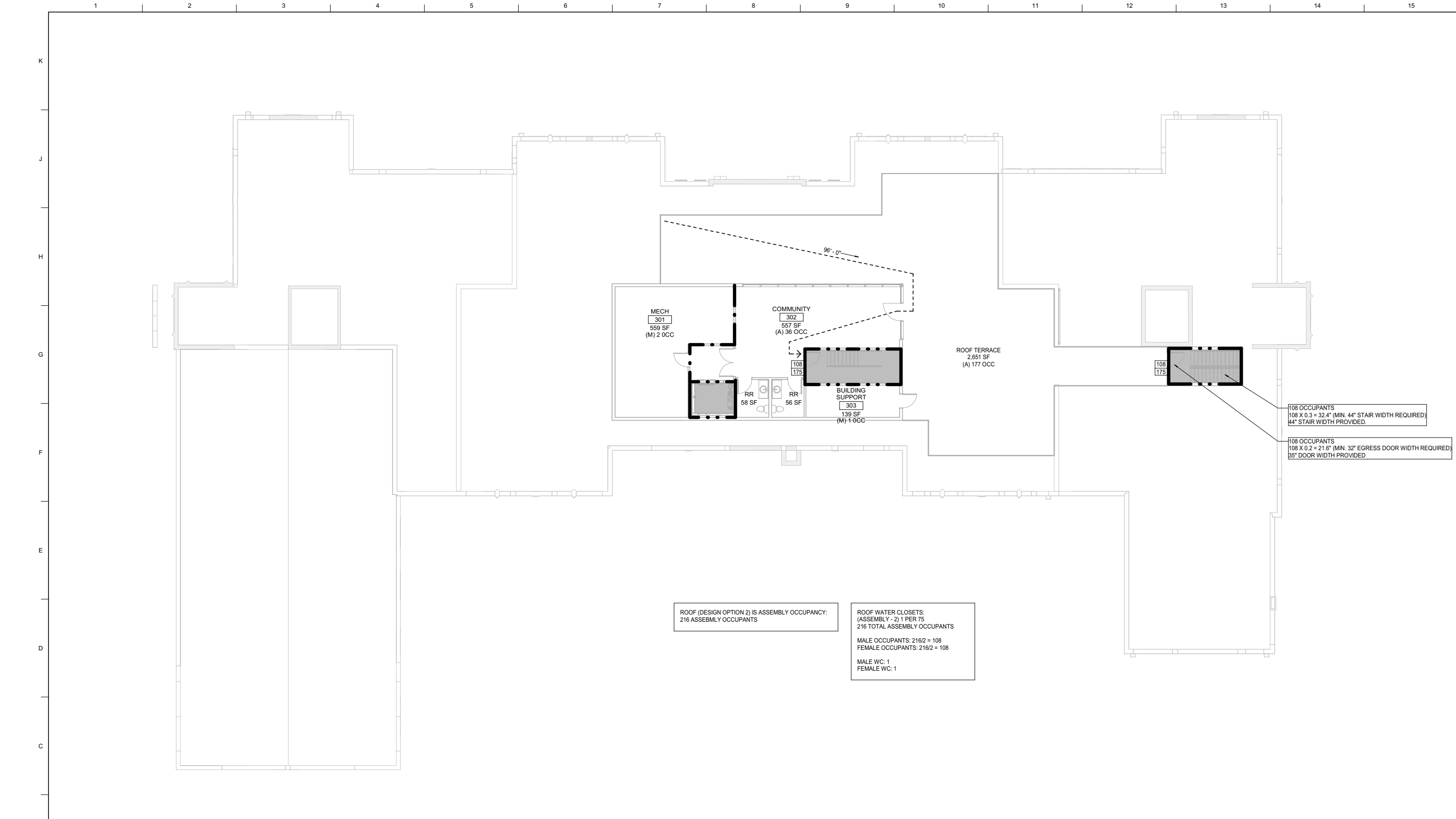
SHEET TITLE: **SECOND FLOOR LIFE SAFETY PLANS**
SCALE (IN.): 1/8" = 1'-0"
1" = 12'-0"

JOB NAME: Westside Development Partners
LOCATION: ENGLISH AVE ATLANTA, GA

ISSUE DATE: 10/04/2019
JOB NO.: 11119-00
DWG. NO.: **G203**

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ROOF (DESIGN OPTION 2) IS ASSEMBLY OCCUPANCY:
216 ASSEMBLY OCCUPANTS

ROOF WATER CLOSETS:
(ASSEMBLY - 2) 1 PER 75
216 TOTAL ASSEMBLY OCCUPANTS

MALE OCCUPANTS: 216/2 = 108
FEMALE OCCUPANTS: 216/2 = 108

MALE WC: 1
FEMALE WC: 1

108 OCCUPANTS
108 X 0.3 = 32.4" (MIN. 44" STAIR WIDTH REQUIRED)
44" STAIR WIDTH PROVIDED.

108 OCCUPANTS
108 X 0.2 = 21.6" (MIN. 32" EGRESS DOOR WIDTH REQUIRED)
35" DOOR WIDTH PROVIDED

B1 ROOF - LIFE SAFETY PLAN

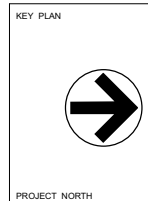
LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)		GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	BUILDING EXIT AT GRADE		— ACTUAL NUMBER OF OCCUPANTS — CAPACITY OF DOOR OR EXIT
	SMOKE PARTITION		— WIDTH OF STAIR OR CORRIDOR — CAPACITY OF STAIR OR CORRIDOR
	1-HOUR RATED WALL		
	2-HOUR RATED WALL		
	3-HOUR RATED WALL		
		(B) 10 OCC	— OCCUPANCY TYPE AND NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

A- ASSEMBLY (UNCONCENTRATED)	15 SF / OCCUPANT
ST- STAGE	15 SF / OCCUPANT
B- BUSINESS	100 GSF / OCCUPANT
K- KITCHEN	200 GSF / OCCUPANT
S- STORAGE	300 GSF / OCCUPANT
M- MECH	300 GSF / OCCUPANT

SHEET SPECIFIC NOTES



KEY PLAN	SEAL
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REVISION:

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