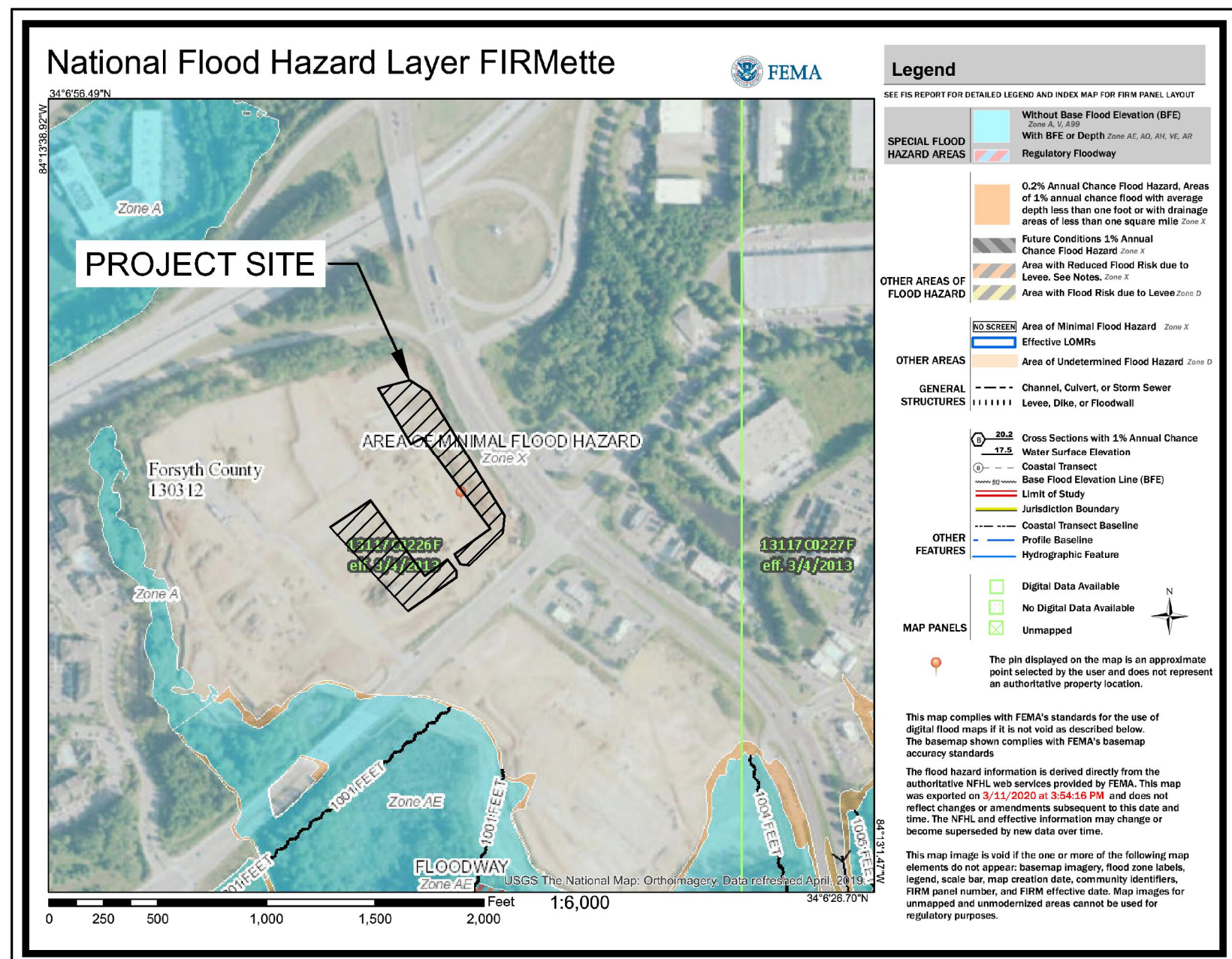


# HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400

6310, 6340, 6390 TOWN SQUARE  
FORSYTH COUNTY

SITE ADDRESSES:  
BUILDING 1100 = 6310 TOWN SQUARE  
BUILDING 1300 = 6340 TOWN SQUARE  
BUILDING 1400 = 6390 TOWN SQUARE



## FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM  
PANEL 13117C226F DATED 03/04/2013.

## PROJECT CONTACTS

**OWNER**  
GT-RP HALCYON  
309 EAST PACES FERRY ROAD  
SUITE 825  
PHONE: 404.855.5854  
CONTACT: PATRICK LEONARD

**ARCHITECT:**  
AKA STUDIO, P.C.  
74 WOODSTOCK ROAD  
ROSWELL, GA 30075  
PHONE: 770.642.9030  
CONTACT: ROBERT ZAPPULLA, AIA

**CIVIL ENGINEER**  
KIMLEY-HORN & ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770.619.4280  
CONTACT: DEREK ZITTRAUER, P.E.

**SURVEYOR:**  
PAULSON MITCHELL, INC.  
4317 PARK DRIVE, SUITE 400  
NORCROSS, GA 30093  
PHONE: 770.416.7511  
CONTACT: KRISTOPHER P. MANLEY, R.L.S.

**24-HR CONTACT:**  
PATRICK LEONARD  
ROCAPOINT PARTNERS  
404.855.5854

**WATER & SEWER**  
FORSYTH COUNTY  
WATER & SEWER DEPARTMENT  
110 EAST MAIN ST.  
SUITE 150  
CUMMING, GA 30040  
PHONE: 770.781.2160  
CONTACT: TIM PERKINS

**ENGINEERING**  
FORSYTH COUNTY  
ENGINEERING DEPARTMENT  
110 EAST MAIN ST. SUITE 120  
CUMMING, GA 30040  
PHONE: 770.781.2165  
CONTACT: JOHN CUNARD

**PLANNING**  
FORSYTH COUNTY  
PLANNING AND COMMUNITY DEVELOPMENT  
110 EAST MAIN ST. SUITE 100  
CUMMING, GA 30040  
PHONE: 770.781.2125  
CONTACT: TOM BROWN

**FIRE**  
FORSYTH COUNTY  
FIRE DEPARTMENT  
3520 SETTINGDOWN RD.  
CUMMING, GA 30040  
PHONE: 770.781.2180  
CONTACT: DANNY BOWMAN

**POWER**  
SAWNEE EMC ENGINEERING DEPARTMENT  
543 ATLANTA HWY  
CUMMING, GA 30040  
PHONE: 678.455.1575  
CONTACT: CHRIS HUGHES

**GAS**  
ATLANTA GAS LIGHT  
10 PEACHTREE PL. NE  
ATLANTA, GA 30309  
PHONE: 678.878.5016  
CONTACT: BOBBY CHESTER

**PHONE/CABLE**  
COMCAST  
6200 THE CORNERS PARKWAY  
NORCROSS, GA 30092  
PHONE: 770.559.7189  
CONTACT: SHAWN GEAGAN



## PROJECT NARRATIVE:

HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, AND 1400 IS A PROPOSED MULTI-BUILDING DEVELOPMENT WITH VARIOUS USES. THIS PROJECT IS A PART OF THE OVERALL HALCYON MASTER PLANNED DEVELOPMENT.

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF SURFACE PARKING, STORMWATER CONVEYANCE, AND ALL ASSOCIATED UTILITIES. THE DISTURBED AREA ON SITE IS 12.69 ACRES, AND THE TOTAL DISTURBED AREA IS 2.33 INCLUDING PUBLIC ROW.

EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

## NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

## FORSYTH COUNTY NOTES

CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

ALL STRUCTURES WILL COMPLY WITH THE FIRE SEPARATION DISTANCE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION FROM THE REQUIRED FIRE SEPARATION DISTANCES.

ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF AN AS-BUILT.

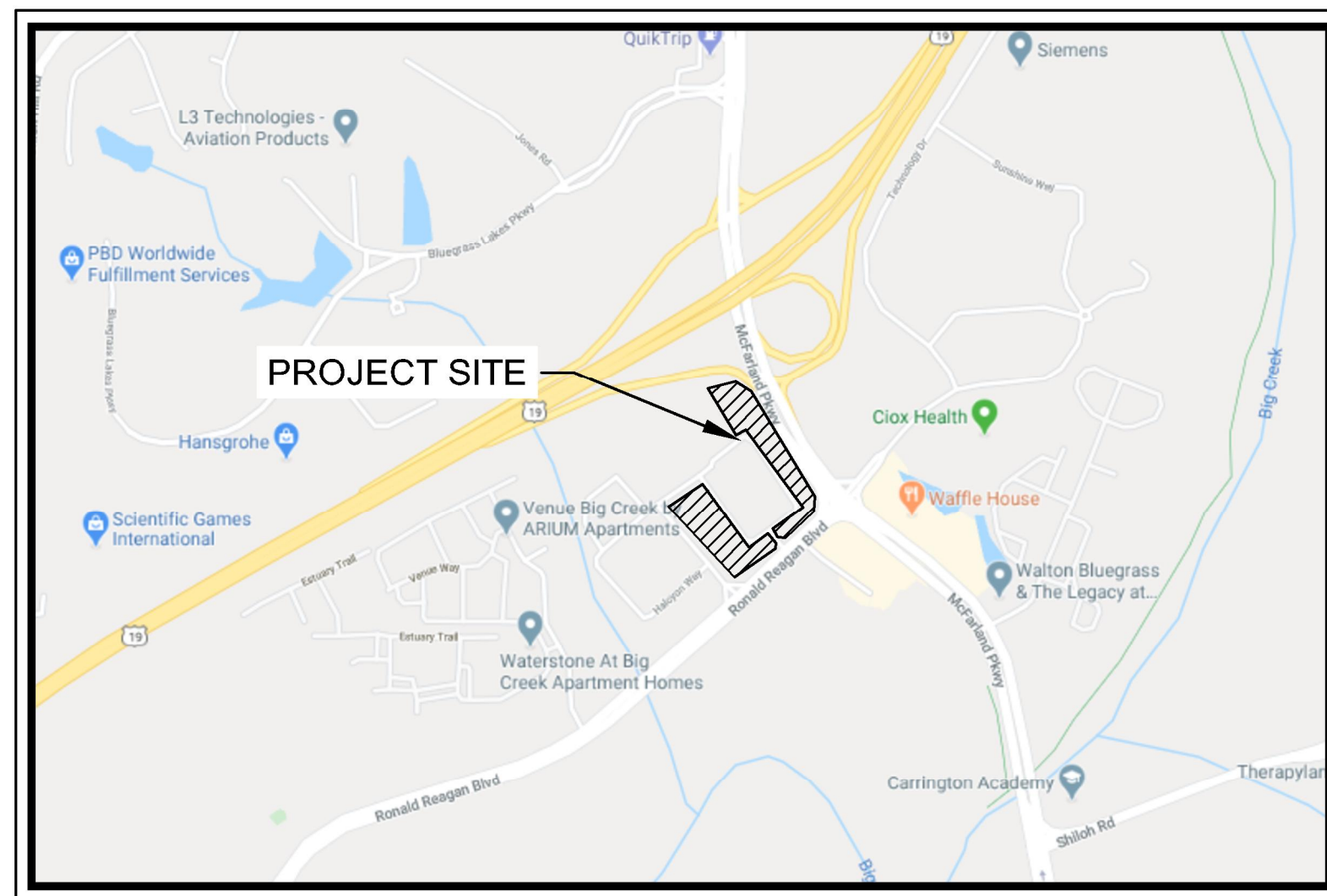
AS-BUILT REQUIRED FOR C.O.'S ON COMMERCIAL PROJECTS - PRIOR TO FINAL BUILDING CERTIFICATE OF OCCUPANCY.

UDC CHAPTER 21, ARTICLE II-V, OVERLAY DISTRICT(S) ARE NOT APPLICABLE FOR THIS PROJECT.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION.  
(770) 781-2165.

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).

OUTSIDE CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY TO FRIDAY; 8:00 AM TO 6:00 PM ON SATURDAY; AND THERE WILL BE NO OUTSIDE CONSTRUCTION ON SUNDAY.



## VICINITY MAP

SCALE: 1:1000

## Sheet List Table

Sheet Number	Sheet Title
C0-00	COVER SHEET
--	SURVEY (SHEET 1 OF 2)
--	SURVEY (SHEET 2 OF 2)
C0-01	GENERAL NOTES
C0-02	GENERAL NOTES
C0-10	ZONING INFORMATION
C0-80	EXISTING CONDITIONS PLAN
C1-00	DEMOLITION PLAN
C2-00	SITE PLAN
C2-01	DETAILED SITE PLAN
C2-02	DETAILED SITE PLAN
C2-30	FIRE PROTECTION PLAN
C3-00	OVERALL GRADING AND DRAINAGE PLAN
C3-01	DETAILED GRADING AND DRAINAGE PLAN
C3-02	DETAILED GRADING AND DRAINAGE PLAN
C3-10	GRADING INSETS
C3-50	STORM SEWER PROFILES
C3-51	STORM SEWER PROFILES
C4-00	UTILITY PLAN
C4-10	UTILITY INSETS
C5-00	EROSION CONTROL NOTES
C5-01	EROSION CONTROL NOTES
C5-02	EROSION CONTROL NOTES
C5-03	EROSION CONTROL NOTES
C5-04	EROSION CONTROL NOTES
C5-10	EROSION CONTROL PLAN PHASE 1
C5-20	EROSION CONTROL PLAN PHASE 2
C5-30	EROSION CONTROL PLAN PHASE 3
C5-80	EROSION CONTROL DETAILS
C5-81	EROSION CONTROL DETAILS
C5-82	EROSION CONTROL DETAILS
C6-00	CONSTRUCTION DETAILS
C6-01	CONSTRUCTION DETAILS
C6-02	CONSTRUCTION DETAILS
C6-03	CONSTRUCTION DETAILS
C6-04	CONSTRUCTION DETAILS
C6-05	CONSTRUCTION DETAILS
C6-06	CONSTRUCTION DETAILS
C6-07	CONSTRUCTION DETAILS
C6-08	CONSTRUCTION DETAILS
C6-09	CONSTRUCTION DETAILS
C6-10	CONSTRUCTION DETAILS
L1-01	TREE REPLACEMENT PLAN

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770.619.4280  
WWW.KIMLEY-HORN.COM

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE 825  
ATLANTA, GA 30305  
PHONE: 404.855.5854

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	ISSUANCE AND REVISION DESCRIPTIONS	05/22/2020	DMZ

**HALCYON VILLAGE CENTER**  
**BUILDINGS 1100, 1300, 1400**  
6310, 6340, 6390 TOWN SQUARE



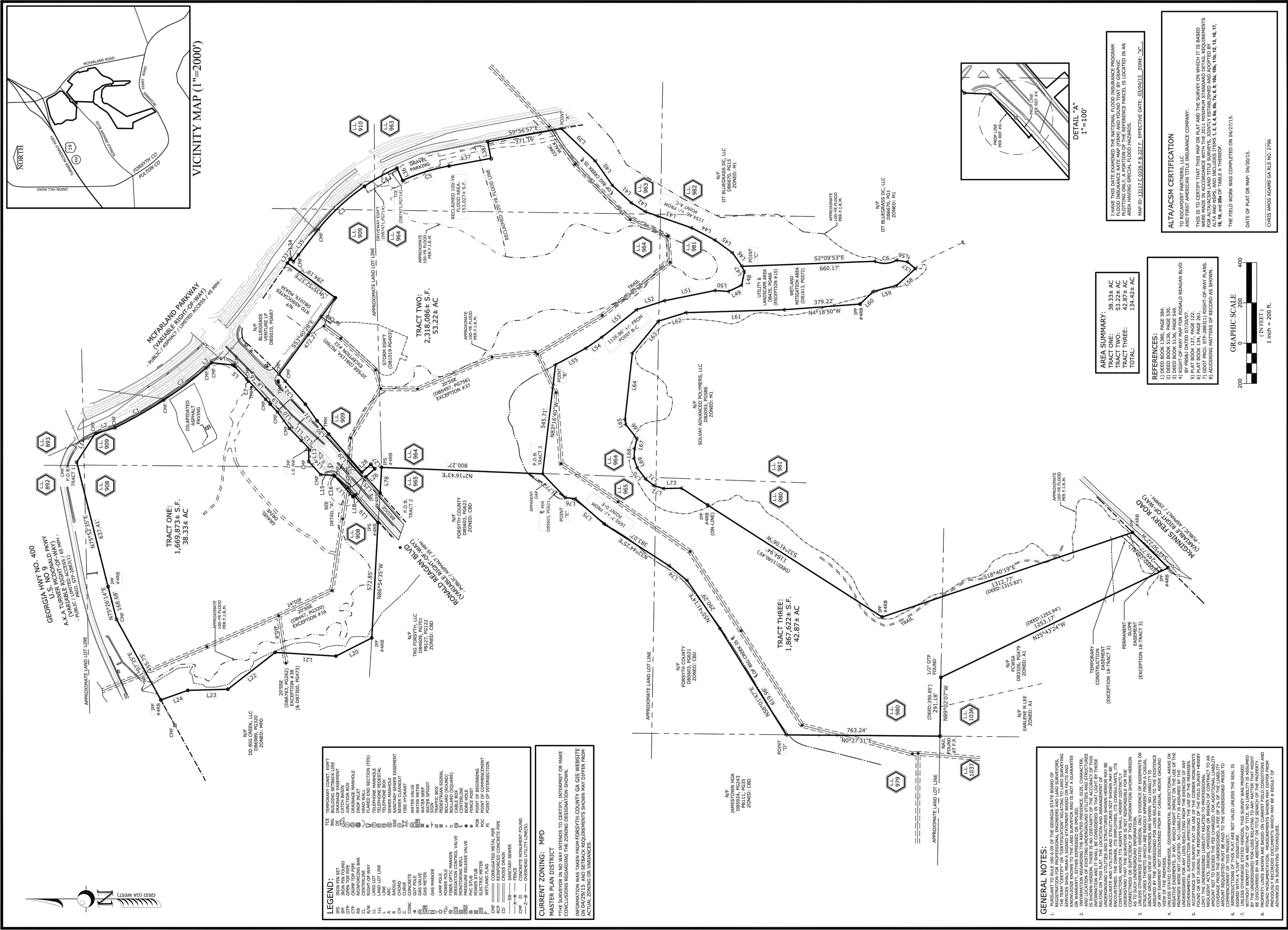
GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001  
TITLE

**COVER SHEET**

SHEET NUMBER  
**C0-00**



FILE NAME: I:\CUSTOMERS\_PROJECTS\862\_Roadcap Partners, LLC\862-15-045 McFarland Tracts\SUR\862-15-045-ALTA-Rd.dwg PLOT DATE: 9/25/2015 USER: CHAD CAVITT



**SEI**  
SOUTHEASTERN ENGINEERING, INC.  
1241 W. 17TH STREET, SUITE 200  
ATLANTA, GA 30305  
TEL: 770-321-3935 FAX: 770-321-3935  
WWW.SEIENGINEERING.COM  
LST NO. 009115

No	ISSUED DESCRIPTION	DATE
1	ATTORNEY COMMENTS	09/25/15

**PLAT INFORMATION**  
THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. THIS PLAT DOES NOT EXTEND TO ANY UNWRITTEN AGREEMENT OR UNDERSTANDING BETWEEN THE SURVEYOR AND THE CLIENT. THE SURVEYOR MAKES NO WARRANTY, REPRESENTATION, OR GUARANTEE OF ANY KIND, EXPRESS OR IMPLIED, REGARDING THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE SURVEYOR'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE FOR THIS SURVEY.

**ALTA/ACSM LAND TITLE SURVEY FOR:**  
**CL-RP MCFARLAND, LLC AND**  
**FIRST AMERICAN TITLE INSURANCE COMPANY**  
  
LOCATED IN:  
LAND LOTS 892, 893, 908, 909, 910, 963, 964, 965, 980, 981, & 1036  
OF THE 2ND DISTRICT, 1ST SECTION OF FORSYTH COUNTY GEORGIA

**1 OF 2**

Project No.: 862-15-045  
Surveyed By: A HADDEN  
Field Date: 04/27/2015  
Drawn By: C CAVITT  
Issue Date: 9/28/2015

**GENERAL NOTES:**

1. PURSUANT TO RULE 18C-4.05 OF THE GEORGIA STATE BOARD OF SURVEYING AND MAPPING, THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEYING AND MAPPING BOARD AND HAS DETERMINED THAT THE SURVEYOR IS QUALIFIED TO PERFORM THIS SURVEY.
2. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEYING AND MAPPING BOARD AND HAS DETERMINED THAT THE SURVEYOR IS QUALIFIED TO PERFORM THIS SURVEY.
3. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEYING AND MAPPING BOARD AND HAS DETERMINED THAT THE SURVEYOR IS QUALIFIED TO PERFORM THIS SURVEY.
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7. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEYING AND MAPPING BOARD AND HAS DETERMINED THAT THE SURVEYOR IS QUALIFIED TO PERFORM THIS SURVEY.
8. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEYING AND MAPPING BOARD AND HAS DETERMINED THAT THE SURVEYOR IS QUALIFIED TO PERFORM THIS SURVEY.

THIS ALTA IS NOT TO SCALE AND HAS BEEN ADJUSTED TO FIT THIS PLAN SET.

SHEET NUMBER  
----

**SURVEY**  
**(SHEET 1 OF 2)**

TITLE  
PROJECT NO. 013623001  
DATE 04/24/2020  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
GSWCC NO. 0000076500  
(LEVEL II)

**HALCYON VILLAGE CENTER**  
**BUILDINGS 1100, 1300, 1400**  
6310, 6340, 6390 TOWN SQUARE

No	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ATLANTA, GA 30305  
PHONE (770) 619-4280  
WWW.KIMLEY-HORN.COM







Drawing name: K:\ALP\_PRJ\013623001\_ Halcyon - Village District\CAD\PlanSheets\C0-00 - CIVIL COVER SHEET.dwg May 22, 2020 6:34am by: derek.zittrauer

General Notes:

EXISTING ZONING: MPD (MASTER PLANNED DISTRICT)

THIS SITE IS LOCATED AT 6310, 6340, 6390 TOWN SQUARE WITHIN FORSYTH COUNTY

TOTAL SITE AREA: 12.69 ACRES

NO STATE WATERS WILL BE AFFECTED BY THIS DEVELOPMENT.

NO WETLANDS WILL BE AFFECTED BY THIS DEVELOPMENT.

NO FLOOD PLAIN WILL BE AFFECTED BY THIS PROJECT.

EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP PANEL NUMBER 13117C226F, DATED 03/04/2013 FORSYTH COUNTY, GEORGIA.

ALL WORK SHALL COMPLY WITH THE APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.

LAND SURVEYING SERVICES WERE NOT PROVIDED BY KIMLEY HORN & ASSOCIATES, INC. ALL SURVEY REFERENCES ARE BASED ON INFORMATION PROVIDED BY OTHERS. KIMLEY HORN & ASSOCIATES, INC. DESIGN DOES NOT INCLUDE ANY CERTIFICATION AS TO THE ACCURACY OF PROPERTY LINES, EASEMENTS, UTILITY LOCATIONS OR RIGHT OF WAYS. KIMLEY HORN & ASSOCIATES, INC. DOES NOT WARRANT THE ACCURACY OF BOUNDARY AND TOPOGRAPHIC INFORMATION. CONTRACTOR IS TO VERIFY EXISTING GRADES DURING CONSTRUCTION LAYOUT AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL WARRANT BY EXECUTION OF CONSTRUCTION CONTRACT THAT HIS EMPLOYEES, AGENTS AND SUBCONTRACTORS POSSESS THE EXPERIENCE, KNOWLEDGE, AND CHARACTER NECESSARY TO QUALIFY THEM TO PERFORM THE CONTRACTED WORK. THE CONTRACTOR SHALL INSURE THAT ALL CONSTRUCTION BE PERFORMED IN STRICT COMPLIANCE WITH ALL O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION), STATE, AND LOCAL HEALTH AND SAFETY CODES.

EACH DEVELOPER/BUILDER/PROPERTY OWNER IS REQUIRED TO PREVENT ALL INCREASED RUNOFF FROM EACH INDIVIDUAL BUILDING LOT FROM DAMAGING ADJACENT PROPERTIES PER CODE. THE CONTRACTOR SHALL HOLD THE OWNER-DEVELOPER HARMLESS AND SHALL PROTECT ADJACENT PROPERTY.

NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AND ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY WILL BE THE CONTRACTORS RESPONSIBILITY TO ADHERE TO GEORGIA D.O.T. STANDARDS.

ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET SHALL BE REFERRED TO THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. CONTRACTOR SHALL BRING ANY DISCREPANCIES IN PLANS, SITE CONDITIONS, ETC. TO THE OWNERS/DEVELOPERS ATTENTION BEFORE ANY ADDITIONAL WORK IS PERFORMED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

OFF-STREET PARKING SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.

DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER MAY RESULT IN THE WORK TO BE UNACCEPTABLE TO THE ENGINEER. ADDITIONAL CORRECTIVE ACTION MAY BE REQUIRED IF THIS OCCURS AT NO ADDITIONAL COST TO THE ENGINEER AND/OR OWNER.

KNOX PAD LOCK TO BE ADDED TO GATES ON CONSTRUCTION FENCE

Construction Staking Notes:

THE PROPOSED BUILDING SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR.

IT IS THE RESPONSIBILITY OF THE LAND SURVEYOR TO OBTAIN THE MOST CURRENT BUILDING FOOTPRINT DRAWINGS FROM THE ARCHITECT AND NOTIFY THE OWNER, CONTRACTOR, CIVIL ENGINEER AND ARCHITECT IN WRITING IF ANY DISCREPANCIES EXIST BETWEEN THE FOOTPRINT OBTAINED FROM THE ARCHITECT AND THE FOOTPRINT SHOWN ON THE CIVIL ENGINEERING DRAWINGS.

SHORING WALLS SHOWN ON EROSION CONTROL PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE STAKED OUT USING KIMLEY HORN & ASSOCIATES, INC. PLANS. SHORING WALLS SHALL BE STAKED OUT AND CONSTRUCTED PER THE PLANS PREPARED BY THE STRUCTURAL ENGINEER.

UTILITY LAYOUT SHALL BE INSTALLED PER THE GRADING AND UTILITY PLAN AND SHALL NOT BE STAKED OUT FROM EROSION CONTROL PLANS.

Forsyth County General Notes:

STORMWATER MANAGEMENT REPORT MUST BE APPROVED PRIOR TO PLAN SIGN-OFF. CONTACT RENEE HOGE AT RHOGEE@FORSYTHCO.COM FOR COMMENTS

MODULAR RETAINING WALL DESIGN MUST BE SUBMITTED TO THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION PLAN APPROVAL. WALL DESIGN MUST INCLUDE DETAILS AND SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL ALONG THE TOP.

THE ENGINEER CERTIFIES THAT HE OR A DESIGNATED REPRESENTATIVE HAS MADE A PERSONAL SITE VISIT PURSUANT TO GA CODE 12-7-9.

AS-BUILT REQUIRED FOR CO'S ON COMMERCIAL PROJECTS - PRIOR TO FINAL BUILDING INSPECTIONS.

THE COUNTY ARBORIST MUST FIELD VERIFY ALL APPROPRIATE TREE PROTECTION DEVICES ARE IN PLACE (E.G. TREE PROTECTION TAPE, FENCING, ETC.) PRIOR TO PERMIT APPROVAL. FAILURE TO CONTACT THE COUNTY ARBORIST FOR THIS ONSITE INSPECTION WILL RESULT IN APPROVAL BEING DELAYED. CALL THE COUNTY ARBORIST FOR AN INSPECTION AT 770-205-4562.

DURING THE COURSE OF DEVELOPMENT OF THIS PROJECT, ANY DEVIATION FROM THE APPROVED TREE PROTECTION AND REPLACEMENT PLAN, A REVISED SET OF PLANS WILL BE SUBMITTED TO PLANNING AND DEVELOPMENT.

REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF A FINAL PLAT OR AS-BUILT.

PIPE JOINTS MUST BE RESTRAINED AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, DIVISION 2, SECTION 2.08C

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).

Utility Construction Notes:

THE UTILITIES SHOWN HEREON ARE FOR CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS, SIZE, & MATERIAL OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO ANY LAND DISTURBANCE. ANY UTILITIES DISCOVERED DURING THE LOCATING PROCESS OR DURING ANY PHASE OF CONSTRUCTION THAT ARE NOT SHOWN HEREON THESE PLANS SHOULD BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO ANY CONSTRUCTION THAT MAY AFFECT SAID UTILITIES. ANY DAMAGE TO ANY EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. THE RELOCATION OF ANY UTILITIES REQUIRED TO AVOID ANY PART OF THIS DEVELOPMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF THE WORK. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTACT THE UTILITIES PROTECTION CENTER NOT LESS THAN THREE WORKING DAYS BEFORE ANY DIGGING OR BLASTING COMMENCES. THE UTILITIES PROTECTION CENTER CAN BE CONTACTED AT 1-800-282-7411, MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM.

ALL EXISTING AND PROPOSED UTILITY TOPS, VALVE COVER, ETC. ARE TO BE ADJUSTED TO FINAL GRADE.

ALL PROPOSED STORM, WATER, AND SANITARY SEWER LINES NOT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY MAINTAINED UNLESS NOTED AND PROVIDED WITH A PUBLIC EASEMENT.

ALL FIRE HYDRANTS SHALL BE INSTALLED SO AS THE BASE OF FIRE HYDRANT STRUCTURE IS FLUSH MOUNTED WITH FINAL GRADE.

ALL FIRE SERVICE WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" D.I.P. PIPING UNLESS OTHERWISE NOTED.

ALL CREEK CROSSINGS WILL BE CONSTRUCTED IN "DRY" CONDITIONS CREATED BY THE CONTRACTOR TO PREVENT DOWN STREAM SILTING. THE CONTRACTOR WILL SUBMIT A WRITTEN PROPOSAL OR SCHEMATIC TO THE ENGINEERING DIVISION AS TO THE CONSTRUCTION METHOD PROPOSED FOR THE CREEK CROSSING. PROPOSALS MAY INCLUDE TEMPORARILY REROUTING THE CREEK WITH APPROVED PIPING OR TEMPORARILY DAMMING THE CREEK WHILE PUMPING AROUND THE CONSTRUCTION AREA

Clearing & Grading Notes:

CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY WORK.

CUT AND FILL SLOPES SHALL NOT EXCEED: 2 HORIZONTAL AND 1 VERTICAL SLOPE.

ALL GRADES SHOWN ARE TO BE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES.

ALL SPOT ELEVATIONS ALONG CURB & GUTTER SHALL REFER TO BOTTOM OF CURB (BC) UNLESS NOTED BY TC FOR TOP OF CURB

ALL PROPOSED SPOT ELEVATIONS SHALL REFER TO FINAL GRADE ELEVATION AND T.W./B.W. ELEVATIONS LABELED ALONG RETAINING WALLS SHALL REFER TO FINAL WALL ELEVATION. B.W. ELEVATIONS REFER TO ELEVATION AT FINAL GRADE NOT TO TOP OF FOOTING. REFER TO RETAINING WALL DETAILS FOR FOOTING ELEVATIONS.

CONTRACTOR SHALL FINE GRADE ALL LANDSCAPE AREAS TO PROMOTE POSITIVE DRAINAGE INTO STORM INLETS.

ALL SHOULDERS BEHIND CURB AND GUTTER SHALL BE GRADED FOR POSITIVE DRAINAGE ONTO PAVEMENT AREA.

CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DESIGNATED EXISTING IMPROVEMENTS AND TREES WITHIN THE LIMITS OF WORK FROM THE SITE AND DISPOSED OF AT AN APPROVED LOCATION. ON SITE BURIAL OF TREES AND OTHER DEBRIS SHALL NOT BE PERMITTED UNLESS WRITTEN PERMISSION IS OBTAINED FROM OWNER, GOVERNING MUNICIPALITY AND PERMIT IS OBTAINED FROM GA. DEPARTMENT OF NATURAL RESOURCES.

ALL RETAINING WALLS OVER 30" IN HEIGHT MUST RECEIVE PEDESTRIAN SAFETY RESTRAINTS. THE RESTRAINT SYSTEM MUST BE A MINIMUM OF 42" HIGH AND HAVE NO OPENING A 4" SPHERE CAN PASS THROUGH. SYSTEM MUST HAVE STRENGTH TO WITHSTAND A 200 LB. LOAD AT 42" HEIGHT.

CONTRACTOR SHALL READ AND FULLY UNDERSTAND ALL EROSION CONTROL NOTES PROVIDED ON THIS SHEET AND THE EROSION CONTROL SHEETS PRIOR TO THE START OF ANY GRADING ACTIVITIES.

CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.

ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.

STORM LINE DIMENSIONS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

CONTRACTOR TO VERIFY EXISTING STORM DRAIN INVERTS PRIOR TO BEGINNING CONSTRUCTION.

Forsyth County Engineering Notes:

ALL IMPROVEMENTS TO CONFORM WITH FORSYTH COUNTY CONSTRUCTION STANDARDS & SPECIFICATIONS, LATEST EDITION.

IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT-OF-WAY AND CONSIDERED TO BE A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UN-PERMITTED RIGHT-OF-WAY ENCROACHMENTS.

FULL SERVICE DRIVES WILL REVERT TO RIGHT IN/RIGHT OUT DRIVES IF FORSYTH COUNTY DETERMINES THEY ARE CREATING TRAFFIC PROBLEMS AND/OR ACCIDENTS IF ROAD IS WIDENED TO A MULTI-LANE HIGHWAY WITH MEDIAN.

NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY FORSYTH COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165

APPROVAL OF THESE PLANS BY FORSYTH COUNTY IS SUBJECT TO, AND CONTINGENT UPON THE APPLICANT OBTAINING ANY AND ALL NECESSARY APPROVALS FROM ANY AND ALL APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO THE UNITED STATES ARMY CORPS OF ENGINEERS, THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, THE USDA-NRCS, GEORGIA DEPARTMENT OF NATURAL RESOURCES, GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AND THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION.

MAXIMUM CUT SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL. CONTINUOUS FILL SLOPES TEN (10) FEET IN HEIGHT OR LESS MAY BE 2 HORIZONTAL TO 1 VERTICAL. ALL CONTINUOUS FILL SLOPES THAT EXCEED TEN (10) FEET IN HEIGHT MUST BE 3 HORIZONTAL TO 1 VERTICAL UNLESS: (A) A MECHANICALLY ENGINEERED STABILIZED SLOPE IS APPROVED BY THE FORSYTH COUNTY DIRECTOR OF ENGINEERING; OR (B) THE DESIGNED AND CONSTRUCTED SLOPES ARE CERTIFIED BY A REGISTERED ENGINEER EXPERIENCED IN GEOTECHNICAL ENGINEERING AND LICENSED IN THE STATE OF GEORGIA

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).

Forsyth County Sanitary Sewer Notes:

SOURCE OF WATER AND SEWER IS FORSYTH COUNTY DEPARTMENT OF WATER & SEWER.

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION (770) 886-2790.

CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FINAL INSPECTIONS COMPLETED BY FORSYTH COUNTY WATER & SEWER DEPARTMENT.

ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.

NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY WATER AND SEWER.

ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.

SEWER LATERALS SHALL BE OF SAME MATERIAL AS SEWER MAIN (IE. DIP, PVC) AND SHALL BE 6" IN DIAMETER.

SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEAN-OUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.

NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON SANITARY SEWER EASEMENTS.

SEWER LINES ARE TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.

THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.

CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

ANY SANITARY SEWER DEEPER THAN 16 FEET MUST BE DUCTILE IRON CLASS 50. IF PIPE HAS A DEPTH GREATER THAN 20 FEET THE SEWER PIPE SHALL BE CLASS 51.

DEVELOPER IS RESPONSIBLE FOR REMOVAL OF ANY OBSTRUCTIONS THAT THE BUILDERS OR HOME OWNER INSTALLS INTO THE EASEMENT FOR THE FIRST YEAR AFTER FINAL PLAT.

SANITARY SEWER LATERALS ARE TO STUB OUT OF GROUND 5' ABOVE GRADE.

NO POOL DRAINS, DUMPSTER PADS, ROOF DRAINS OR AIR CONDITIONING CONDENSATE DRAINS ALLOWED INTO SANITARY SEWER SYSTEM.

SEWER LATERAL CLEAN-OUTS TO BE LOCATED 1' BEHIND UTILITY EASEMENT OR ON SSE LINE.

WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.

MATERIAL SPECIFICATION:  
PVC PIPE SHALL BE SDR 26  
DIP SHALL BE CLASS 50 OR 51 AS REQUIRED PER NOTES ABOVE.

THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES.

NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.

ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.

I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS", INCLUDING ALL AMENDMENTS.

Forsyth County Water Notes:

SOURCE OF WATER AND SEWER IS FORSYTH COUNTY DEPARTMENT OF WATER & SEWER.

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION (770) 886-2790.

CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FINAL INSPECTIONS COMPLETED BY FORSYTH COUNTY WATER & SEWER DEPARTMENT.

ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY WATERLINE CONSTRUCTION, (770) 781-2160.

ALL WATER LINES SHALL BE DUCTILE IRON CLASS 50 OR 350.

WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.

WATER LINES SHALL HAVE 3.5' MINIMUM COVER.

SHORT SIDE SERVICES SHALL BE 3/4" COPPER.

LONG SIDE SERVICES SHALL BE 1" COPPER ENCASED IN 2" PVC CONDUITS WITH 3/4" WYES AT LOT CORNERS.

WATER METERS ARE TO BE LOCATED BOC ON SHORT SIDE, IMMEDIATELY BOC ON LONG SIDE.

FIRE HYDRANTS ARE TO BE 3-WAY 5 1/4" TYPE, AVK SERIES 27.

FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FIRE FLOWS.

CONCRETE VALVE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT HYDRANTS.

CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES AND FITTINGS.

300 PSI CURB STOPS, CORPS AND WYES ARE REQUIRED PER FORSYTH COUNTY STANDARDS.

ALL VALVES SHALL BE GATE TYPE VALVES.

NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.

LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.

THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.

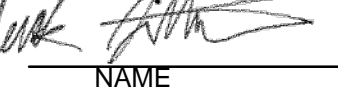
SIDEWALKS ON OPPOSITE SIDE OF WATER MAIN AND NO SIDEWALKS IN CUL-DE-SAC.

CASING FOR JACK AND BORE INCLUDE 3 NEOPRENE CASING SPACERS AND DIP GRIPPER GASKETS.

ALL GATE VALVES OVER 5 FEET DEEP SHALL HAVE STEM EXTENSIONS.

THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES.

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS", INCLUDING ALL AMENDMENTS.

 04/24/2020  
NAME DATE

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

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WWW.KIMLEY-HORN.COM



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE

GENERAL NOTES

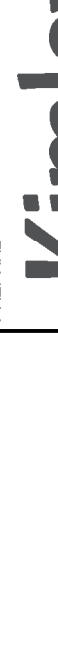

SHEET NUMBER  
C0-01



Building	Use	Unit	Min Parking Required	Quantity	Parking Required without Shared Parking	Daytime Utilization Ratio	Daytime Parking Needs	Night Utilization Ratio	Night Parking Needs
Building 100	Retail	SF	2.0 spaces per 1000 SF	9,016	18.03	0.60	10.82	1.00	18.03
Building 400	Retail	SF	2.0 spaces per 1000 SF	8,495	16.99	0.60	10.19	1.00	16.99
Building 500	Retail	SF	2.0 spaces per 1000 SF	6,000	12.00	0.60	7.20	1.00	12.00
Building 600	Retail	SF	2.0 spaces per 1000 SF	7,100	14.20	0.60	8.52	1.00	14.20
Building 700	Retail	SF	2.0 spaces per 1000 SF	13,449	26.90	0.60	16.14	1.00	26.90
Building 800A	Retail	SF	2.0 spaces per 1000 SF	7,500	15.00	0.60	9.00	1.00	15.00
Building 800B	Retail	SF	2.0 spaces per 1000 SF	11,072	22.14	0.60	13.29	1.00	22.14
Building 900	Retail	SF	2.0 spaces per 1000 SF	10,647	21.29	0.60	12.78	1.00	21.29
Building 900	Office	SF	1.0 spaces per 450 SF	10,647	23.66	0.95	22.48	0.15	3.55
Building 1000A	Retail	SF	2.0 spaces per 1000 SF	6,000	12.00	0.60	7.20	1.00	12.00
Building 1000B	Retail	SF	2.0 spaces per 1000 SF	3,340	6.68	0.60	4.01	1.00	6.68
Building 1100	Office	SF	1.0 spaces per 450 SF	61,000	135.56	0.95	128.78	0.15	20.33
Building 1200	Retail	SF	2.0 spaces per 1000 SF	26,240	52.48	0.60	31.49	1.00	52.48
Building 1200	Office	SF	1.0 spaces per 450 SF	78,720	174.93	0.95	166.19	0.15	26.24
Building 1300	Retail	SF	2.0 spaces per 1000 SF	23,000	46.00	0.60	27.60	1.00	46.00
Building 1400	Office	SF	1.0 spaces per 450 SF	128,000	284.44	0.95	270.22	0.15	42.67
CMX	Retail	SF	2.0 spaces per 1000 SF	38,293	76.59	0.25	19.15	1.00	76.59
Embassy Suites	Hotel	Keys	room plus 1 per employee*	160	190.00	0.25	47.50	1.00	190.00
*Assumes 30 employees									
				Total Parking Assuming No Shared Parking	1,148.90	Total Daytime Parking Assuming Shared Parking	812.54	Total Night Parking Assuming Shared Parking	623.09

Parking Type	Parking Provided
Parking Deck	1,228
Surface Parking	69
On-Street Parking	48
<b>Total Spaces Provided</b>	<b>1,345</b>

Permitted Uses	Village Center Commercial, Hotel, Office, Institutional, Mixed Use, Medical, Multi Family, Residential	Garden District Commercial, Hotel, Office, Institutional, Mixed Use, Medical, Multi Family, Residential
Maximum Building Height	180' (12 stories)	180' (12 stories)
Minimum Building Separations	10'	10'
Minimum Yard Standards		
Single family - detached	zero lot line	zero lot line
Single family - attached	zero lot line	zero lot line
Multifamily	zero lot line	zero lot line
Retail	zero lot line	zero lot line
Office (front, side, rear)	10'	10'
Hotels (front, side, rear)	10'	10'
Minimum Heated Floor Area per Dwelling Unit		
One Bedroom	550 sf	550 sf
Two Bedroom	750 SF	750 SF
Three Bedroom	850 SF	850 SF
Maximum Building Length	no limit	no limit
Maximum Building Coverage	100%	100%
Minimum Lot size		
Single family - attached	1,000	1,000
All other	No minimum	No minimum
Minimum Parking Required		
Retail	2.0 spaces per 1000 sf	2.0 spaces per 1000 sf
Hotel	1 per guest room, plus 1 per employee	
Institutional	1 spaces per 500 sf	1 spaces per 500 sf
Office	1 spaces per 450 sf	1 spaces per 450 sf
Cross parking will be utilized and allowed		
Residential	1.2 space per dwelling	1.2 space per dwelling
Impervious Surface Setback (from top of stream bank)	75'	75'
Perimeter setback	0'	0'
Georgia 400 Building Setback	60'	N/A
Georgia 400 Buffer	40'	N/A

	PROJECT		HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400 6310, 6340, 6390 TOWN SQUARE		PREPARED FOR		<b>GT-RP HALCYON</b> 309 EAST PARSIPPANY AVENUE, SUITE 825 ATLANTA, GA 30305 PHONE: 404.555.5854		
	GSWCC NO. (LEVEL II)		0000076500						
	DRAWN BY		KHA						
	DESIGNED BY		KHA						
	REVIEWED BY		DMZ						
	DATE		04/24/2020						
	PROJECT NO.		013623001						
	TITLE								
	SHEET NUMBER								
	GENERAL NOTES								



Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\CO-00 - CIVIL COVER SHEET.dwg May 22, 2020 6:34am by: derek.zittrauer



Forsyth County Department of Planning & Community Development  
CARROLL WILLIAMS, Planner II

June 25, 2019

Forsyth County Board of Commissioners  
110 East Main Street  
Cumming, GA 30040

To Whom It May Concern:

RE: ZA# 3728 (AZ190014), Amendment of zoning conditions

Please be advised that the Board of Commissioners approved the request for the amendment of condition #26 placed on ZA# 3728.

The conditions now read as follows:

- All advisory comments and recommendations with proposed conditions within the GRTA Notice of Decision dated May 22, 2015, shall be considered and addressed as part of the development process.
- There shall be a minimum of 250,000 square feet of commercial area and a maximum of 550,000 square feet of commercial area, a maximum of 690 residential units and no more than 2 hotels located on the subject property.
- Owner/developer shall dedicate a minimum of 75 parking spaces for the Big Creek Greenway trailhead. Said parking area(s) shall contain signs that state "Parking for Greenway Guest Only".
- Owner shall dedicate right of way 60 feet from centerline of McGinnis Ferry Road and additional right of way as may be required for widening project on McGinnis Ferry Road.
- All advisory comments and recommendations from Georgia Mountain Regional Center (GMRC) and the Georgia Regional Transportation Authority (GRTA) shall be considered and addressed as part of the development process. The developer shall at a minimum provide all required improvements as shown in Attachment A – General Conditions of the GRTA notice of decision for this DRI.
- Developer shall dedicate any additional right of way as necessary for road improvements on McFarland Parkway and Ronald Reagan Boulevard.
- Developer shall construct a minimum twelve (12) foot wide multi-use trail from McFarland Parkway through the property to Ronald Reagan Boulevard. The greenway trail shall pass through trailhead as shown on zoning plan.
- Developer shall design and construct a neighborhood access from proposed residential development to

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multi-use trail, which will be a minimum twelve (12) foot wide paved sidewalk surface.

- Land swap between existing right of way on McFarland Parkway and trailhead location as shown on zoning plan shall be coordinated with the issuance of land disturbance permit. Developer shall construct improvements associated with the trailhead and parking which shall be dedicated to Forsyth County.
- Sewer access must be provided to all upstream properties.
- Any sewer lines installed must be per size and location as shown in the Forsyth County Sewer Master Plan.
- Sewer shall be installed following natural contours in order to minimize depth and provide future sewer to upstream properties.
- Sewer capacity is not guaranteed for this property. All sewer capacity agreements must be approved by the Forsyth County Board of Commissioners.
- Any improvements to the water and/or sewer systems required to meet fire flow requirements shall be done at developer's expense.
- Subsequent to completion of any improvements required by Forsyth County to the Forsyth County water & sewer systems and to any rights-of-way, Developer shall install and maintain at its own expense, supplemental street lighting, decorative landscaping, landscape irrigation systems, and signage (the "Supplemental Improvements") within the Ronald Reagan Boulevard and McFarland Parkway right-of-way and medians as allowed by the Forsyth County Department of Engineering and Georgia Department of Transportation. Developer shall obtain all required development permits prior to commencing any such installations, and otherwise comply with pertinent Forsyth County codes. In no event shall the Supplemental Improvements interfere with or damage any of the improvements and upgrades installed by Forsyth County. Developer shall cooperate with Forsyth County to integrate the designs of any required infrastructure improvements, if any, and the Supplemental Improvements. These improvements shall only be required along Ronald Reagan and McFarland Parkway where the subject property is adjacent.
- Architectural design standards apply to all development requiring a land disturbance permit and will comply with standards set forth in the Master Development Plan (if any condition below conflicts with the Master Development Plan, the Master Development Plan shall govern where the MPD is more restrictive and/or specific).
- The following uses are prohibited on the subject property:
  - Gas stations
  - Adult novelty stores
  - Adult entertainment centers

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- Pawn Shops and
- Tattoo Parlors
- Massage parlors
- Clairvoyant, fortune teller, tarot card reader
- Kennel, however, this shall not preclude an interior pet day care service
- Self-storage
- Thrift store
- Billboard advertising
- Drive-through restaurants, excluding coffee shops

18. A minimum of 150 units shall be luxury age-restricted with at least ninety percent (90%) of the occupied units inhabited by at least one person 55 years or older. The organization established for the management of the development shall comply with the U.S. Department of Housing and Urban Development (HUD) rules for verification of occupancy and shall maintain procedures for routinely determining the occupancy of each unit. Such procedures may be part of a normal leasing or purchasing agreement and must provide for regular updates as required by HUD. The organization shall ensure through restrictive covenants that no persons age 18 or under will permanently reside in this development, absent proof of a significant hardship. The procedures employed by the organization or agency responsible for marketing the sale of homes within this development shall comply with the U.S. Department of Housing and Urban Development (HUD) rules and the relevant provisions of the Georgia Fair Housing Act pertaining to Housing for Older Persons.

19. Luxury non-owner homes and studios (non-age-restricted) shall contain at a maximum 2 bedrooms per unit. Units may be 1 bedroom.

20. Luxury non-owner homes shall have retail located within the building fronting the Village Center on street level.

21. Luxury non-owner homes shall have interior corridors and elevators.

22. There shall be no common amenities in the residential component of the development designed for use by children, including but not limited to kiddie pools, tot lots, splash areas, playgrounds and basketball courts.

23. Luxury non-owner homes shall be built to condominium specifications, in terms of finishes, appliances, nine (9) foot minimum ceilings, stone or other premium countertops, flooring and cabinets, etc., comparable in quality of construction, landscaping and amenities to projects currently being developed as Class "A" Investment Grade Luxury non-owner homes. Luxury non-owner home amenities shall include, but not be limited to, a pool, concierge service and a business center.

24. Luxury non-owner homes shall have structured parking. The project will contain no less than 800 structured parking spaces.

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25. The construction of the luxury non-owner homes shall commence only after or concurrently with a minimum of 50,000 sf of commercial area being constructed, of which at least 30,000 sf of commercial area shall be located outside the luxury non-owner homes building.

26. Hotels developed on the subject property must be a facility offered by Intercontinental, Marriott, Starwood, Hyatt, or Hilton. Two suites-based hotels will be allowed, ensuring ample meeting spaces within those hotels. The Director of the Planning & Community Development Department and/or the District 2 County Commissioner will be included in planning discussions regarding the hotels.

27. There shall be no entrance to the development on McFarland Parkway between Georgia 400 and Ronald Reagan Boulevard.

28. Developer shall construct a new parking area for the Greenway Trailhead as delineated on the zoning site plan. Said trailhead shall contain at a minimum, bike racks, benches, trash cans and public restrooms.

29. Developer shall design and construct an art feature at the corner of McFarland Parkway and Ronald Reagan Parkway and shall also incorporate attractive features throughout the development.

30. Amenities shall be provided in the parks and open space areas as indicated on the site plan and master development plan and shall include seating such as free-standing benches and gazebos, trash receptacles and bicycle racks.

31. Sidewalks and walking paths shall be present as indicated on the site plan and master development plan throughout as well as between the residential and commercial areas.

32. Commercial establishments shall provide bike racks, benches and/or other street furniture to encourage alternative transportation use.

33. Developer agrees that for a period of three (3) years from the date of rezoning that no request will be made to convert any portion of the commercial components to a single-family or multi-family product use.

34. Should there be a request in the future to modify ZA3728 to add additional parcels of land to this development, the existing open space approved within this application shall NOT be counted towards open space requirements in any property annexed into this development.

35. If approved by the Department of Engineering, developer shall construct a roundabout on Ronald Reagan Boulevard.

36. If a roundabout is approved on Ronald Reagan Boulevard, developer shall design and construct an art feature and provide landscaping in the center of said roundabout.

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PASSED AND ADOPTED this 3rd day of November, 2016, the public health, safety, and welfare demanding it.

FORSYTH COUNTY BOARD OF COMMISSIONERS:

Ralph J. Amos, Chairman

Cindy Jones Mills, Vice Chairman

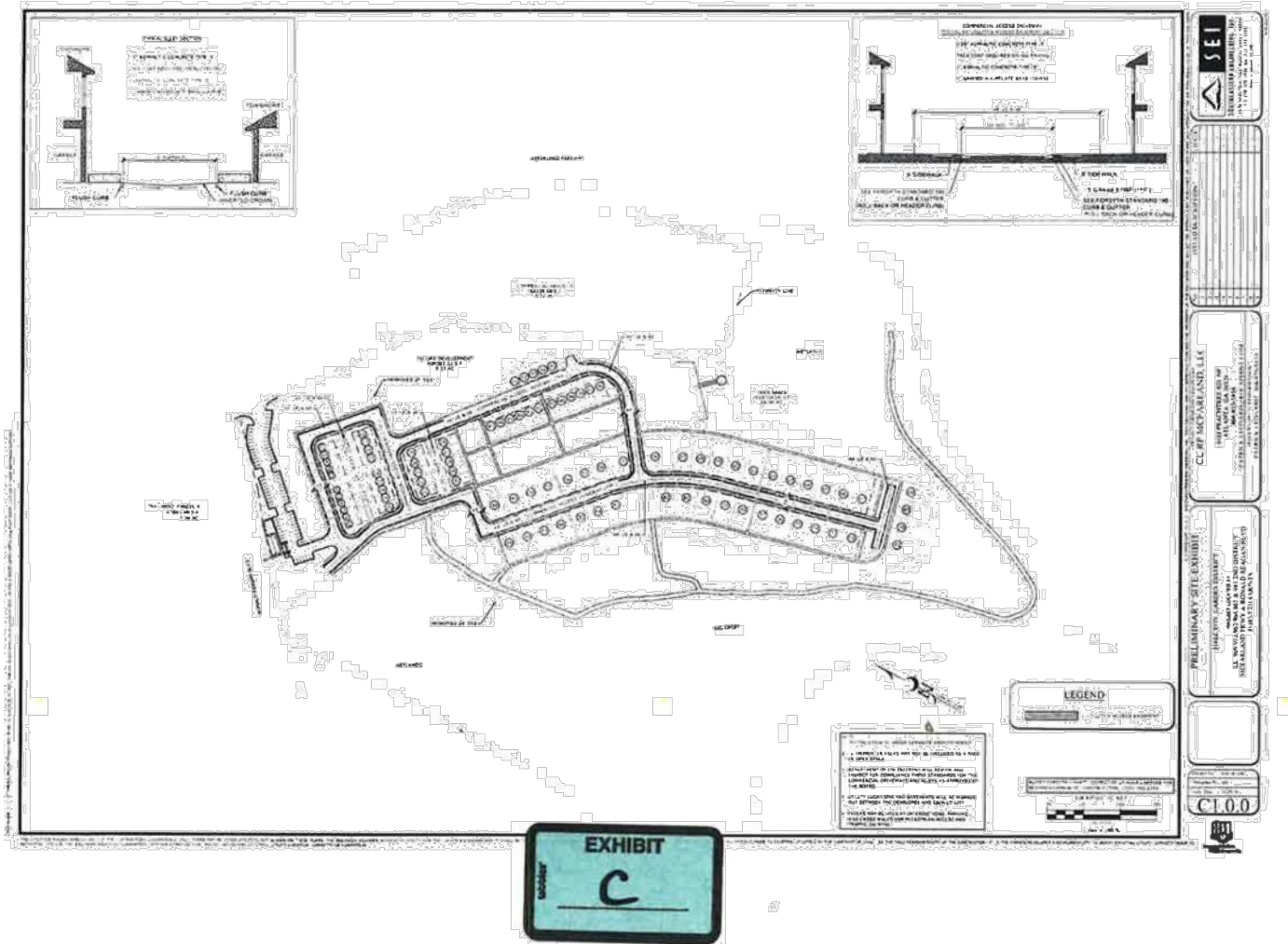
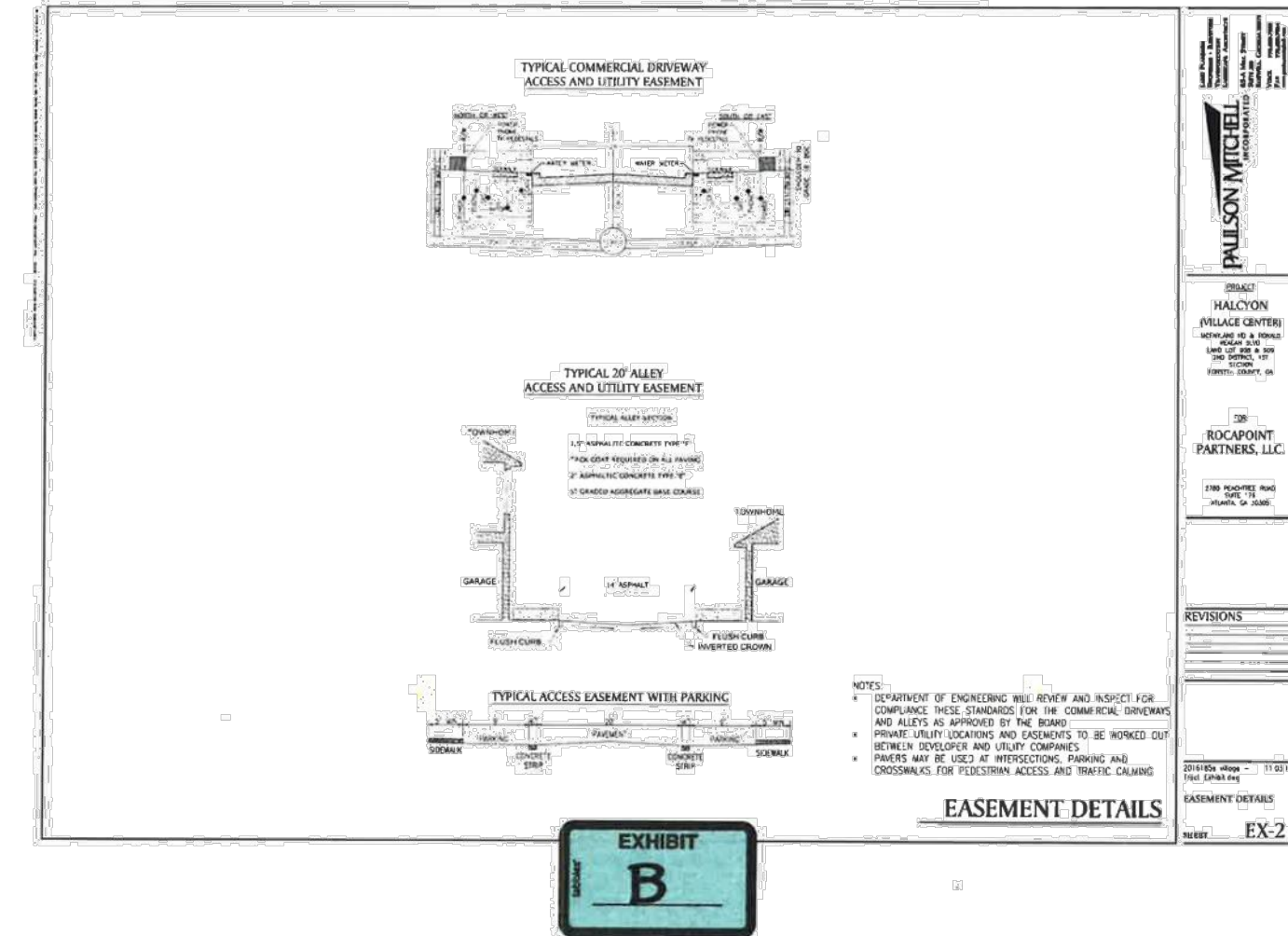
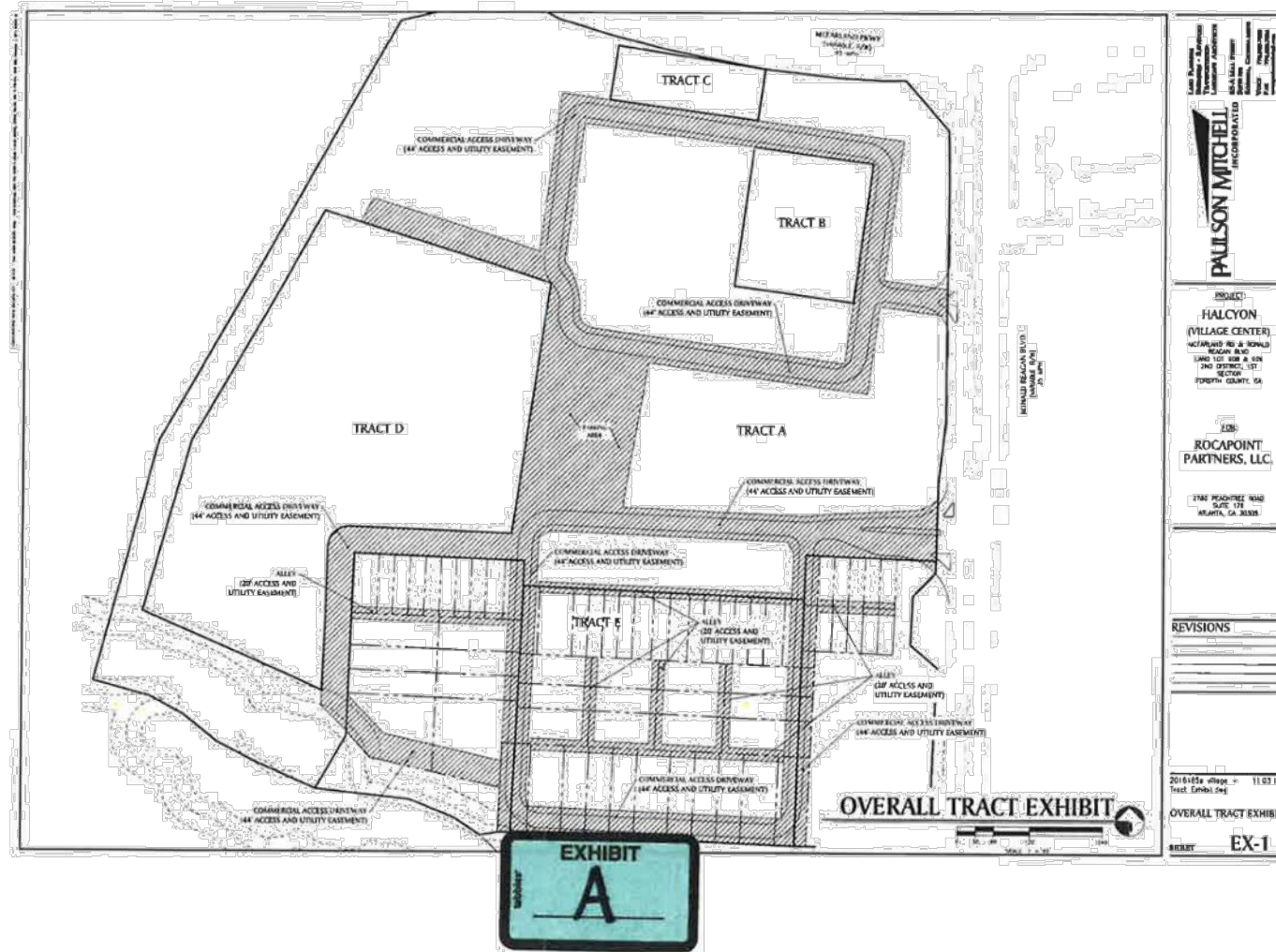
Brian R. Lam, Secretary

Todd Levent, Member

Jim Boff, Member

Attest:

Smaya Bush  
Clerk to the Board



110 E. Main Street, Suite 100 | Cumming, Georgia 30040 | (770) 781-2115 | forsythco.com

GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



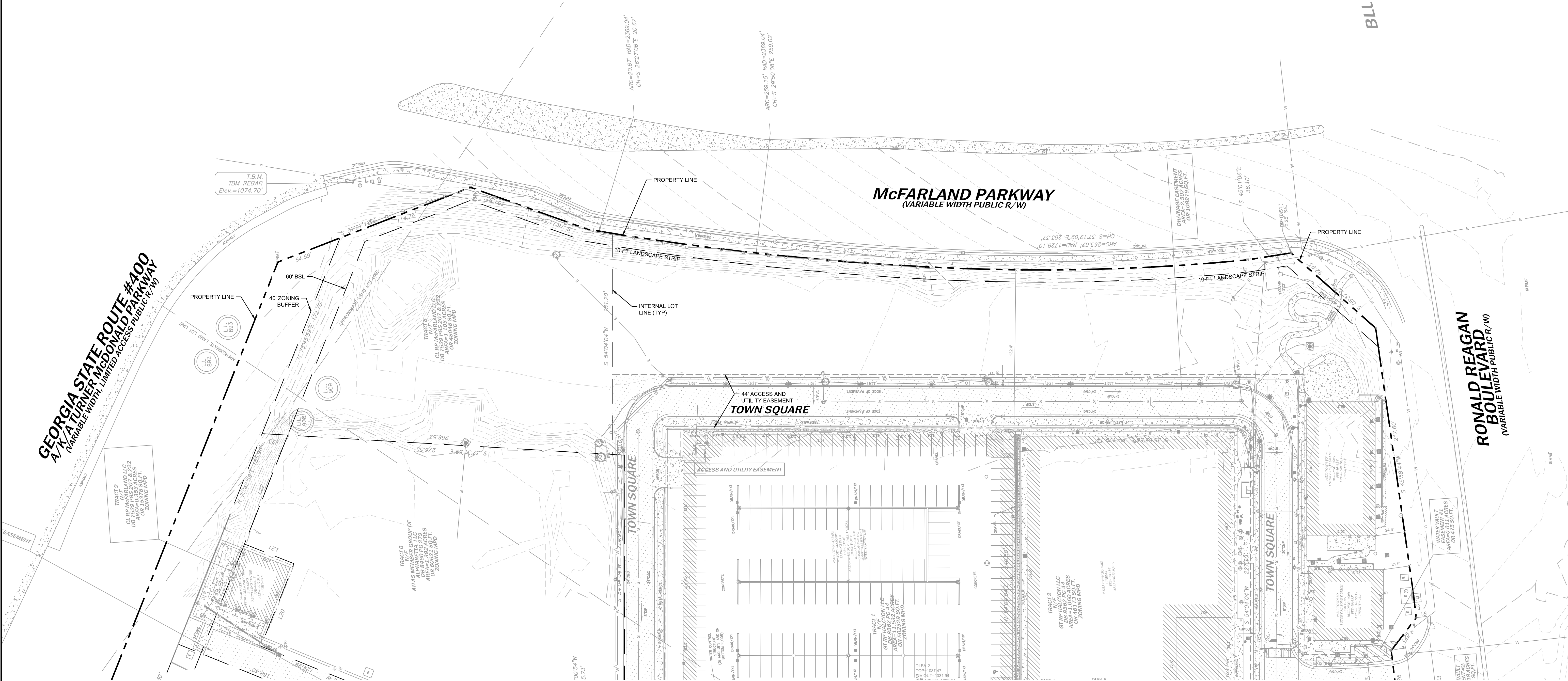
GSWCC NO. 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE  
ZONING INFORMATION

SHEET NUMBER  
C0-10

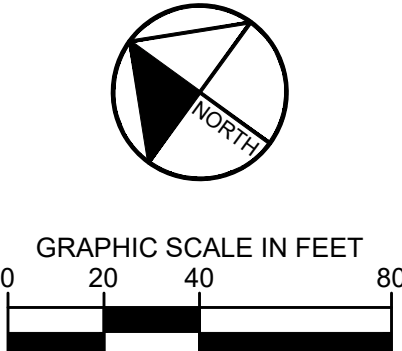
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11720 AMBER PARK DRIVE, SUITE 600  
ALBUQUERQUE, NM 87123  
PHONE (770) 619-4281  
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NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITION SHOWN HEREON PER RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND RECORDED WITH FORSYTH COUNTY. PROPERTY BOUNDARY AND BUFFERS SHOWN PER HALCYON VILLAGE CENTER PLAT, PREPARED BY PAULSON MITCHELL INC, RECORDED WITH FORSYTH COUNTY DATED JANUARY 28, 2019.
  - EXISTING CONDITIONS HAVE BEEN AMENDED TO INCLUDE TOPOGRAPHIC INFORMATION, SITE LIGHTING, TELECOM, AND ELECTRICAL INFORMATION FROM SURVEY CONDUCTED BY TRAVIS PRUITT AND ASSOCIATES.
  - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
  - WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
  - ALL INTERPRETATIONS OR CLARIFICATIONS OF THE SURVEY SHALL BE MADE DIRECTLY BY THE SURVEYOR. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFFECTING THE WORK UNDER THIS CONTRACT



**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

**EXISTING CONDITIONS PLAN**

**C0-80**



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	KHA
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001

**GT-RP HALCYON**  
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WWW.KIMLEY-HORN.COM



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

**NOTE:** CONTRACTOR TO COORDINATE EXISTING GAS, ELECTRICAL, AND COMMUNICATIONS RELOCATIONS WITH RESPECTIVE UTILITY PROVIDERS

**McFARLAND PARKWAY**  
(VARIABLE WIDTH PUBLIC R/W)

REMOVE EXISTING SIGN

**RONALD REAGAN  
BOULEVARD**  
(VARIABLE WIDTH PUBLIC R/W)

**GEORGIA STATE ROUTE #400**  
**A/K/A TURNER McDONALD PARKWAY**  
**(VARIABLE WIDTH, LIMITED ACCESS PUBLIC R/W)**

**NOTES:**




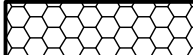


EXISTING CONDITION SHOWN HEREON PER RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND RECORDED WITH FORSYTH COUNTY. PROPERTY BOUNDARY AND BUFFERS SHOWN PER HALCYON VILLAGE CENTER PLAT, PREPARED BY PAULSON MITCHELL INC, RECORDED WITH FORSYTH COUNTY DATED JANUARY 28, 2019.

EXISTING CONDITIONS HAVE BEEN AMENDED TO INCLUDE TOPOGRAPHIC INFORMATION, SITE LIGHTING, TELECOM, AND ELECTRICAL INFORMATION FROM SURVEY CONDUCTED BY TRAVIS PRUITT AND ASSOCIATES.

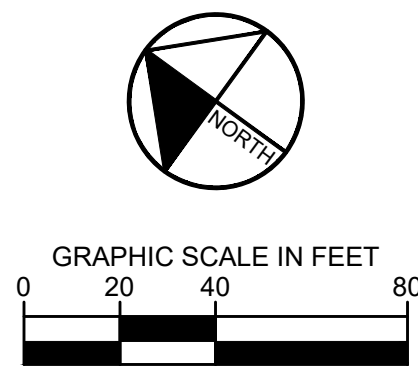
## DEMOLITION NOTES:

1. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
2. RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
3. EXISTING SOIL SERIES IS Lbb, CcB, CcC2 & CcB2 FOR ENTIRE DISTURBED AREA.
4. TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
5. CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
6. CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
8. CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
9. NO GRADED SLOPE SHALL EXCEED 2H:1V.
10. THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13117C226F DATED 03/04/2013.
11. CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
12. CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.

## DEMOLITION LEGEND:

	REMOVE EXISTING OBJECT
	REMOVE EXISTING STRUCTURE
	REMOVE EXISTING ASPHALT PAVEMENT
	REMOVE EXISTING CONCRETE PAVEMENT
	REMOVE EXISTING GRAVEL
	REMOVE EXISTING UTILITIES, FENCING, CURB & GUTTER, & WALLS

**GEORGIA811.**  
 Utility Protection Center, Inc.  
 Know what's below.  
 Call before you dig.



PREPARED BY

**Kimley»»Horn**

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11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GEORGIA 30009  
PHONE (770) 619-4280  
[WWW.KIMLEY-HORN.COM](http://WWW.KIMLEY-HORN.COM)

GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE 825  
ATLANTA, GA 30305  
PHONE: 404.855.5854

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

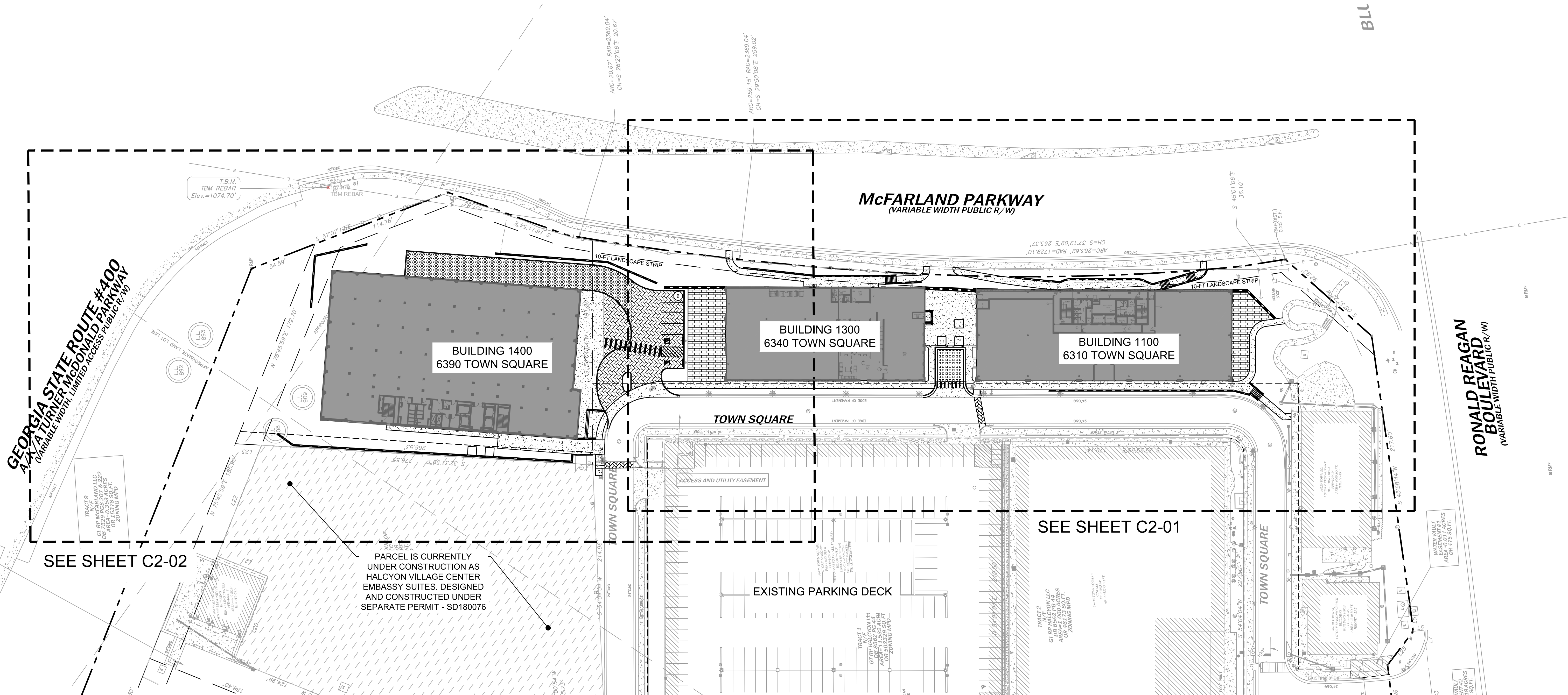
HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	KHA
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001
TITLE	
<b>DEMOLITION PLAN</b>	
SHEET NUMBER	
<b>C1-00</b>	



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.



**SITE NOTES:**

SITE AREA: 12.69 ACRES  
DISTURBED AREA: 2.33 ACRES  
ZONING: MPD (MASTER PLANNED DISTRICT)  
PROPERTY PARCEL: 043-084  
RE-ZONING CASE #: ZA3728 W/ CONDITIONS  
PROPOSED USE: MIXED USE  
BUILDING SETBACK: 60' ALONG GA 400 ROW  
UNDISTURBED BUFFER: 40' ALONG GA 400 ROW  
LANDSCAPE BUFFER: 10' ALONG MCFARLAND PKWY  
MIN. YARD SETBACK: ZERO LOT LINE  
PROPOSED LAND USES & DENSITIES:  
BUILDING 1100 (OFFICE) 61,000 SF  
BUILDING 1300 (RETAIL) 23,000 SF  
BUILDING 1400 (OFFICE) 128,000 SF  
PARKING SUMMARY:  
REFER TO GENERAL NOTES PAGE C0-02 FOR SHARED PARKING TABLE OF HALCYON DEVELOPMENT

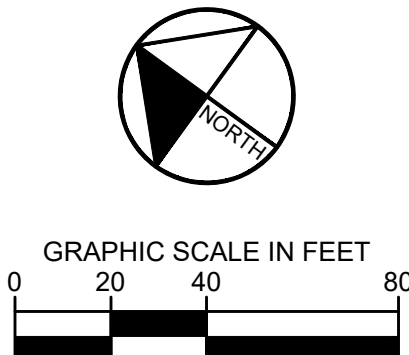
**SITE NOTES:**

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/15/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

**SITE PLAN LEGEND:**

- PROPERTY LINE
- 10 FT LANDSCAPE STRIP LINE
- [Pattern] NON-VEHICULAR RATED PAVERS
- [Pattern] VEHICULAR RATED DECORATIVE PAVERS
- [Pattern] FIRE ACCESS RATED PERVIOUS SURFACE TREATMENT
- [Pattern] VEHICULAR RATED GRASS PAVERS
- [Pattern] STANDARD DUTY CONCRETE SIDEWALK
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT
- (10) PARKING COUNT

**GEORGIA811.**  
Public Protection Center, Inc.  
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GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001  
TITLE

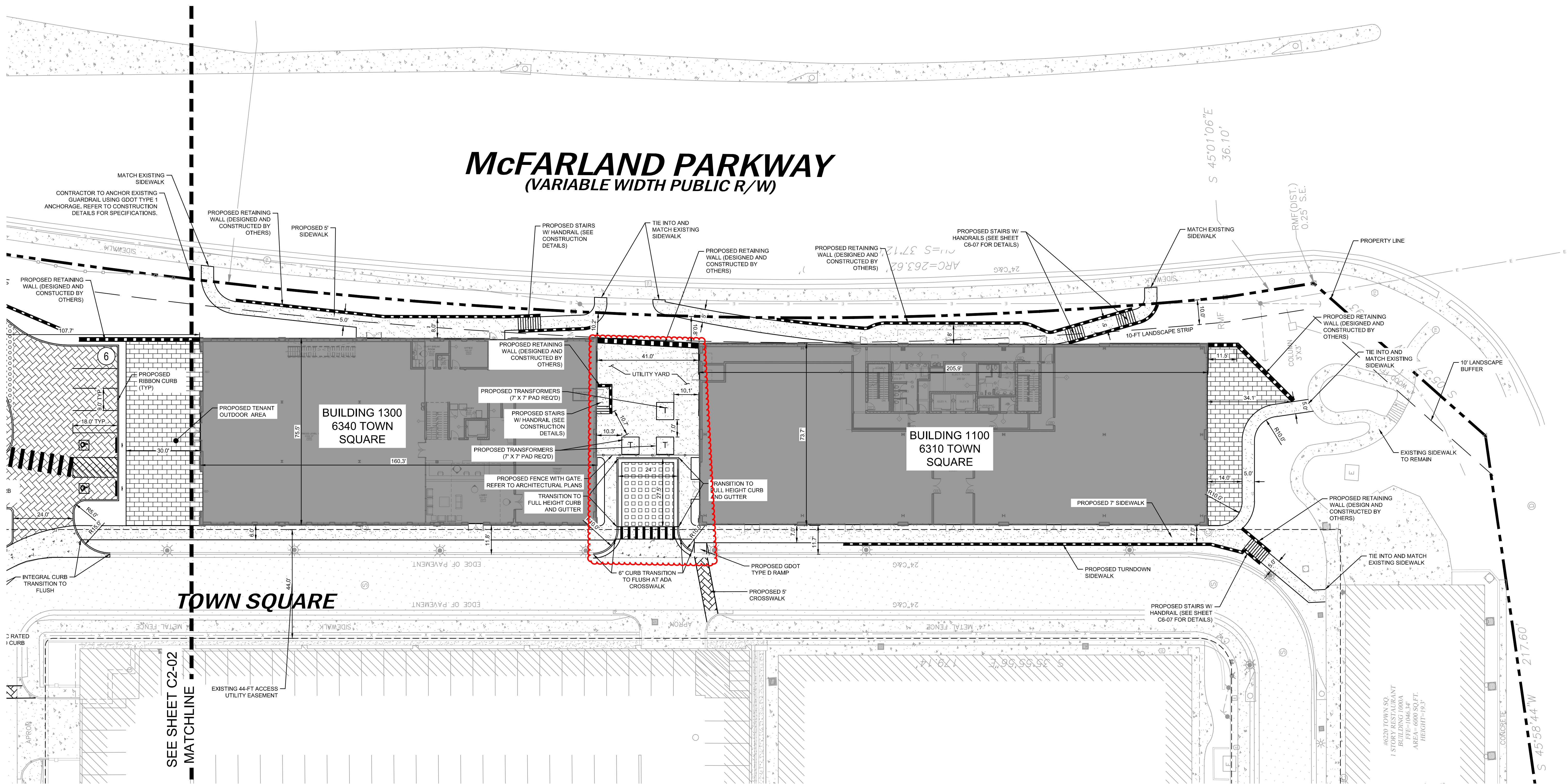
SITE PLAN

SHEET NUMBER  
**C2-00**

**Kimley»Horn**  
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11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE (770) 619-4280  
WWW.KIMLEY-HORN.COM



# McFARLAND PARKWAY (VARIABLE WIDTH PUBLIC R/W)



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

## SITE NOTES:

SITE AREA: 12.69 ACRES  
DISTURBED AREA: 2.33 ACRES  
ZONING: MPD (MASTER PLANNED DISTRICT)  
PROPERTY PARCEL: 043-084  
RE-ZONING CASE #: ZA3728 W/ CONDITIONS  
PROPOSED USE: MIXED USE  
BUILDING SETBACK: 60' ALONG GA 400 ROW  
UNDISTURBED BUFFER: 40' ALONG GA 400 ROW  
LANDSCAPE BUFFER: 10' ALONG MCFARLAND PKWY  
MIN. YARD SETBACK: ZERO LOT LINE

PROPOSED LAND USES & DENSITIES:  
BUILDING 1100 (OFFICE) 61,000 SF  
BUILDING 1300 (RETAIL) 23,000 SF  
BUILDING 1400 (OFFICE) 128,000 SF

PARKING SUMMARY:  
REFER TO GENERAL NOTES PAGE C0-02 FOR SHARED PARKING TABLE OF HALCYON DEVELOPMENT

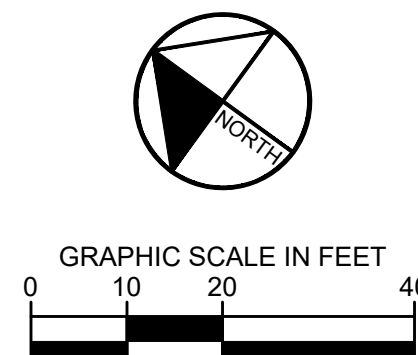
## SITE NOTES:

- THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/15/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
- EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
- ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
- REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

## SITE PLAN LEGEND:

- PROPERTY LINE
- 10 FT LANDSCAPE STRIP LINE
- NON-VEHICULAR RATED PAVERS
- VEHICULAR RATED DECORATIVE PAVERS
- FIRE ACCESS RATED PVIOUS SURFACE TREATMENT
- VEHICULAR RATED GRASS PAVERS
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PARKING COUNT

**GEORGIA811**  
UNITE Protection Center, Inc.  
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GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE  
**DETAILED SITE PLAN**

SHEET NUMBER  
**C2-01**



GEORGIA STATE ROUTE #400  
TURNER McDONALD PARKWAY  
(VARIABLE WIDTH, LIMITED ACCESS PUBLIC R/W)

TRACT 9  
N/F  
CL RP McFARLAND LLC  
DB 7529 PGS 207 & 222  
AREA=0.353 ACRES  
OR 15378 SQ.FT.  
ZONING MPD

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

SITE NOTES:

SITE AREA: 12.69 ACRES  
DISTURBED AREA: 2.33 ACRES  
ZONING: MPD (MASTER PLANNED DISTRICT)  
  
PROPERTY PARCEL: 043-084  
RE-ZONING CASE #: ZA3728 W/ CONDITIONS  
PROPOSED USE: MIXED USE  
  
BUILDING SETBACK: 60' ALONG GA 400 ROW  
UNDISTURBED BUFFER: 40' ALONG GA 400 ROW  
LANDSCAPE BUFFER: 10' ALONG MCFARLAND PKWY  
MIN. YARD SETBACK: ZERO LOT LINE

PROPOSED LAND USES & DENSITIES:  
BUILDING 1100 (OFFICE) 61,000 SF  
BUILDING 1300 (RETAIL) 23,000 SF  
BUILDING 1400 (OFFICE) 128,000 SF

PARKING SUMMARY:  
REFER TO GENERAL NOTES PAGE C0-02 FOR SHARED PARKING TABLE OF HALCYON DEVELOPMENT

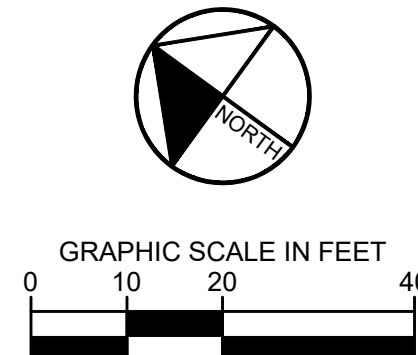
SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/15/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
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3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE PLAN LEGEND:

- PROPERTY LINE
- 10 FT LANDSCAPE STRIP LINE
- NON-VEHICULAR RATED PAVERS
- VEHICULAR RATED DECORATIVE PAVERS
- FIRE ACCESS RATED PVIOUS SURFACE TREATMENT
- VEHICULAR RATED GRASS PAVERS
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PARKING COUNT

GEORGIA811.  
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GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE  
DETAILED SITE PLAN

SHEET NUMBER  
C2-02

Kimley»Horn  
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11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE (770) 619-4281  
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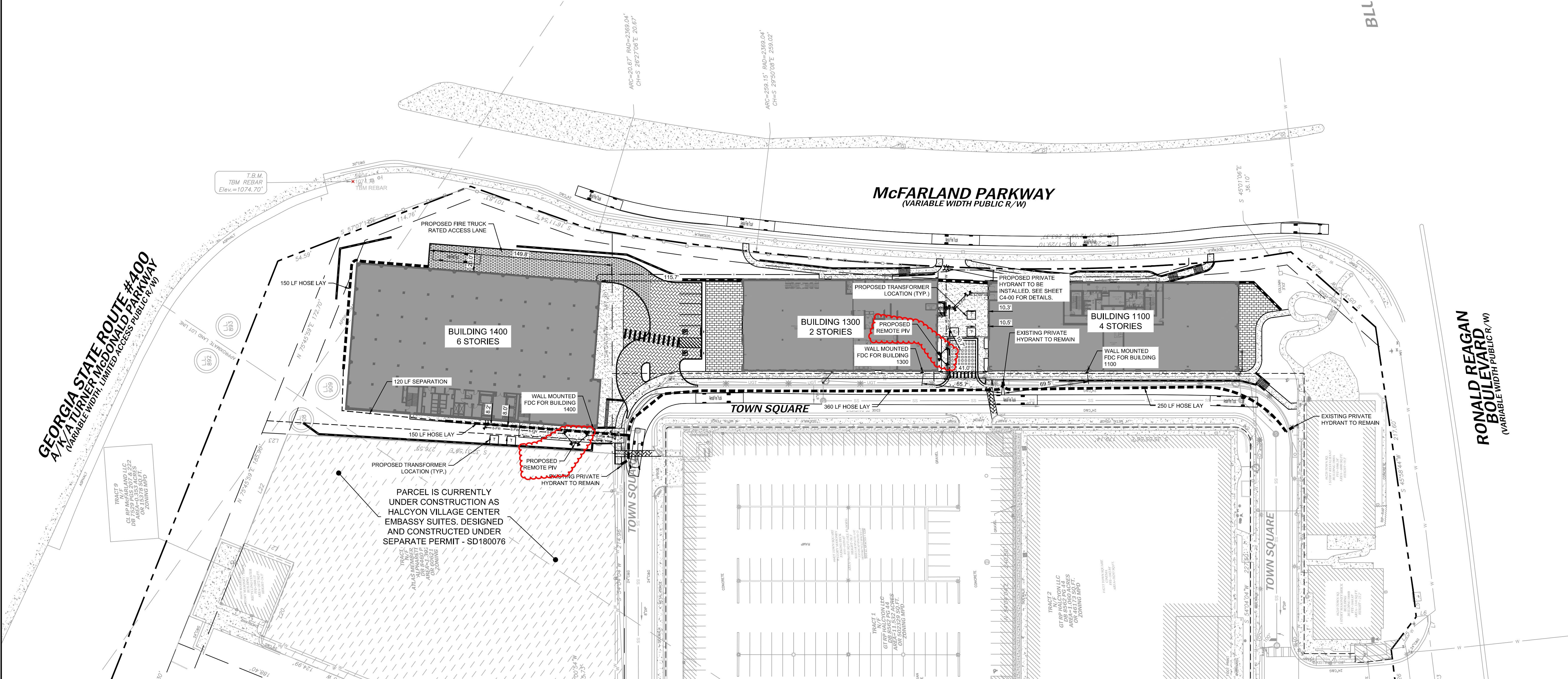
PREPARED FOR

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C2-30 - SITE PLAN.dwg C2-30 FIRE PROTECTION PLAN May 22, 2020 7:33am by: derek.zittrauer

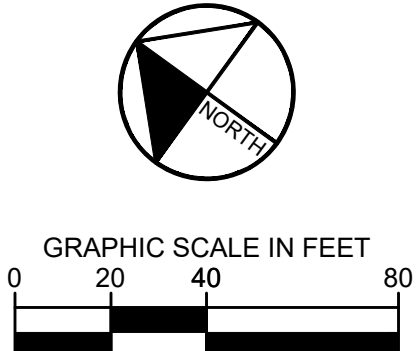


**DESIGN FIRE TRUCK:**

**Aerial Fire Truck**

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

**GEORGIA811.**  
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**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE 825  
ATLANTA, GA 30305  
PHONE: 404.855.5854

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

**PROJECT**

**GEORGIA REGISTERED PROFESSIONAL ENGINEER**  
No. PE044139  
DEREK M. ZITTRAUER

GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001  
TITLE **FIRE PROTECTION PLAN**  
SHEET NUMBER **C2-30**

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1		05/22/2020	DMZ

ISSUANCE AND REVISION DESCRIPTIONS

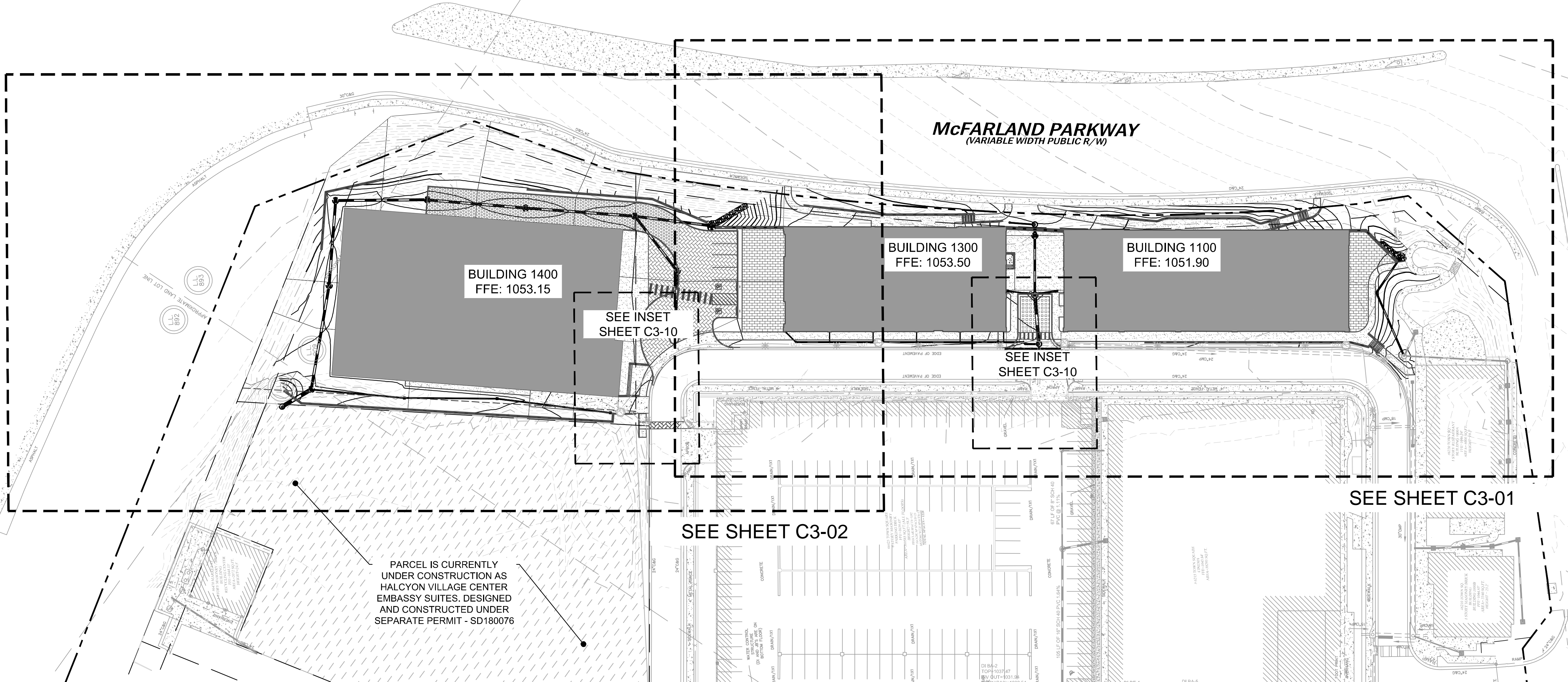
**Kimley»Horn**

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ALPHARETTA, GA 30009  
PHONE (770) 619-4280  
WWW.KIMLEY-HORN.COM



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

Drawing name: K:\A\PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C3-00 - GRADING & DRAINAGE PLAN.dwg May 22, 2020 12:03pm by: Charles White



GRADING & DRAINAGE NOTES:

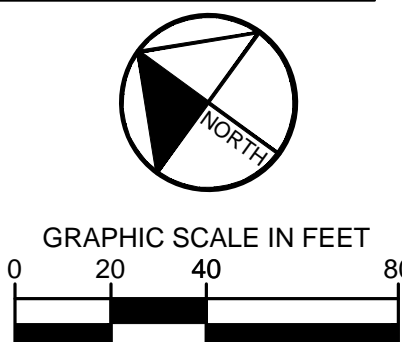
1. SITE AREA: 12.69 ACRES  
DISTURBED AREA: 2.33 ACRES
2. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
4. ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
5. ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
6. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
7. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
8. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
9. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
10. NO GRADED SLOPE SHALL EXCEED 2H:1V
11. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
12. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.
13. NO POOL BACKWASH, FOUNTAIN, SPA, DUMPSTER PAD DRAINS OR DRAIN LINES MAY DISCHARGE INTO THE STORM WATER SYSTEM.

STORM DRAINAGE LEGEND:

- |      |  |  |
|------|--|--|
| JB   |  | JUNCTION BOX (48" PRECAST)                   |
| CI   |  | HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) |
| GI   |  | GRATE INLET (GDOT 10191A, TYPE A)            |
| SWCB |  | SINGLE WING CATCH BASIN (GDOT 1033D)         |
| DWCB |  | DOUBLE WING CATCH BASIN (GDOT 1034D)         |
| YD   |  | YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)   |
| CO   |  | CLEAN OUT                                    |
| TD   |  | TRENCH DRAIN (DURATRENCH)                    |
|      |  | PROPOSED ROOF DRAIN PIPE                     |
|      |  | PROPOSED STORM PIPE                          |

GRADING LEGEND:

- |  |                                     |
|--|-------------------------------------|
|  | EXISTING MAJOR CONTOUR              |
|  | EXISTING MINOR CONTOUR              |
|  | PROPOSED MAJOR CONTOUR              |
|  | PROPOSED MINOR CONTOUR              |
|  | PROPOSED SPOT GRADE                 |
|  | PROPOSED TOP GRADE AT WALL          |
|  | PROPOSED BOTTOM GRADE AT WALL       |
|  | PROPOSED TOP OF STAIR GRADE         |
|  | PROPOSED BOTTOM OF STAIR GRADE      |
|  | PROPOSED HIGH POINT GRADE           |
|  | PROPOSED LOW POINT GRADE            |
|  | PROPOSED TOP OF CURB GRADE          |
|  | PROPOSED BOTTOM OF CURB GRADE       |
|  | MATCH EXISTING GRADE                |
|  | EXISTING GRADE (FOR REFERENCE ONLY) |
|  | DRAINAGE FLOW ARROW                 |



GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

REVISIONS		REVISION DESCRIPTIONS		DATE	BY
1	REVISED PER COUNTY COMMENTS	DMZ		05/22/2020	
No.		ISSUANCE AND REVISION DESCRIPTIONS		DATE	BY

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

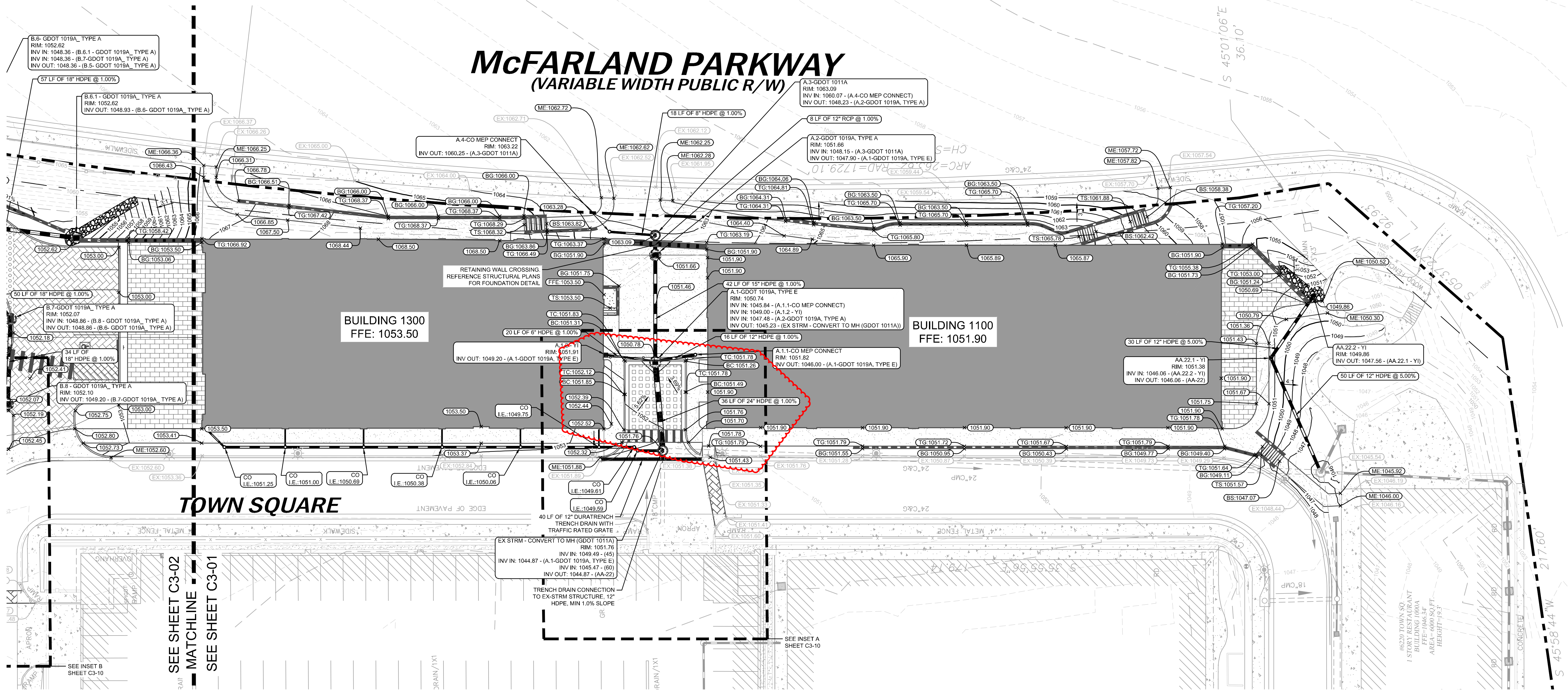
TITLE **OVERALL GRADING AND DRAINAGE PLAN**  
SHEET NUMBER **C3-00**

Kimley»Horn  
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11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE (770) 819-4281  
WWW.KIMLEY-HORN.COM



Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C3-01 DETAILED GRADING AND DRAINAGE May 22, 2020 12:03pm by: Charles White

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.



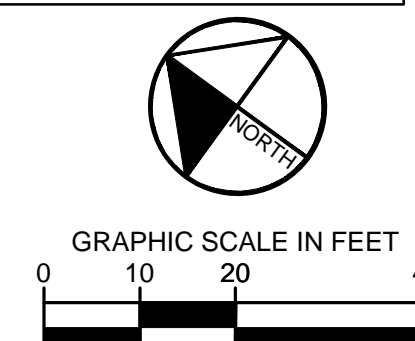
#### STORM DRAINAGE LEGEND:

- |      |  |  |
|------|--|--|
| JB   |  | JUNCTION BOX (48" PRECAST)                   |
| CI   |  | HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) |
| GI   |  | GRATE INLET (GDOT 10191A, TYPE A)            |
| SWCB |  | SINGLE WING CATCH BASIN (GDOT 1033D)         |
| DWCB |  | DOUBLE WING CATCH BASIN (GDOT 1034D)         |
| YD   |  | YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)   |
| CO   |  | CLEAN OUT                                    |
| TD   |  | TRENCH DRAIN (DURATRENCH)                    |
|      |  | PROPOSED ROOF DRAIN PIPE                     |
|      |  | PROPOSED STORM PIPE                          |

#### GRADING LEGEND:

- |  |                                     |
|--|-------------------------------------|
|  | EXISTING MAJOR CONTOUR              |
|  | EXISTING MINOR CONTOUR              |
|  | PROPOSED MAJOR CONTOUR              |
|  | PROPOSED MINOR CONTOUR              |
|  | PROPOSED SPOT GRADE                 |
|  | PROPOSED TOP GRADE AT WALL          |
|  | PROPOSED BOTTOM GRADE AT WALL       |
|  | PROPOSED TOP OF STAIR GRADE         |
|  | PROPOSED BOTTOM OF STAIR GRADE      |
|  | PROPOSED HIGH POINT GRADE           |
|  | PROPOSED LOW POINT GRADE            |
|  | PROPOSED TOP OF CURB GRADE          |
|  | PROPOSED BOTTOM OF CURB GRADE       |
|  | MATCH EXISTING GRADE                |
|  | EXISTING GRADE (FOR REFERENCE ONLY) |
|  | DRAINAGE FLOW ARROW                 |

**GEORGIA811**  
Utility Location Service  
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GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

NO.	REVISION PER COUNTY COMMENTS	DATE	DMZ	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020		

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE **DETAILED GRADING AND DRAINAGE PLAN**  
SHEET NUMBER **C3-01**

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE (770) 619-4281  
WWW.KIMLEY-HORN.COM



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

STATE ROUTE #400  
TURNER McDONALD PARKWAY  
VARIABLE WIDTH, LIMITED ACCESS PUBLIC R/W

TRACT 9  
N/F  
CL RP McFARLAND LLC  
DB 7529 PGS 207 & 222  
AREA=0.353 ACRES  
OR 15378 SQ.FT.  
ZONING MPD

B.1 - GDOT 1019A, TYPE A  
RIM: 1051.69  
INV IN: 1044.83 - (B.2 - GDOT 1019A, TYPE A)  
INV IN: 1048.30 - (B.1.1 - YI)  
INV OUT: 1040.73 - (B.0 - GDOT 1011A)

B.0 - GDOT 1011A  
RIM: 1043.30  
INV IN: 1040.00 - (B.1 - GDOT 1019A, TYPE A)

PROPOSED CONNECTION TO EXISTING  
STRUCTURE A-5 TO BE INSTALLED AS A  
PART OF EMBASSY SUITES  
CONSTRUCTION. CONTRACTOR TO ENSURE  
STORM STRUCTURE INVERT AND LOCATION  
PRIOR TO INSTALLING ANY UPSTREAM  
STORMWATER INFRASTRUCTURE.

APPROXIMATE BG: 1044.14  
CONTRACTOR TO  
COORDINATE WALL WITH  
EMBASSY SUITES  
CONSTRUCTION

B.1.1 - YI  
RIM: 1052.13  
INV IN: 1048.97 - (B.1.2 - YI)  
INV OUT: 1048.97 - (B.1 - GDOT 1019A, TYPE A)

B.1.2 - YI  
RIM: 1052.80  
INV IN: 1049.64 - (B.1.3 - YI)  
INV OUT: 1049.64 - (B.1.1 - YI)

PARCEL IS CURRENTLY UNDER CONSTRUCTION AS  
HALCYON VILLAGE CENTER EMBASSY SUITES.  
DESIGNED AND CONSTRUCTED UNDER SEPARATE  
PERMIT - SD180076

APPROXIMATE BG: 1045.00  
CONTRACTOR TO  
COORDINATE WALL WITH  
EMBASSY SUITES  
CONSTRUCTION

67 LF OF 8" HDPE @ 1.00%

76 LF OF 18" HDPE @ 1.00%

B.2 - GDOT 1019A, TYPE A  
RIM: 1052.38  
INV IN: 1045.59 - (B.3 - GDOT 1019A)  
INV OUT: 1045.59 - (B.1 - GDOT 1019A, TYPE A)

61 LF OF 18" HDPE @ 1.00%

B.5 - GDOT 1019A, TYPE A  
RIM: 1052.65  
INV IN: 1047.57 - (B.6 - GDOT 1019A, TYPE A)  
INV OUT: 1047.57 - (B.4 - GDOT 1019A, TYPE A)

B.4 - GDOT 1019A, TYPE A  
RIM: 1052.68  
INV IN: 1046.86 - (B.5 - GDOT 1019A, TYPE A)  
INV OUT: 1046.86 - (B.3 - GDOT 1019A)

B.3 - GDOT 1019A  
RIM: 1052.40  
INV IN: 1046.20 - (B.4 - GDOT 1019A, TYPE A)  
INV OUT: 1046.20 - (B.2 - GDOT 1019A, TYPE A)

B.4 - GDOT 1019A, TYPE A  
RIM: 1052.68  
INV IN: 1046.86 - (B.5 - GDOT 1019A, TYPE A)  
INV OUT: 1046.86 - (B.3 - GDOT 1019A)

B.6 - GDOT 1019A, TYPE A  
RIM: 1052.62  
INV IN: 1048.36 - (B.6.1 - GDOT 1019A, TYPE A)  
INV IN: 1048.36 - (B.7 - GDOT 1019A, TYPE A)  
INV OUT: 1048.36 - (B.5 - GDOT 1019A, TYPE A)

57 LF OF 18" HDPE @ 1.00%

B.6.1 - GDOT 1019A, TYPE A  
RIM: 1052.62  
INV OUT: 1048.93 - (B.6 - GDOT 1019A, TYPE A)

B.7 - GDOT 1019A, TYPE A  
RIM: 1052.07  
INV IN: 1048.86 - (B.8 - GDOT 1019A, TYPE A)  
INV OUT: 1048.86 - (B.6 - GDOT 1019A, TYPE A)

34 LF OF 18" HDPE @ 1.00%

B.8 - GDOT 1019A, TYPE A  
RIM: 1052.10  
INV OUT: 1049.20 - (B.7 - GDOT 1019A, TYPE A)

APPROXIMATE BG: 1046.95  
CONTRACTOR TO  
COORDINATE WALL WITH  
EMBASSY SUITES  
CONSTRUCTION  
RIM: 1052.50  
INV OUT: 1050.46 - (B.1.2 - YI)

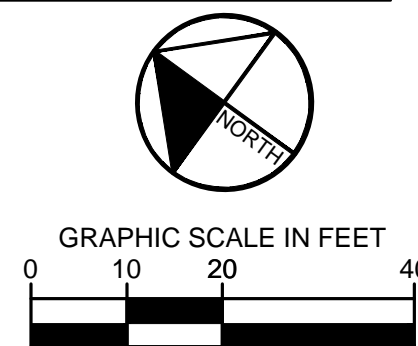
### STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (48" PRECAST)
- CI HOODED GRATE CURB INLET (GDOT 1019A, TYPE E)
- GI GRATE INLET (GDOT 10191A, TYPE A)
- SWCB SINGLE WING CATCH BASIN (GDOT 1033D)
- DWCB DOUBLE WING CATCH BASIN (GDOT 1034D)
- YD YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CO CLEAN OUT
- TD TRENCH DRAIN (DURATRENCH)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE

### GRADING LEGEND:

- 950 EXISTING MAJOR CONTOUR
- 948 EXISTING MINOR CONTOUR
- 945 PROPOSED MAJOR CONTOUR
- 944 PROPOSED MINOR CONTOUR
- 945.00 PROPOSED SPOT GRADE
- TG-945.00 PROPOSED TOP GRADE AT WALL
- BG-945.00 PROPOSED BOTTOM GRADE AT WALL
- TS-945.00 PROPOSED TOP OF STAIR GRADE
- BS-945.00 PROPOSED BOTTOM OF STAIR GRADE
- HP-945.00 PROPOSED HIGH POINT GRADE
- LP-945.00 PROPOSED LOW POINT GRADE
- TC-945.00 PROPOSED TOP OF CURB GRADE
- BC-945.00 PROPOSED BOTTOM OF CURB GRADE
- MATCH EXISTING GRADE
- EXISTING GRADE (FOR REFERENCE ONLY)
- DRAINAGE FLOW ARROW

GEORGIA811  
Utility Protection Center, Inc.  
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Call before you dig.



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11720 AMBER PARK DRIVE, SUITE 600  
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**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

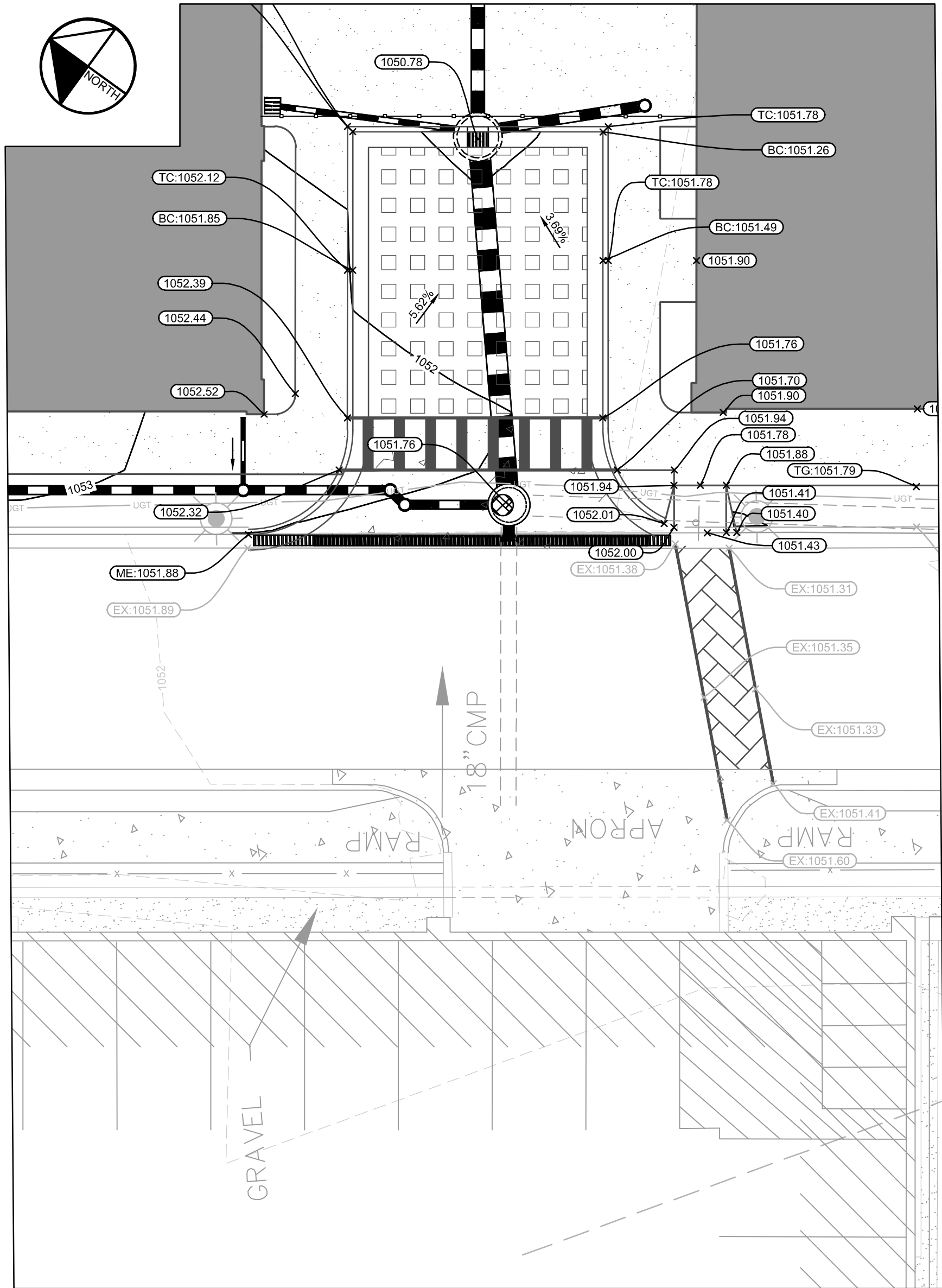


GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

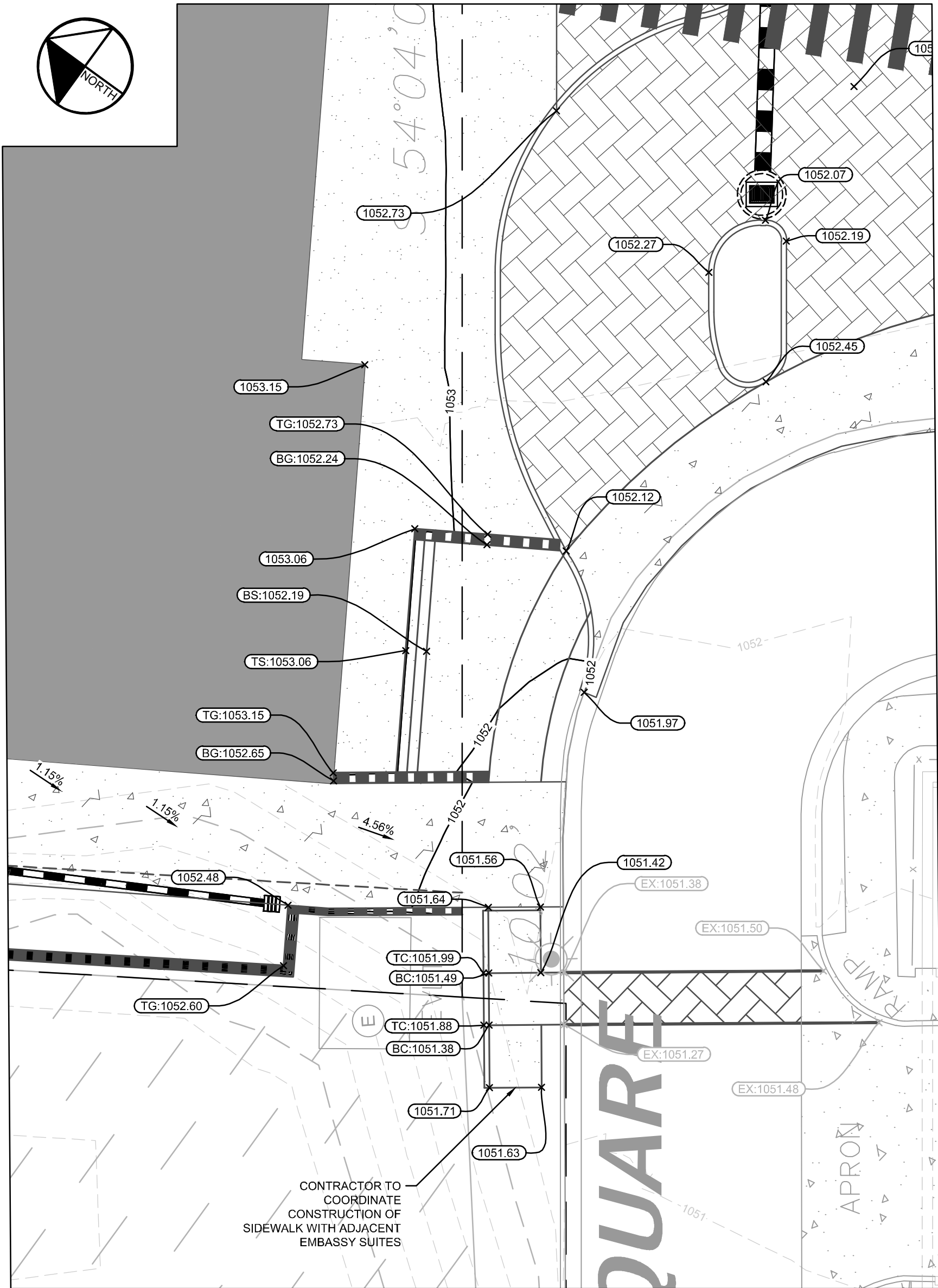
TITLE **DETAILED GRADING AND DRAINAGE PLAN**  
SHEET NUMBER **C3-02**



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.



INSET A  
SCALE: 1" = 10'



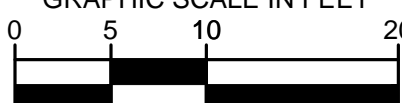
INSET B  
SCALE: 1" = 10'

GRADING LEGEND:

- 950 EXISTING MAJOR CONTOUR
- 948 EXISTING MINOR CONTOUR
- 945 PROPOSED MAJOR CONTOUR
- 944 PROPOSED MINOR CONTOUR
- X 945.00 PROPOSED SPOT GRADE
- X TG-945.00 PROPOSED TOP GRADE AT WALL
- X BG-945.00 PROPOSED BOTTOM GRADE AT WALL
- X TS-945.00 PROPOSED TOP OF STAIR GRADE
- X BS-945.00 PROPOSED BOTTOM OF STAIR GRADE
- X HP-945.00 PROPOSED HIGH POINT GRADE
- X LP-945.00 PROPOSED LOW POINT GRADE
- X TC-945.00 PROPOSED TOP OF CURB GRADE
- X BC-945.00 PROPOSED BOTTOM OF CURB GRADE
- MATCH EXISTING GRADE
- EXISTING GRADE (FOR REFERENCE ONLY)
- DRAINAGE FLOW ARROW

STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (48" PRECAST)
- CI HOODED GRATE CURB INLET (GDOT 1019A, TYPE E)
- GI GRATE INLET (GDOT 10191A, TYPE A)
- SWCB SINGLE WING CATCH BASIN (GDOT 1033D)
- DWCB DOUBLE WING CATCH BASIN (GDOT 1034D)
- YD YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CO CLEAN OUT
- TD TRENCH DRAIN (DURATRENCH)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE



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**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

REVISIONS		DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

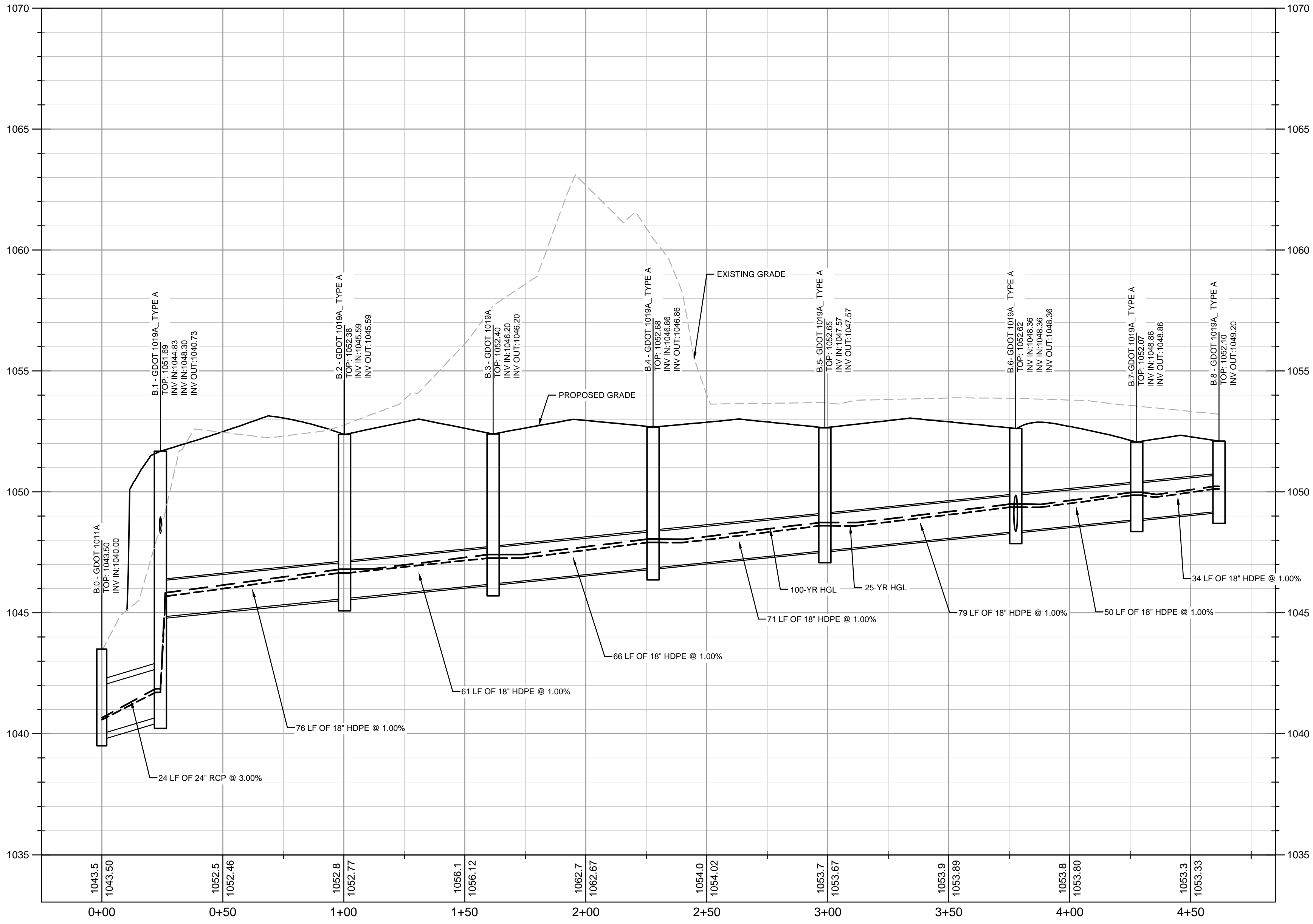


GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	KHA
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001

TITLE  
**GRADING  
INSETS**  
SHEET NUMBER  
**C3-10**



Drawing name: K:\ALP\_RP\013623001\_Halcyon - Village District\CAD\PlanSheets\C3-50 - STORM SEWER PROFILES.dwg C3-50 - STORM SEWER PROFILES May 22, 2020 12:03pm by: Charles.White



PROFILE VIEW  
B0 TO B8  
1" = 30' HORIZ.  
1" = 3' VERT.

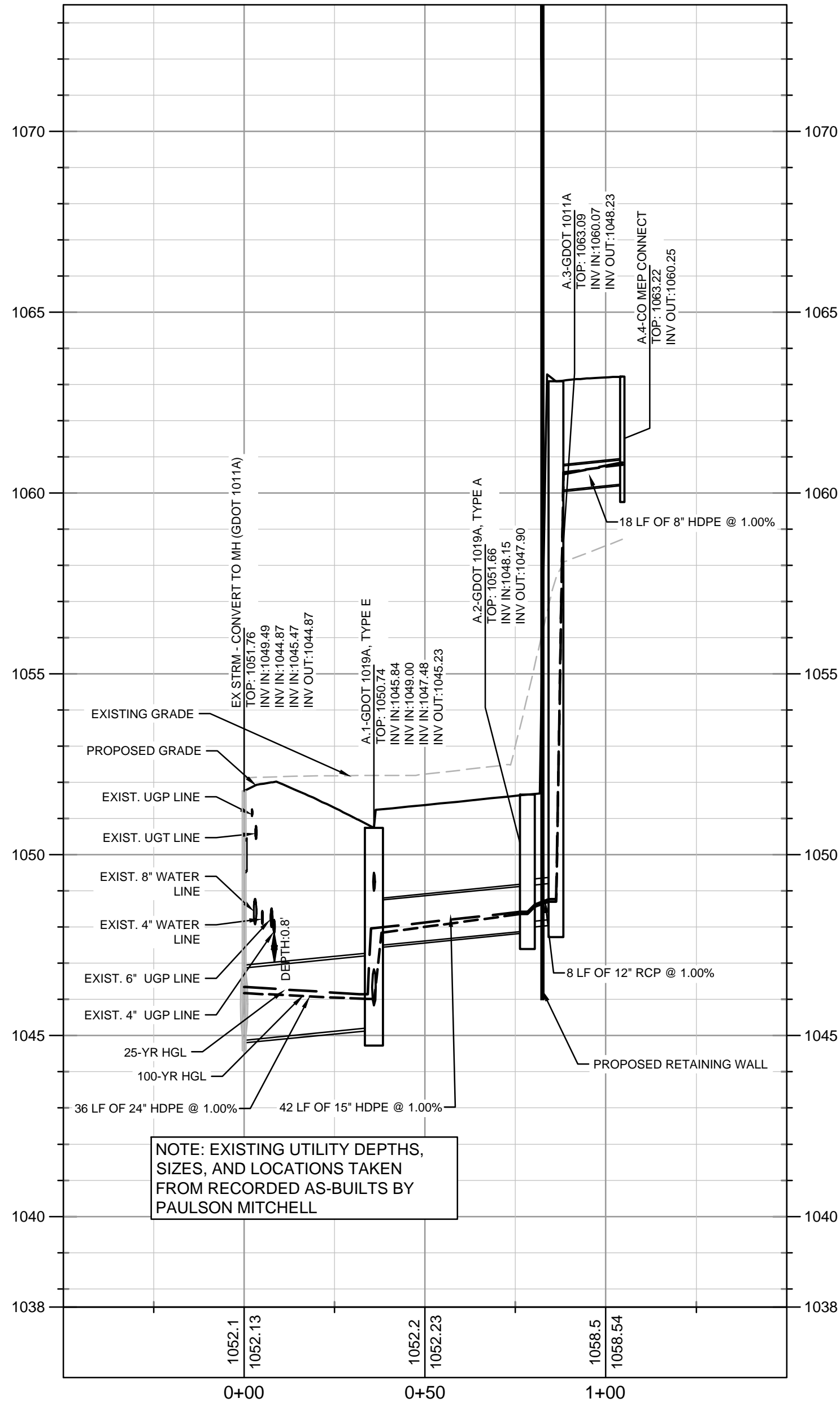
STORM INLET TABLE (100-YEAR STORM):

Line No.	Inlet ID	Area (ac)	InletTime (min)	Int. (in/hr)	RunoffCoeff. (C)	Q=CIA (cfs)	Q Carry-over (cfs)	Q Captured (cfs)	Q Bypassed (cfs)	JuncType	CurbHeight (in)	CurbLength (ft)	GrateArea (sqft)	GrateLength (ft)	GrateWidth (ft)	GutterSlope (ft/ft)	GutterWidth (ft)	CrossSlope, Sw (ft/ft)	CrossSlope, Sx (ft/ft)	LocalDepr. (in)	InletDepth (ft)	BypassDepth (ft)	BypassSpread (ft)	GutterDepth (ft)	GutterSpread (ft)	BypassLine No.	
1	EX STRM - CONVERT TO MH (GDOT 1011A)	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
2	A.1-GDOT 1019A, TYPE E	0.04	5	11.78	0.9	0.42	0	0.42	0	Grate	.....	.....	0.13	0.06	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
3	A.2-GDOT 1019A, TYPE A	0.01	5	11.78	0.9	0.11	0	0.11	0	Grate	.....	.....	0.03	0.02	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
4	A.3-GDOT 1011A	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
5	A.4-CO MEP CONNECT	0.15	5	11.78	0.9	1.59	0	1.59	0	Grate	.....	.....	0.47	0.24	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
2	CO	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
3	CO	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
4	CO.1	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
5	CO.2	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
6	CO.3	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
7	CO.4	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
8	CO.5	0	5	0	0	0	0	0	0	MH	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....	
9	CO.6	0	5	0	0	0	0	0	0	Grate	.....	.....	0	0	2	Sag	2	0.05	0.02	0	0.3	n/a	n/a	.....	0.3	12	Sag
10	ROOF DRAIN 6	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
11	ROOF DRAIN 1	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
12	ROOF DRAIN 5	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
13	ROOF DRAIN 4	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
14	ROOF DRAIN 3	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
15	ROOF DRAIN 2	0.03	5	9.83	0.9	0.27	0	0.27	0	Grate	.....	.....	0.08	0.04	2	Sag	2	0.05	0.02	0	0.41	n/a	n/a	.....	0.41	17.27	Sag
20	A.1.2 - YI	0.04	5	11.78	0.9	0.42	0	0.42	0	Grate	.....	.....	0.13	0.06	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
22	TRENCH DRAIN	0.1	5	11.78	0.9	1.06	0	1.06	0	Grate	.....	.....	0.31	0.16	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
23	B.1 - GDOT 1019A, TYPE A	0.09	5	11.78	0.4	0.42	0	0.42	0	Grate	.....	.....	0.13	0.06	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
24	B.1.1 - YI	0.02	5	11.78	0.4	0.09	0	0.09	0	Grate	.....	.....	0.03	0.01	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
25	B.1.2 - YI	0.03	5	11.78	0.4	0.14	0	0.14	0	Grate	.....	.....	0.04	0.02	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
26	B.1.3 - YI	0.01	5	11.78	0.4	0.05	0	0.05	0	Grate	.....	.....	0.01	0.01	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
27	B.2 - GDOT 1019A, TYPE A	0.03	5	11.78	0.4	0.14	0	0.14	0	Grate	.....	.....	0.04	0.02	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
28	B.3 - GDOT 1019A	0.08	5	11.78	0.4	0.38	0	0.38	0	Grate	.....	.....	0.11	0.06	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
29	B.4 - GDOT 1019A, TYPE A	0.12	5	11.78	0.4	0.57	0	0.57	0	Grate	.....	.....	0.17	0.08	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
30	B.5 - GDOT 1019A, TYPE A	0.11	5	11.78	0.4	0.52	0	0.52	0	Grate	.....	.....	0.15	0.08	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
31	B.6 - GDOT 1019A, TYPE A	0.05	5	11.78	0.4	0.24	0	0.24	0	Grate	.....	.....	0.07	0.03	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
32	B.7 - GDOT 1019A, TYPE A	0.12	5	11.78	0.9	1.27	0	1.27	0	Grate	.....	.....	0.38	0.19	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
33	B.8 - GDOT 1019A, TYPE A	0.59	5	11.78	0.9	6.26	0	6.26	0	Grate	.....	.....	18.57	9.29	2	Sag	2	0.05	0.02	0	0.34	n/a	n/a	.....	0.34	14.04	Sag
34	B.6.1 - GDOT 1019A, TYPE A	0.08	5	11.78	0.4	0.38	0	0.38	0	Grate	.....	.....	0.11	0.06	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
35	AA.22.1 - YI	0.01	5	11.78	0.4	0.05	0	0.05	0	Grate	.....	.....	0.01	0.01	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag
36	AA.22.2 - YI	0.03	5	11.78	0.4	0.14	0	0.14	0	Grate	.....	.....	0.04	0.02	2	Sag	2	0.05	0.02	0	0.44	n/a	n/a	.....	0.44	19.21	Sag

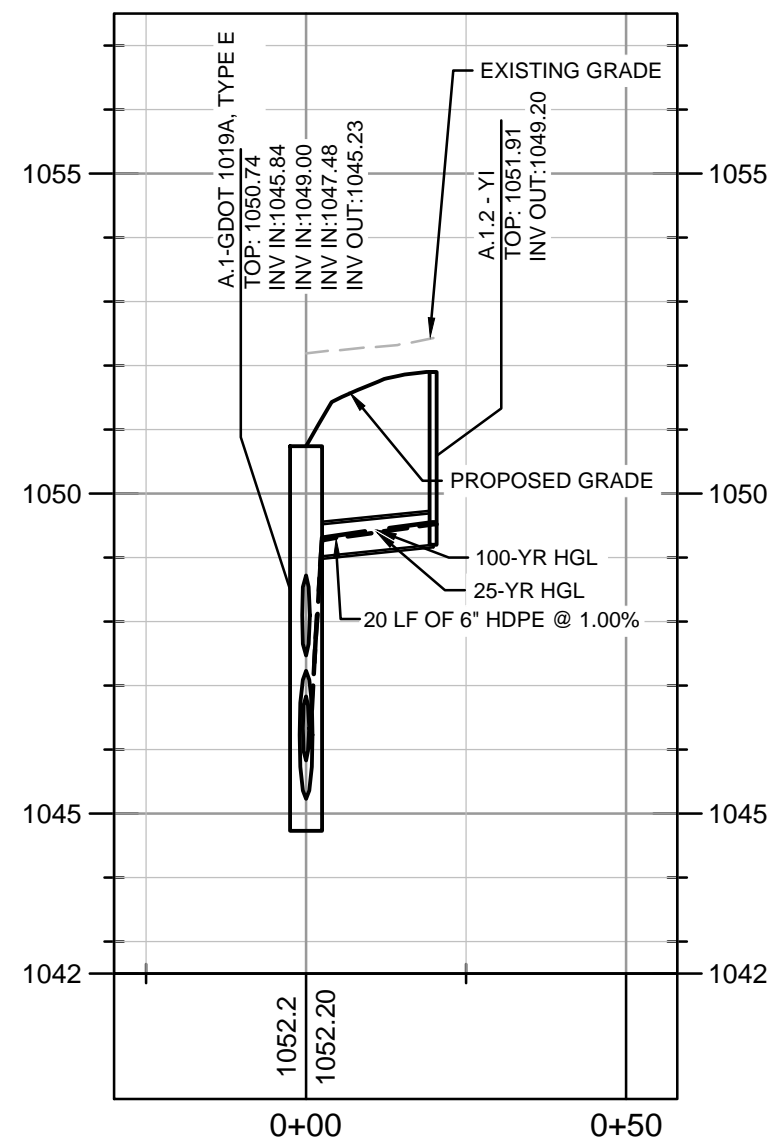
STORM DRAINAGE TABLE (25-YEAR STORM):

LineNo.	Line ID	FlowRate (cfs)	Line Size(Rise x Span) (in)	LineType	LineLength (ft)	Invert Elev.Down (ft)	Invert Elev.Up (ft)	LineSlope (%)	HGLDown (ft)	HGLUp (ft)	MinorLoss (ft)	HGLJunct (ft)	Dn StrLine No.
1	EX. STRM TO OUTFALL	8.54	24	Cir	263.068	1041.67	1044.87	1.22	1042.82	1046.03	0.32	1046.35	Outfall
2	A.1 TO EX. STRM	4.85	24	Cir	35.922	1044.87	1045.23	1	1046.17	1046.01	0.43	1046.01	1
3	A.2 TO A.1	1.34	15	Cir	42.368	1047.48	1047.9	0.99	1047.84	1048.36	0.08	1048.36	2
4	A.3 TO A.2	1.26	12	Cir	7.961	1048.15	1048.23	1	1048.56	1048.7	0.18	1048.7	3
5	A.4 TO A.3	1.27	8	Cir	18.33	1060.07	1060.25	0.98	1060.56	1060.78	n/a	1060.78	4
2	CO TO EX. STRM	1.28	10	Cir	10	1049.49	1049.59	1	1049.9	1050.1	0.16	1050.1	1
3	CO TO CO	1.28	10	Cir	1.976	1049.59	1049.61	1.01	1050.1	1050.12	n/a	1050.12	2
4	CO.1 TO CO	1.28	10	Cir	14.089	1049.61	1049.75	0.99	1050.12	1050.26	0.21	1050.26	3
5	CO.2 TO CO.1	1.08	10	Cir	31.333	1049.75	1050.06	0.99	1050.26	1050.52	n/a	1050.52	4
6	CO.3 TO CO.2	0.87	10	Cir	31.333	1050.06	1050.38	1.02	1050.52	1050.79	n/a	1050.79	5
7	CO.4 TO CO.3	0.66	10	Cir	31.333	1050.38	1050.69	0.99	1050.79	1051.05	n/a	1051.05	6
8	CO.5 TO CO.4	0.44	10	Cir	31.333	1050.69	1051	0.99	1051.05	1051.29	n/a	1051.29	7
9	CO.6 TO CO.5	0.22	10	Cir	24.282	1051	1051.25	1.03	1051.29	1051.45	n/a	1051.45	8
10	ROOF DRAIN 6 TO CO.6	0.22	6	Cir	9.969	1051.58	1051.68	1	1051.78	1051.92	0.09	1051.92	9
11	ROOF DRAIN 1 TO CO.1	0.22	4	Cir	6.977	1051.5	1049.9	-22.93	1051.77	1051.87*	0.1	1051.98	4
12	ROOF DRAIN 5 TO CO.5	0.22	4	Cir	7	1051.16	1050.96	-2.86	1051.43	1051.53*	0.1	1051.64	8
13	ROOF DRAIN 4 TO CO.4	0.22	4	Cir	7.02	1050.81	1050.96	2.14	1051.05	1051.23	0.14	1051.23	7
14	ROOF DRAIN 3 TO CO.3	0.22	4	Cir	7.006	1050.72	1050.96	3.43	1050.89	1051.23	0.14	1051.23	6
15	ROOF DRAIN 2 TO CO.2	0.22	4	Cir	6.991	1050.62	1050.96	4.86	1050.78	1051.23	0.14	1051.23	5
20	A.1.2 TO A.1	0.34	6	Cir	19.855	1049	1049.2	1.01	1049.25	1049.49	0.12	1049.49	2
22	TRENCH DRAIN TO EX. STRM	0.84	12	Cir	3.444	1045.47	-0.5	-30367.7	1046.35	1046.35*	0.02	1046.37	1
23	B.1 TO OUTFALL	6.85	24	Cir	24.263	1040	1040.73	3.01	1040.52	1041.66	n/a	1041.66	Outfall
24	B.1.1 TO B.1	0.19	8	Cir	67.383	1048.3	1048.97	0.99	1048.47	1049.17	0.04	1049.17	23
25	B.1.2 TO B.1.1	0.13	8	Cir	66.879	1048.97	1049.64	1	1049.17	1049.81	n/a	1049.81	24
26	B.1.3 TO B.1.2	0.04	8	Cir	82.136	1049.64	1050.46	1	1049.81	1050.55	n/a	1050.55	25
27	B.2 TO B.1	6.75	18	Cir	76.005	1044.83	1045.59	1	1045.62	1046.59	0.22	1046.59	23
28	B.3 TO B.2	6.74	18	Cir	61.415	1045.59	1046.2	0.99	1046.59	1047.2	0.67	1047.2	27
29	B.4 TO B.3	6.58	18	Cir	66.157	1046.2	1046.86	1	1047.2	1047.85	n/a	1047.85	28
30	B.5 TO B.4	6.29	18	Cir	70.916	1046.86	1047.57	1	1047.85	1048.54	n/a	1048.54	29
31	B.6 TO B.5	6.04	18	Cir	78.914	1047.57	1048.36	1	1048.54	1049.31	n/a	1049.31	30
32	B.7 TO B.6	5.92	18	Cir	49.972	1048.36	1048.86	1	1049.31	1049.8	n/a	1049.8	31
33	B.8 TO B.7	4.98	18	Cir	34.075	1048.86	1049.2	1	1049.8	1050.06	n/a	1050.06	32
34	B.6.1 TO B.6	0.3	18	Cir	57.19	1048.36	1048.93	1	1049.31	1049.13	0.07	1049.13	31
35	AA.22.1 TO OUTFALL	0.15	12	Cir	49.879	1043.57	1046.06	4.99	1043.66	1046.22	0.07	1046.22	Outfall
36	AA.22.2 TO AA.22.1	0.11	12	Cir	30.037	1046.06	1047.56	4.99	1046.22	1047.7	n/a	1047.7	35

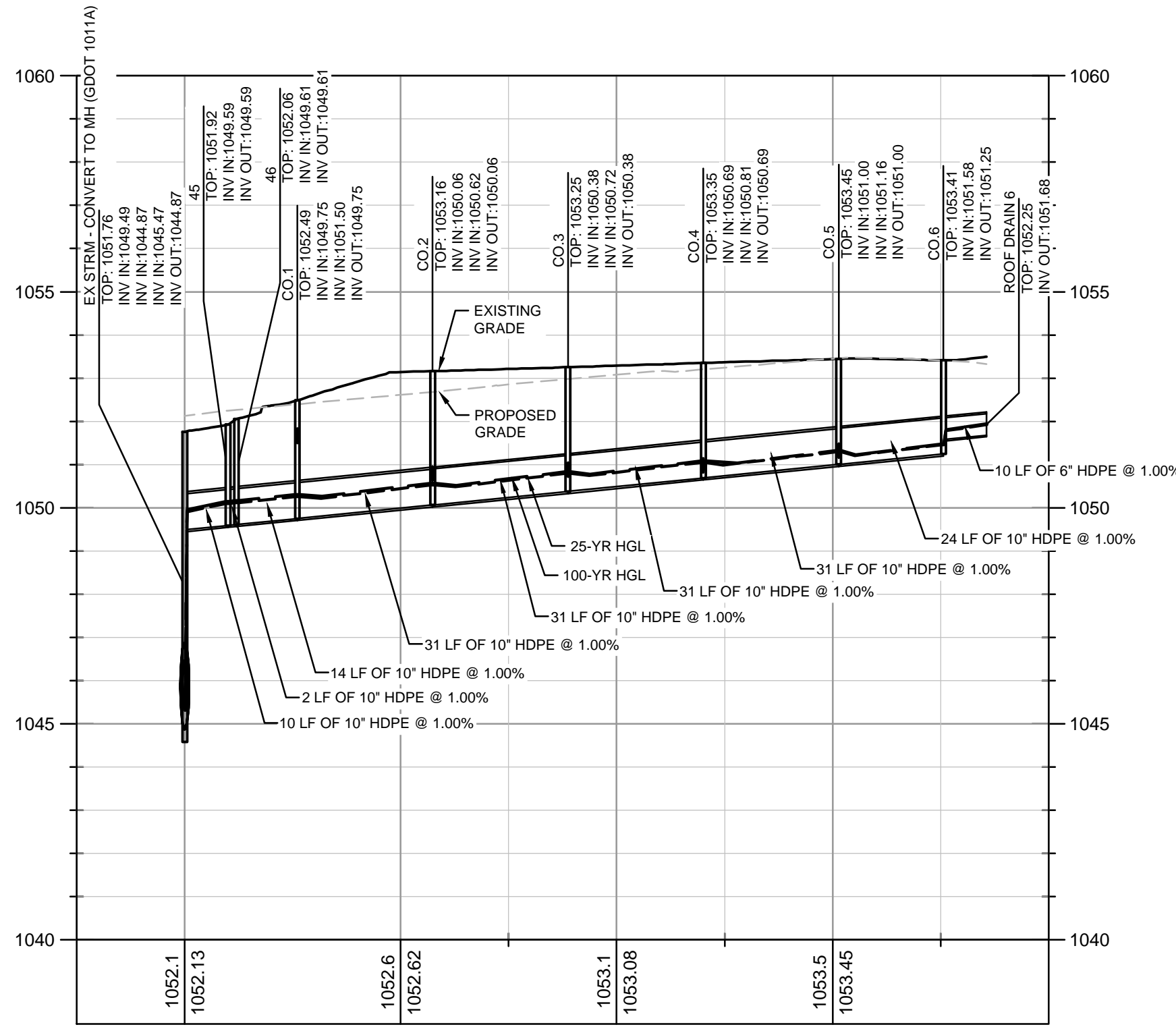




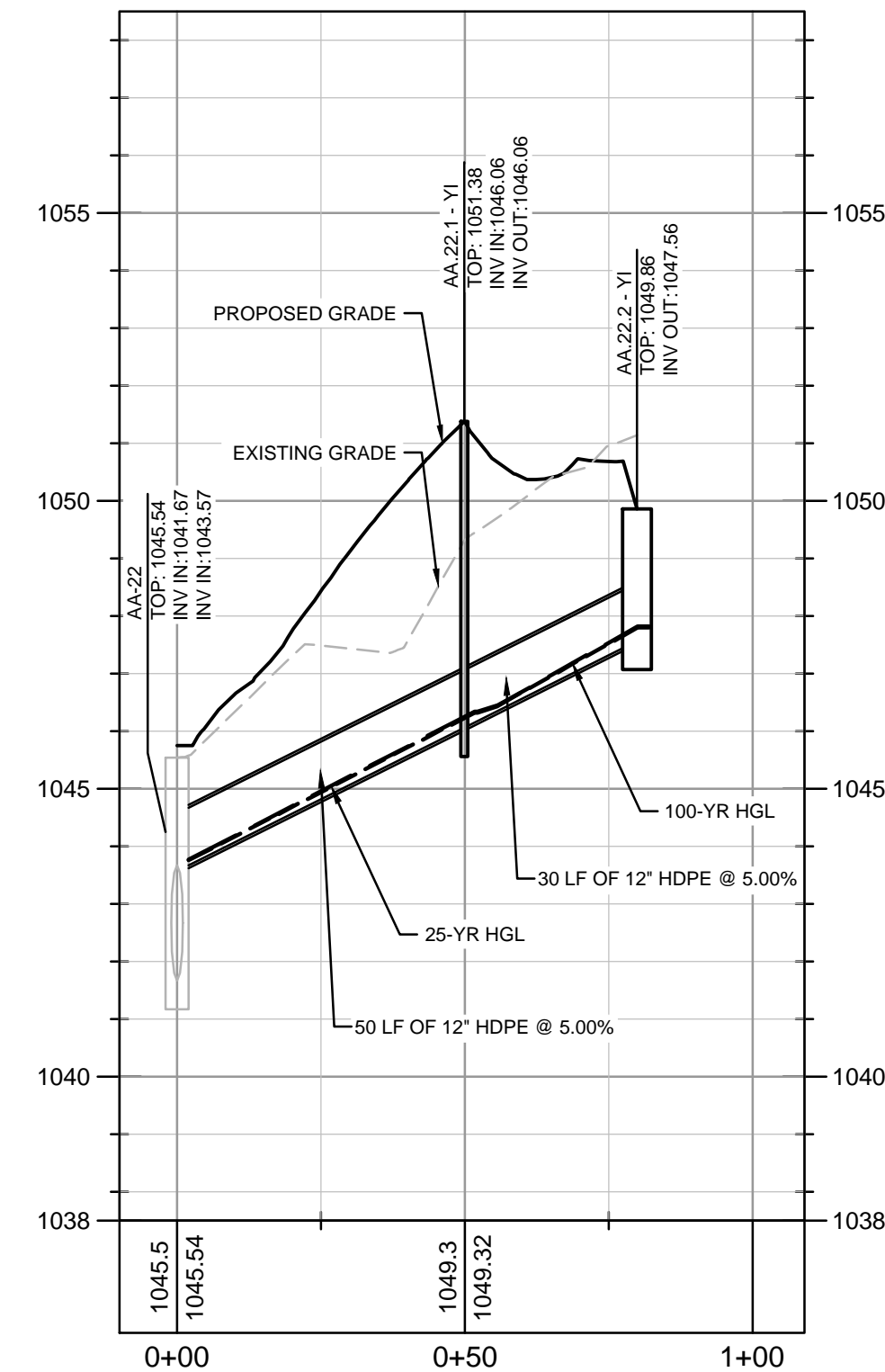
PROFILE VIEW  
EX STRM TO A.4  
1" = 30' HORZ.  
1" = 3' VERT.



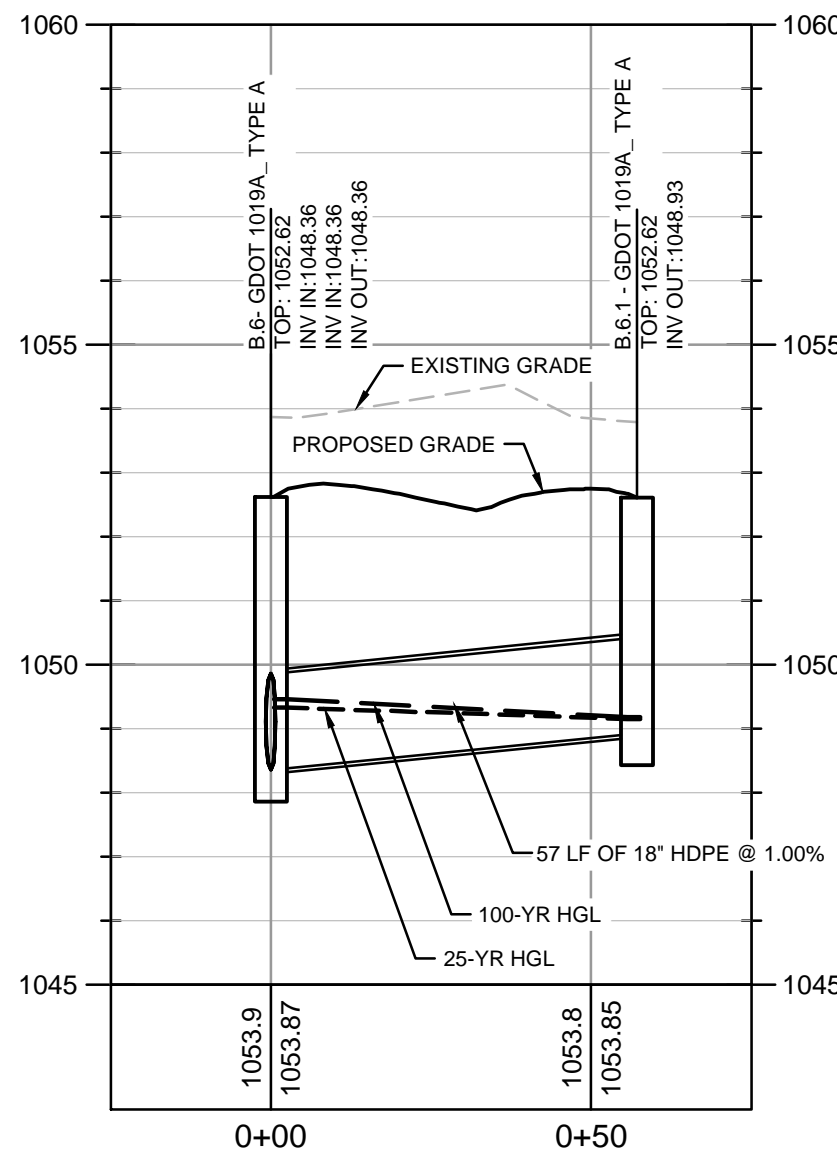
PROFILE VIEW  
A.1 TO A.1.2  
1" = 30' HORZ.  
1" = 3' VERT.



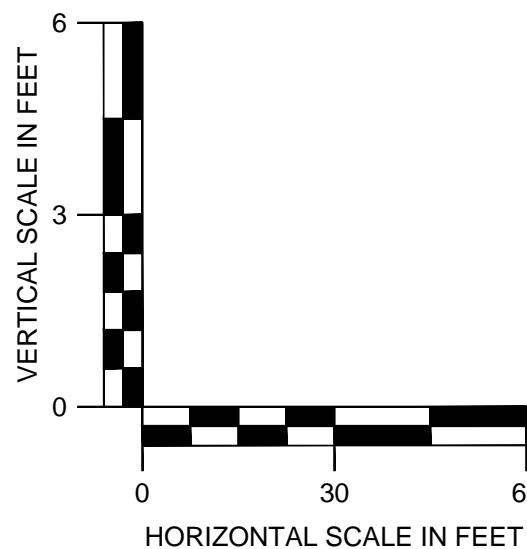
PROFILE VIEW  
EX TO 53  
1" = 30' HORZ.  
1" = 3' VERT.



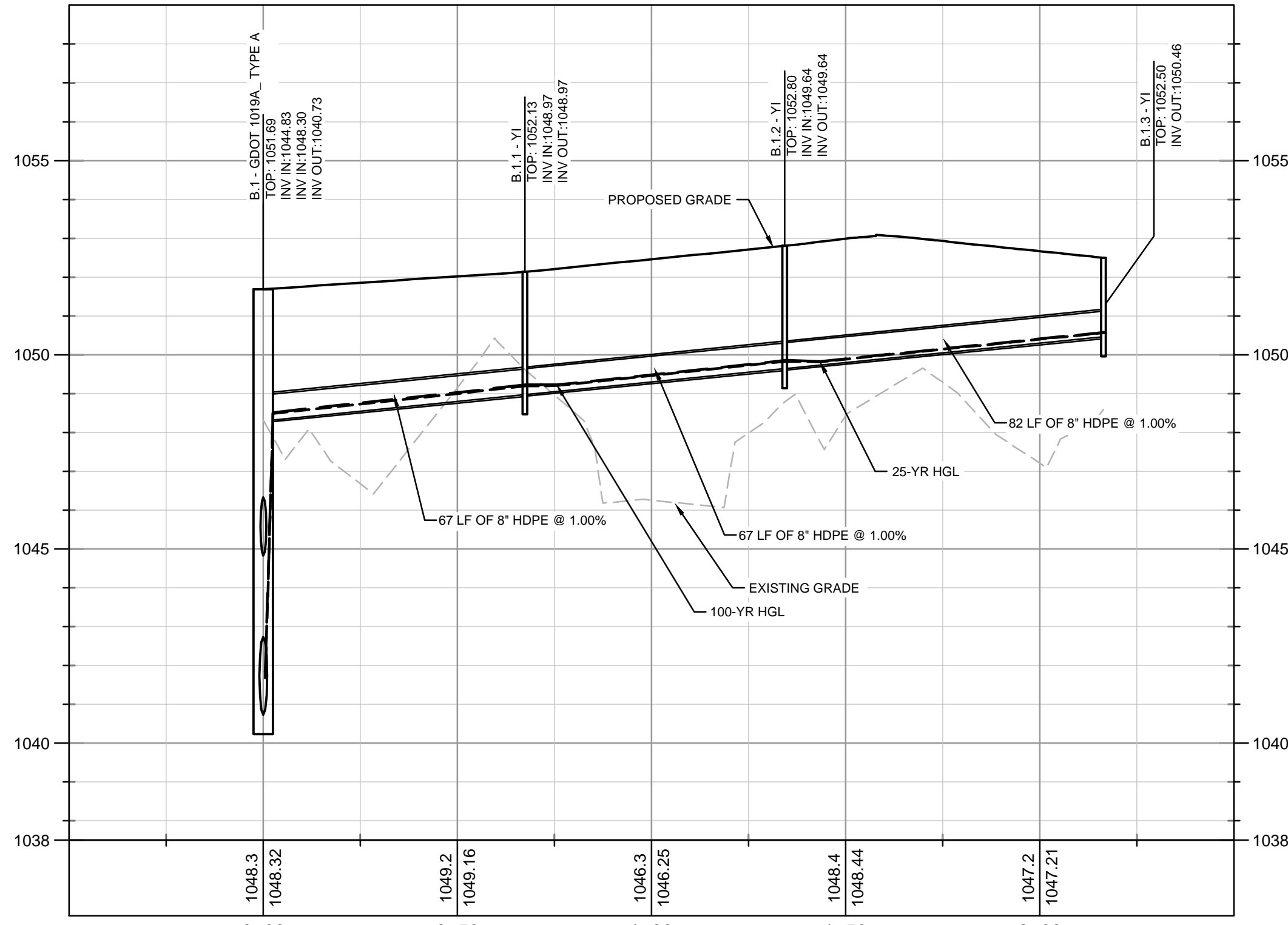
PROFILE VIEW  
EX AA-22 TO AA-22.2  
1" = 30' HORZ.  
1" = 3' VERT.



PROFILE VIEW  
B6 TO B6.1  
1" = 30' HORZ.  
1" = 3' VERT.



**GEORGIA811.**  
Utilities Protection Center, Inc.  
Know what's below.  
Call before you dig.



PROFILE VIEW  
B.1 TO B.1.4  
1" = 30' HORZ.  
1" = 3' VERT.

#### STORM DRAINAGE PROFILE NOTES:

- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- ALL STORM PIPE SHALL HAVE BEDDING PER BEDDING DETAILS IN CONSTRUCTION DETAIL SHEETS.
- ALL STORM PIPING TO BE RCP UNLESS OTHERWISE NOTED. SEE CHART FOR PIPE CLASS.
- RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL REFERENCE GRADING PLAN FOR STRUCTURE THROAT / RIM ELEVATIONS.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- ALL STORM JOINTS TO BE WATER TIGHT.

#### PROFILE LINE LEGEND:

- PROPOSED GRADE LINE
- EXISTING GRADE LINE
- 25-YR HYDRAULIC GRADE LINE
- 100-YR HYDRAULIC GRADE LINE

#### RCP PIPE CLASSIFICATION CHART:

1-15' CLASS III  
15'-20' CLASS IV  
20'-30' CLASS V

ALL CONCRETE PIPE SHALL BE A MINIMUM CLASS III WITH 12" MINIMUM COVER. REFERENCE GDOT DETAIL 1030D FOR ADDITIONAL GUIDANCE.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

HDPE SHALL BE INSTALLED PER GDOT SPECIAL PROVISION, SECTION 550.

PREPARED FOR

PROJECT

DATE

BY

DMZ

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REVISED PER COUNTY COMMENTS

ISSUANCE AND REVISION DESCRIPTIONS

DATE

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NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

### CONSTRUCTION NOTES:

1. NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
2. FCDWS SPECS (DIVISION IV, SEC 5.02) - PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.
3. ALL FIRE LINES TO BE CLASS 350 DIP.

### DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 05/22/2020

SIGNATURE: 

### DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 05/22/2020

SIGNATURE: 

NO.	REVISED PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

### UTILITY PLAN

SHEET NUMBER  
**C4-00**

### FORSYTH COUNTY WATER/SEWER NOTES:

1. NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
2. WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
3. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.
4. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES.
6. ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350.
7. WATER METERS SHALL BE INSTALLED 5' BACK OF CURB.
8. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
9. SHORT SIDE SERVICES SHALL BE 3" COPPER.
10. LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH 3/4" WYES AT LOT CORNERS.
11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB.
12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27.
13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS.
14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
16. 300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
17. ALL VALVES SHALL BE GATE VALVES.
18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
19. NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
20. LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.
21. ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN.
23. SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.
24. NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON DSANITARY SEWER EASEMENTS.
25. SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.
26. NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
27. NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM.
28. 16" IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16" WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
29. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
30. SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
31. WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.
32. SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
33. PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
34. INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.
35. VALVE BOX TOPS TO BE PAINTED BLUE AND CURBLINE TO BE CUT WITH "V" INDICATING VALVE BEHIND CURB (ALSO TO BE PAINTED BLUE).

### NOTE:

EXISTING UTILITY RIM, INVERTS, SIZES, AND LOCATIONS TAKEN FROM RECORDED AS-BUILTS FOR HALCYON VILLAGE CENTER PREPARED BY PAULSON MITCHELL AND RECORDED WITH FORSYTH COUNTY. TELECOM, ELECTRICAL, AND COMMUNICATIONS LINES TAKEN FROM SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

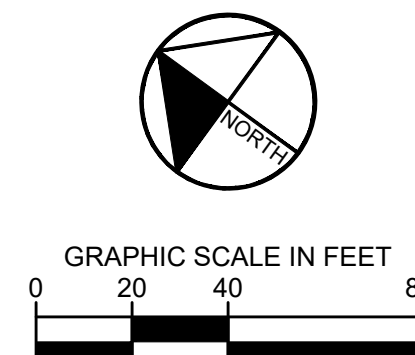
- THE CLEANOUTS IN PAVEMENT SHALL USE FORSYTH COUNTY DETAIL NUMBER 61.0.
- 3" AND LARGER TURBINE METERS REQUIRE STRAINERS BEFORE METER AND PRESSURE REDUCING VALVE AFTER BACKFLOW.
- MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C 1244.
- VACUUM TESTING WILL NEED TO BE COMPLETED BEFORE FINAL PLAT.

### UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

### UTILITY LEGEND:

- |         |                                  |
|---------|----------------------------------|
| — W —   | PROPOSED WATER LINE              |
| — UGP — | PROPOSED ELECTRIC LINE           |
| — UST — | PROPOSED TELEPHONE LINE          |
| — G —   | PROPOSED NATURAL GAS LINE        |
| — SS —  | PROPOSED SANITARY SEWER PIPE     |
| ○       | PROPOSED SANITARY SEWER CLEANOUT |
| ○       | SANITARY SEWER MANHOLE           |
| ○       | SANITARY SEWER GREASE TRAP       |
| ○       | WATER VALVE                      |
| ○       | FIRE DEPARTMENT CONNECTION (FDC) |
| ○       | FIRE HYDRANT                     |
| ○       | POST INDICATOR VALVE (PIV)       |
| ○       | WATER MAIN TAPPING SLEEVE        |
| ○       | WATER CONNECTIONS AND BENDS      |





Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C4-00 - UTILITY PLAN.dwg C4-10 UTILITY INSETS May 22, 2020 9:27am by derek.zittrauer

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

### CONSTRUCTION NOTES:

1. NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
2. FCDWS SPECS (DIVISION IV, SEC 5.02) - PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.
3. ALL FIRE LINES TO BE CLASS 350 DIP.

### DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 05/22/2020

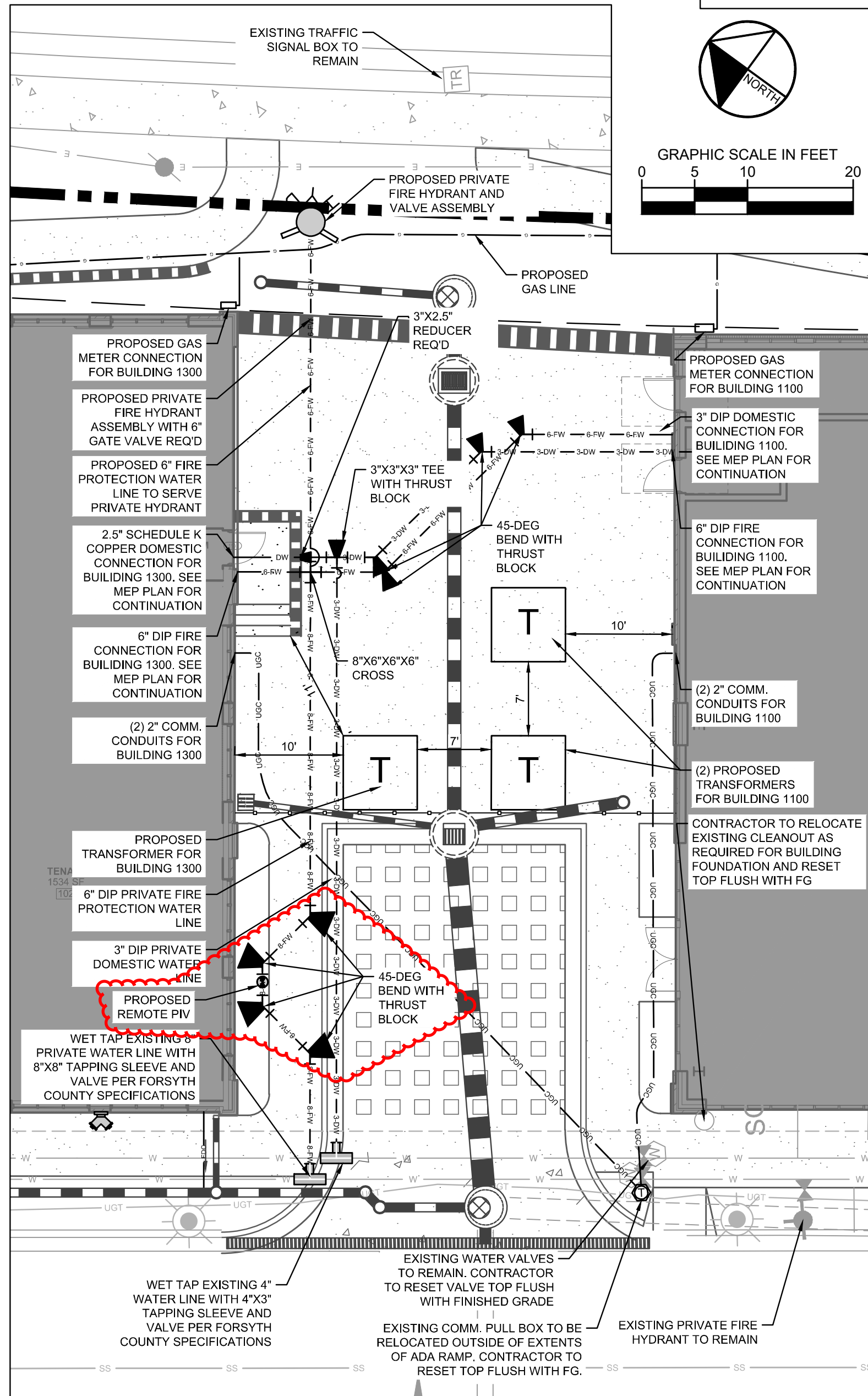
SIGNATURE: 

### DESIGN ENGINEER CERTIFICATION:

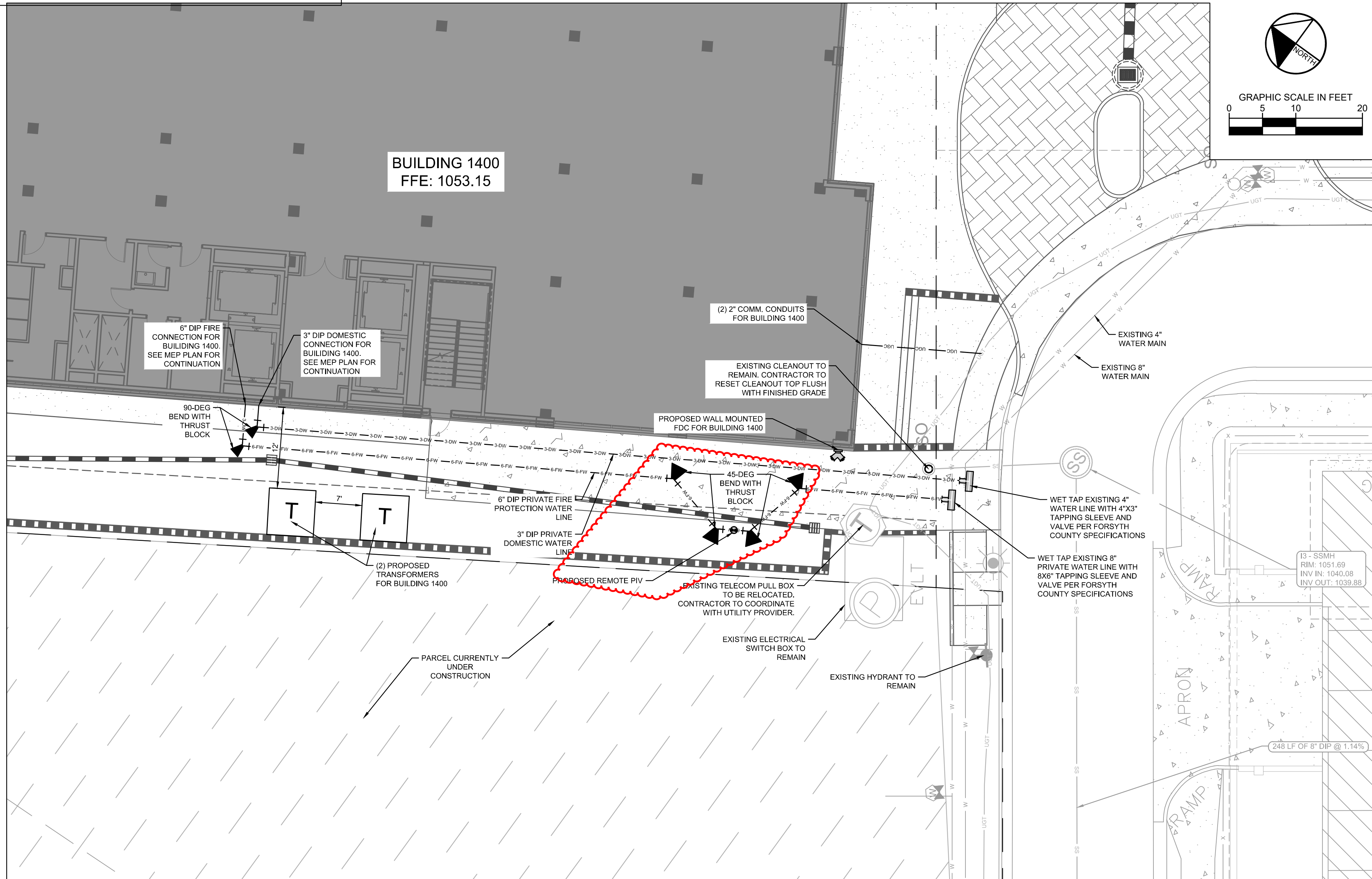
I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 05/22/2020

SIGNATURE: 



INSET A



### FORSYTH COUNTY WATER/SEWER NOTES:

1. NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
2. WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
3. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.
4. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES.
6. ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350.
7. WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.
8. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
9. SHORT SIDE SERVICES SHALL BE 3" COPPER.
10. LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH 3" WYES AT LOT CORNERS.
11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB.
12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27.
13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS.
14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
16. 300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
17. ALL VALVES SHALL BE GATE VALVES.
18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
19. NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
20. LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.
21. ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN.
23. SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.
24. NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON SANITARY SEWER EASEMENTS.
25. SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.
26. NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
27. NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM.
28. 16" IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16" WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
29. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
30. SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
31. WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.
32. SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
33. PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
34. INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.
35. VALVE BOX TOPS TO BE PAINTED BLUE AND CURBLINE TO BE CUT WITH "V" INDICATING VALVE BEHIND CURB (ALSO TO BE PAINTED BLUE).

### UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.

### UTILITY LEGEND:

— W —	PROPOSED WATER LINE
— UGP —	PROPOSED ELECTRIC LINE
— UST —	PROPOSED TELEPHONE LINE
— G —	PROPOSED NATURAL GAS LINE
— SS —	PROPOSED SANITARY SEWER PIPE
○	PROPOSED SANITARY SEWER CLEANOUT
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER GREASE TRAP
○	WATER VALVE
○	FIRE DEPARTMENT CONNECTION (FDC)
○	FIRE HYDRANT
○	POST INDICATOR VALVE (PIV)
○	WATER MAIN TAPPING SLEEVE
○	WATER CONNECTIONS AND BENDS

**GEORGIA811**  
Utility Protection Center, Inc.  
Know what's below.  
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11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: (770) 614-4281  
WWW.KIMLEY-HORN.COM

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	ISSUANCE AND REVISION DESCRIPTIONS	05/22/2020	DMZ

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE

UTILITY INSETS

SHEET NUMBER  
**C4-10**



Drawing name: K:\ALP - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg    C5-00 EROSION CONTROL NOTES    May 22, 2020 9:41 am    By: derek.zitrauer



GEORGIA SOIL AND WATER  
CONSERVATION COMMISSION

DEREK M. ZITTRAUER

Level II Certified Design Professional

CERTIFICATION NUMBER

0000076500

ISSUED: 03/10/2019

EXPIRES: 03/10/2022

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST									
COMMON DEVELOPMENT CONSTRUCTION PROJECTS (PRIMARY AND TERTIARY PERMITTEES)									
SWCD- REGION 2 (UPPER CHATTAHOOCHEE RIVER)									
Project Name: HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400					Address: 6310, 6340, 6390 TOWN SQUARE, ALPHARETTA, GA 30005				
City/County: FORSYTH COUNTY					Date on Plans: 04/24/2020				
Name & email of person filling out checklist: DEREK ZITTRAUER, P.E. (derek.zitrauer@kimley-horn.com)					B				
TO BE SHOWN ON ES&PC PLAN									
Plan		Included							
Page #		Y/N							
C5-00		Y		1.	The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)				
C5-00-04, C5-10-30, C5-80-81		Y		2.	Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed)				
N/A		N		3.	Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix I of this checklist." (A copy of the written approval by EPD must be attached to the plan for the plan to be reviewed.)				
C0-00, C5-04, C5-10-30		Y		4.	The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.				
C0-00, C5-04, C5-10-30		Y		5.	Provide the name, address, email address, and phone number of primary permittee or tertiary permittee.				
C0-00, C5-10-30		Y		6.	Note total and disturbed acreage of the project or phase under construction.				
C5-10-30		Y		7.	Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.				
C0-00, C5-10-30		Y		8.	Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.				
C5-03		Y		9.	Description of the nature of construction activity.				
C0-00, C5-04		Y		10.	Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.				
C5-03, C5-10-30		Y		11.	Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.				
C5-01		Y		12.	Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 23 of the permit.				
C5-01		Y		13.	Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 22 of the permit.*				
C5-02, C5-10-30		Y		14.	Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV A.5 page 27 of the permit.*				
C5-02, C5-10-30		Y		15.	Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."				
N/A		N		16.	Provide a description of any buffer encroachments and indicate where a buffer variance is required.				
C5-03, C5-10-30		Y		17.	Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."				
C5-03, C5-10-30		Y		18.	Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit."				
C5-03, C5-10-30		Y		19.	Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."				
C5-03, C5-10-30		Y		20.	Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."				
C5-03, C5-10-30		Y		21.	Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."				
C5-01-04		Y		22.	Indication that the applicable portion of the primary permittees ES&PC Plan is to be provided to each secondary permittee prior to the secondary conducting any construction activity and that each secondary shall sign the Plan or portion of the Plan applicable to their site. List the names and addresses of all secondary permittees.*				
N/A		N		23	Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of an Biota Impaired Stream Segment must comply with Part III.C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment."				
N/A		N		24.	If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 23 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan."				
C5-10-30, C5-81		Y		25.	BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited."				
C5-02		Y		26.	Provide BMPs for the remediation of all petroleum spills and leaks.				
C5-01		Y		27.	Description of the practices to provide cover for building materials and building products on site."				
C5-04		Y		28.	Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed."				
C5-01		Y		29.	Description of the practices that will be used to reduce the pollutants in storm water discharges."				
C5-04		Y		30.	Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).				
C5-02		Y		31.	Provide complete requirements of inspections and record keeping by the primary permittee."				
C5-03		Y		32.	Provide complete requirements of sampling frequency and reporting of sampling results."				
C5-02		Y		33.	Provide complete details for retention of records as per Part IV.F. of the permit.				
C5-03		Y		34.	Description of analytical methods to be used to collect and analyze the samples from each location."				
N/A		N		35.	Appendix B rationale for NTU values at all outfall sampling points where applicable."				
C5-10-30		Y		36.	Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged."				
C5-10-30		Y		37.	A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase.				
				38.	Plan addresses BMPs for all phases of common development including individual building lots and out-parcels, etc. regardless of who owns or operates the individual sites. Include a typical and any situational lots applicable.				
C5-10-30		Y		39.	Graphic scale and North arrow.				
C5-10-30		Y		40.	Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:				
					Map Scale	Ground Slope	Contour Intervals, ft.		
					1 inch = 100 ft or larger scale	Flat 0 - 2%	0.5 or 1		
						Rolling 2 - 8%	1 or 2		
						Steep 8% +	2.5 or 10		
N/A		N		41.	Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gswcc.org.				
N/A		N		42.	Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A 2 of the Manual for Erosion and Sediment Control in Georgia 2016 Edition."				
N/A		N		43.	Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.				
N/A		N		44.	Delineation of on-site wetlands and all State waters located on and within 200 feet of the project site.				
C5-10-30		Y		45.	Delineation and acreage of contributing drainage basins on the project site.				
SEE HYDRO		Y		46.	Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions."				
C5-03		Y		47.	An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.				
C5-80		Y		48.	Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.				
C5-10-30		Y		49.	Soil series for the project site and their delineation.				
C5-10-30		Y		50.	The limits of disturbance for each phase of construction.				
C5-10-30, C5-82		Y		51.	Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by the professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the plan.				
C5-10-30, C5-04		Y		52.	Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.				
C5-80-82		Y		53.	Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.				
C5-80		Y		54.	Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.				
** This requirement of the Common Development permit is not applicable to Tertiary Permittees with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre. If applicable, the * checklist item would be N/A									
Effective January 1, 2020									

PREPARED BY

Kimley»Horn

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PROJECT

GT-RP HALCYON

309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.855.5854

1

REVISED PER COUNTY COMMENTS

05/22/2020

DMZ

DATE

BY

ISSUANCE AND REVISION DESCRIPTIONS

No.

1

ISSUANCE AND REVISION DESCRIPTIONS

REGISTERED PROFESSIONAL

DEREK M. ZITTRAUER

0000076500

GSWCC NO. (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

KHA

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EROSION CONTROL NOTES

SHEET NUMBER

C5-00



Drawing name: K:\ALP\_PRJ013623001\_Halcyon - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg C5-01 EROSION CONTROL NOTES May 22, 2020 9:41 am By: Derek Zittrauer

Part IV. EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN

A SITE-SPECIFIC EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN (PLAN) SHALL BE DESIGNED, INSTALLED AND MAINTAINED FOR THE ENTIRE CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT. THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY A DESIGN PROFESSIONAL AS DEFINED BY THIS PERMIT. ALL PERSONS INVOLVED IN PLAN PREPARATION SHALL HAVE COMPLETED THE APPROPRIATE CERTIFICATION COURSE PURSUANT TO O.C.G.A. 12-7-19 (b). APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION. THE DESIGN PROFESSIONAL PREPARING THE PLAN MUST INCLUDE AND SIGN THE FOLLOWING CERTIFICATION IN THE PLAN.

12

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY SUPERVISION.

05/22/2020

DATE

DESIGN PROFESSIONAL'S SIGNATURE

13

"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

05/22/2020

DATE

DESIGN PROFESSIONAL'S SIGNATURE

03/10/2022

0000076500

EXPIRATION DATE

LEVEL II CERTIFICATION NUMBER

THE PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND O.C.G.A. 12-7-6, AS WELL AS THE FOLLOWING:

(i). EXCEPT AS PROVIDED IN PART IV. (iii). BELOW, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR HAS DETERMINED TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF NATURAL RESOURCES AND THE ENVIRONMENT IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A DRIVE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED, OR ALONG ANY EPHEMERAL STREAM, OR WHERE BULKHEADS AND SEAWALLS MUST BE CONSTRUCTED TO PREVENT THE EROSION OF THE SHORELINE ON LAKE OCONEE OR LAKE SINCLAIR. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1)

PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (2)

STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (3)

STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- (4)

BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (5)

STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION,
- (6)

RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT;
- (7)

RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT;
- (8)

MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

(ii). NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS 'TROUT STREAMS' EXCEPT WHEN APPROVAL IS GRANTED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED; PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS 'TROUT STREAMS' WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITTEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE. PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF

WATER DISCHARGED BY THE STREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY, AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1)

PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (2)

STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER
- (3)

STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- (4)

BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (5)

STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION,
- (6)

RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- (7)

RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT;
- (8)

MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

(iii). EXCEPT AS PROVIDED ABOVE, FOR BUFFERS REQUIRED PURSUANT TO PART IV. (i). AND (ii)., NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED. DURING COVERAGE UNDER THIS PERMIT, A BUFFER CANNOT BE THINNED OR TRIMMED OF VEGETATION AND A PROTECTIVE VEGETATIVE COVER MUST REMAIN TO PROTECT WATER QUALITY AND AN AQUATIC HABITAT AND A NATURAL CANOPY MUST BE LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL IDENTIFY ALL POTENTIAL SOURCES OF POLLUTION WHICH MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE. IN ADDITION, THE PLAN SHALL DESCRIBE AND THE APPLICABLE PERMITTEE SHALL ENSURE THE IMPLEMENTATION OF PRACTICES WHICH WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT THE SITE AND TO ASSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE APPLICABLE PERMITTEE MUST IMPLEMENT AND MAINTAIN THE PROVISIONS OF THE PLAN REQUIRED UNDER THIS PART AS A CONDITION OF THIS PERMIT.

EXCEPT AS PROVIDED IN PART IV.A.2., A SINGLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY THE PRIMARY PERMITTEE FOR THE STAND ALONE CONSTRUCTION PROJECT.

A. DEADLINES FOR PLAN PREPARATION AND COMPLIANCE

1.

EXCEPT AS PROVIDED IN PART IV.A.2., AND PART IV.A.6., THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE COMPLETED PRIOR TO SUBMITTING THE NOI AND PRIOR TO CONDUCTING ANY CONSTRUCTION ACTIVITY BY ANY PERMITTEE.
2.

FOR CONSTRUCTION ACTIVITIES THAT BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT AND WERE SUBJECT TO THE REGULATIONS UNDER THE PREVIOUS PERMIT, THE PERMITTEE(S) SHALL CONTINUE TO OPERATE UNDER THE EXISTING PLAN.
3.

FOR CONSTRUCTION ACTIVITIES THAT BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE SHALL BE REQUIRED TO PREPARE THE PLAN FOR THAT PHASE OF THE STAND ALONE DEVELOPMENT THAT CORRESPONDS WITH THE NOI BEING SUBMITTED AND THE PRIMARY PERMITTEE(S) SHALL IMPLEMENT THE PLAN ON OR BEFORE THE DAY CONSTRUCTION ACTIVITIES BEGIN.
4.

ADDITIONAL PLAN SUBMITTALS.
- a.

FOR ALL PROJECTS IDENTIFIED UNDER PART I.C.1.b., WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, IN A JURISDICTION WHERE THERE IS NO CERTIFIED LOCAL ISSUING AUTHORITY REGULATING THAT PROJECT, A SINGLE COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD WATERSHED PROTECTION BRANCH AND A SECOND COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD DISTRICT OFFICE PRIOR TO OR CONCURRENT WITH THE NOI BEING SUBMITTED. THE SECOND COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE. THE EPD WATERSHED PROTECTION BRANCH WILL REVIEW PLANS FOR DEFICIENCIES USING THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.
- b.

FOR SITES THAT ARE EQUAL TO OR GREATER THAN 50 ACRES OF DISTURBED AREA, REGARDLESS OF THE EXISTENCE OF A CERTIFIED LOCAL ISSUING AUTHORITY IN THE JURISDICTION, ONE OF THE FOLLOWING SUBMISSIONS IS ALSO REQUIRED:

(i). FOR ALL PROJECTS WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.

(ii). FOR ALL PROJECTS WHICH BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN, IF EXTENDED, SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF

THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.

- c.

FOR ALL PROJECTS WHERE THE CONSTRUCTION ACTIVITY AS INDICATED ON THE EXISTING NOI HAS CHANGED, THE AMENDED PLANS MUST BE SUBMITTED IN ACCORDANCE WITH PART IV.A.4.a. IN ADDITION, THE PERMITTEE MUST FILE A CHANGE OF INFORMATION NOI IN ACCORDANCE WITH PART II.
5.

FOR COMMON DEVELOPMENTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN SEVEN (7) DAYS AFTER CONSTRUCTION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED. THIS REQUIREMENT OF THIS PERMIT IS NOT APPLICABLE TO TERTIARY PERMITTEES WITH A PLAN(S) FOR A TYPICAL INDIVIDUAL LOT(S). IF THE TOTAL LAND DISTURBANCE WITHIN THE CONSTRUCTION SITE IS LESS THAN FIVE (5) ACRES AND THE TOTAL LAND DISTURBANCE WITHIN EACH INDIVIDUAL LOT IS LESS THAN ONE (1) ACRE.
6.

FOR STORM- OR EMERGENCY-RELATED REPAIR WORK, THE PERMITTEE SHALL IMPLEMENT APPROPRIATE BMPs AND CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. IF THE STORM- OR EMERGENCY-RELATED REPAIR WORK WILL NOT BE COMPLETED WITHIN SIXTY (60) DAYS OF COMMENCEMENT OF CONSTRUCTION ACTIVITY, A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO EPD AND THE PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT ON THE SIXTY-FIRST (61ST) DAY.

B. SIGNATURE AND PLAN REVIEW.

1.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE SIGNED IN ACCORDANCE WITH PART IV., AND BE RETAINED ON THE SITE (OR, IF NOT POSSIBLE, AT A READILY ACCESSIBLE LOCATION) WHICH GENERATES THE STORM WATER DISCHARGE IN ACCORDANCE WITH PART IV.F. OF THIS PERMIT. THE PRIMARY PERMITTEE SHALL ENSURE, AS PROVIDED FOR ELSEWHERE IN THIS PERMIT, THAT EACH SECONDARY PERMITTEE IS PROVIDED WITH A COPY OF THE PLAN AND THAT THE SECONDARY PERMITTEE UNDERSTANDS THEIR ROLE IN IMPLEMENTING THE PLAN. THE SECONDARY PERMITTEE SHALL SIGN THE PLAN OR THE PORTION OF THE PLAN APPLICABLE TO THEIR SITE IN ACCORDANCE WITH PART V.G.1. AND THE PLAN OR APPLICABLE PORTION THEREOF SHALL BE RETAINED ON THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
2.

THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) SHALL MAKE PLANS AVAILABLE UPON REQUEST TO THE EPD; TO DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. A SECONDARY SHALL MAKE THE PLAN OR PORTION OF THE PLAN APPLICABLE TO THEIR SITE AVAILABLE UPON REQUEST TO THE EPD; TO THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. THE PLAN MUST BE SUBMITTED TO EPD OR TO THE LOCAL GOVERNMENT WITHIN THREE BUSINESS DAYS OF SUCH NOTIFICATION OR WITHIN AN ALTERNATE TIME FRAME ESTABLISHED BY EPD.
3.

EPD MAY NOTIFY THE PRIMARY, SECONDARY OR TERTIARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PART. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE PRIMARY OR TERTIARY PERMITTEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, EPD MAY NOTIFY THE SECONDARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PERMIT. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE SECONDARY PERMITTEE SHALL IMPLEMENT THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION AFTER THE EFFECTIVE DATE OF THIS PERMIT, WHEN EPD NOTIFIES A SECONDARY PERMITTEE OF ANY PLAN DEFICIENCIES, THE SECONDARY PERMITTEE MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF THE DEFICIENCIES. THE PRIMARY PERMITTEE MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPs WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE, WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ANY AND ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEES MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE.

C. KEEPING PLANS CURRENT.

THE PRIMARY, SECONDARY OR TERTIARY PERMITTEES, AS APPLICABLE, SHALL AMEND THEIR PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT (I.E., THOSE BMPs WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND RETURN FREQUENCY OF STORMS) OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS. FROM SOURCES IDENTIFIED UNDER PART IV.D.3. OF THIS PERMIT, AMENDMENTS TO THE PLAN MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT. SECONDARY PERMITTEES MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF BECOMING AWARE OF ANY SUSPECTED BMP DESIGNED DEFICIENCIES WHICH ARE NOT EFFECTIVE IN CONTROLLING THE DISCHARGE OF POLLUTANTS FROM THE SECONDARY PERMITTEE'S SITE. THE PRIMARY PERMITTEE MUST EVALUATE WHETHER THESE DEFICIENCIES EXIST WITHIN 48-HOURS OF SUCH NOTICE, AND IF THESE DEFICIENCIES ARE FOUND TO EXIST MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPs WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEE(S) MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS AFFECTING THEIR SITE(S) WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE. NOTWITHSTANDING THE FOREGOING, THE PRIMARY OR TERTIARY PERMITTEE REMAINS RESPONSIBLE FOR INSURING THAT THE PLAN, AS APPROPRIATE, MEETS THE REQUIREMENTS OF THIS PERMIT.

D. CONTENTS OF PLAN.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, AS WELL AS THE FOLLOWING:

1.

CHECKLIST.
1.

EACH PLAN SHALL INCLUDE A COMPLETED EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND AMENDMENTS TO THE APPLICABLE CHECKLIST AS APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION UP UNTIL THE DATE OF THE NOI SUBMITTAL. THE APPLICABLE CHECKLISTS ARE AVAILABLE ON THE EPD WEBSITE, WWW.GAEPD.ORG.
2.

SITE DESCRIPTION.
1.

EACH SITE-SPECIFIC PLAN SHALL PROVIDE A DESCRIPTION OF POLLUTANT SOURCES AND OTHER INFORMATION AS INDICATED:
- a.

A DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY;
- b.

A DETAILED DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, I.E., INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER BMPs, CLEARING AND GRUBBING ACTIVITIES,

EXCAVATION ACTIVITIES, GRADING ACTIVITIES, INFRASTRUCTURE ACTIVITIES, IMMEDIATE AND FINAL STABILIZATION ACTIVITIES);

- c.

ESTIMATES OF THE TOTAL AREA OF THE SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES;
- d.

AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO THE CONSTRUCTION ACTIVITIES AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE;
- e.

A SITE-SPECIFIC MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF SOIL DISTURBANCE, AN OUTLINE OF AREAS WHICH ARE NOT TO BE DISTURBED, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER; AND
- f.

IDENTIFY THE RECEIVING WATER(S) AND AREAL EXTENT OF WETLAND ACREAGE AT THE SITE;
- g.

FOR PLANS PREPARED BY A PRIMARY PERMITTEE FOR A COMMON DEVELOPMENT, A LIST OF THE NAMES AND ADDRESSES OF ALL SECONDARY PERMITTEES MUST BE INCLUDED IN THE PLAN AND BE AMENDED AS APPROPRIATE. THESE AMENDMENTS ARE NOT SUBJECT TO THE DESIGN PROFESSIONAL CERTIFICATION REQUIREMENTS SPECIFIED IN PART IV.C.

3. CONTROLS.  
EACH PLAN SHALL INCLUDE A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND THE PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMPs INTO A SINGLE PHASE PLAN. THE PLAN WILL INCLUDE APPROPRIATE STAGING AND ACCESS REQUIREMENTS FOR CONSTRUCTION EQUIPMENT. PLANS SUBMITTED AFTER THE EFFECTIVE DATE OF THIS PERMIT SHALL LIMIT THE AMOUNT OF DISTURBED AREA TO NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE APPROPRIATE EPD DISTRICT OFFICE ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. EPD WILL APPROVE OR DISAPPROVE SUCH REQUESTS WITHIN 35 DAYS OF RECEIPT. FAILURE OF EPD TO ACT WITHIN 35 DAYS SHALL BE CONSIDERED AN APPROVAL OF SUCH REQUESTS. IF THE EPD DISTRICT OFFICE APPROVES A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE BEST MANAGEMENT PRACTICES LISTED IN PART III.C.2. OF THIS PERMIT.

THE PLAN WILL CLEARLY DESCRIBE FOR EACH MAJOR ACTIVITY IDENTIFIED IN PART IV.D.2.b. APPROPRIATE CONTROL MEASURES AND THE TIMING DURING THE CONSTRUCTION PROCESS THAT THE MEASURES WILL BE IMPLEMENTED. THE PRIMARY PERMITTEE IS ENCOURAGED TO UTILIZE THE DOCUMENT, DEVELOPING YOUR STORMWATER POLLUTION PREVENTION PLAN: A GUIDE FOR CONSTRUCTION SITES, EPA 833-R-060-04, MAY 2007 (WWW.EPA.GOV/NPDES/PUBS/SW\_SWPPP GUIDE.PDF), WHEN PREPARING THE PLAN. THE DESCRIPTION AND IMPLEMENTATION OF CONTROLS SHALL ADDRESS THE FOLLOWING MINIMUM COMPONENTS:

a. EROSION AND SEDIMENT CONTROLS.

(1). STABILIZATION MEASURES. A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION MEASURES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE MEASURES. SITE PLANS SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED AND THAT DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION MEASURES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED SHALL BE INCLUDED IN THE PLAN, EXCEPT AS PROVIDED IN PARAGRAPHS IV.D.3.(a),(1)(a), AND (b). BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(a). WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(b). WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

(2). STRUCTURAL PRACTICES. A DESCRIPTION OF STRUCTURAL PRACTICES TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE TO THE DEGREE ATTAINABLE. SUCH PRACTICES MAY INCLUDE: SILT FENCES, EARTH DICES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM DRAIN INLET PROTECTION, ROCK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS, GABIONS, AND TEMPORARY OR PERMANENT SEDIMENT BASINS. STRUCTURAL PRACTICES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA.

(3). SEDIMENT BASINS. FOR COMMON DRAINAGE LOCATIONS AT A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED UNTIL FINAL STABILIZATION OF THE SITE. THE 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHERE A TEMPORARY SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE ARE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, SEDIMENT TRAPS, SILT FENCES, WOOD MULCH BERMS OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDE SLOPE AND DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA. WHEN THE SEDIMENT FILLS TO A VOLUME AT MOST OF 22 CUBIC YARDS PER ACRE FOR EACH ACRE OF DRAINAGE AREA, THE SEDIMENT SHALL BE REMOVED TO RESTORE THE ORIGINAL DESIGN VOLUME. THIS SEDIMENT MUST BE PROPERLY DISPOSED. SEDIMENT BASINS MAY NOT BE FEASIBLE AT SOME CONSTRUCTION PROJECTS. CAREFUL CONSIDERATION MUST BE USED TO DETERMINE WHEN A SEDIMENT BASIN CANNOT BE USED AND/OR WHEN 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED IS NOT ATTAINABLE AND A WRITTEN JUSTIFICATION EXPLAINING THE DECISION(S) MUST BE INCLUDED IN THE PLAN. PERENNIAL AND INTERMITTENT WATERS OF THE STATE SHALL NOT BE USED FOR TEMPORARY OR PERMANENT SEDIMENT DETENTION.

WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE TEMPORARY BMPs AND MUST BE REMOVED PRIOR TO SUBMITTING A NOTICE OF TERMINATION. FOR CONSTRUCTION ACTIVITIES WHERE THE NOI WAS SUBMITTED PRIOR TO JANUARY 1, 2014, THIS REQUIREMENT OF THE PERMIT IS NOT APPLICABLE.

Georgia Soil and Water Conservation Commission

DEREK M. ZITTRAUER

Level II Certified Design Professional

CERTIFICATION NUMBER

0000076500

ISSUED:

03/10/2019

EXPIRES:

03/10/2022

PREPARED BY

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GT-RP HALCYON

309 EAST PACES FERRY ROAD, SUITE 625  
ATLANTA, GA 30305  
PHONE: 404.855.5854

PROJECT

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

REVISIONS

NO.	REVISION	PER COUNTY COMMENTS	DATE	BY
1	REVISED	PER COUNTY COMMENTS	05/22/2020	DMZ

GEORGIA REGISTERED PROFESSIONAL ENGINEER

NO. 06144139  
Derek M. Zittrauer  
WATER M. ZITTRAUER

GSWCC (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

KHA

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EROSION CONTROL NOTES

SHEET NUMBER

C5-01







Drawing name: K:\ALP - PRJ\013623001\_ Halcyon - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg C5-03 EROSION CONTROL NOTES 1 May 22, 2020 9:41am by: derek.zittrauer

E. REPORTING

1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.
2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
  - b. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
  - c. THE DATE(S) ANALYSES WERE PERFORMED;
  - d. THE TIME(S) ANALYSES WERE INITIATED;
  - e. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
  - f. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
  - g. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;
  - h. RESULTS WHICH EXCEED 1000 NTU SHALL BE RECORDED AS "EXCEEDS 1000 NTU;" AND
  - i. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.

F. RETENTION OF RECORDS

1. THE PRIMARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
  - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
  - c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
  - d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
  - e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;
  - f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
  - g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.
2. EACH SECONDARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
  - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT OR THE APPLICABLE PORTION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN FOR THEIR ACTIVITIES AT THE CONSTRUCTION SITE REQUIRED BY THIS PERMIT;
  - c. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.B. OF THIS PERMIT; AND
  - d. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT.
3. EACH TERTIARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
  - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
  - c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
  - d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
  - e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.C. OF THIS PERMIT;
  - f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
  - g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.C.(2). OF THIS PERMIT.
4. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITEE.

PROJECT DESCRIPTION

**PROJECT SUMMARY AND NATURE OF CONSTRUCTION ACTIVITY:**  
THE EXISTING PROJECT SITE IS PART OF AN OVERALL MASTER DEVELOPED SITE NAMED THE HALCYON VILLAGE. CLEARING AND GRUBBING AND MASS GRADING HAS BEEN PERFORMED BY THE MASTER DEVELOPER AND A PAD GRADED AND FULLY STABILIZED SITE HAS BEEN PROVIDED FOR THE PROPOSED DEVELOPMENT. UTILITIES HAVE BEEN STUBBED AROUND THE FRONTAGE OF THE PROPERTY ALONG THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT.  
THE PROPOSED PROJECT IS A MIXED-USE, OFFICE DEVELOPMENT. IT WILL CONTAIN OFFICE BUILDINGS, 1 MIXED-USE BUILDING, AND 1 RETAIL BUILDING. THE PROJECT ALSO INCLUDES THE CONSTRUCTION SURFACE PARKING, STORMWATER CONVEYANCE AND WATER QUALITY, AND ALL ASSOCIATED UTILITIES. THE TOTAL AREA ON SITE IS 12.69 ACRES, AND THE TOTAL DISTURBED AREA IS 2.33 ACRES INCLUDING PUBLIC ROW.  
THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK.  
PRE DEVELOPED RUNOFF COEFFICIENT: 0.50  
POST DEVELOPED RUNOFF COEFFICIENT: 0.80  
(WATER QUALITY AND DETENTION FOR THIS SITE IS BEING PROVIDED BY THE MASTER DEVELOPER FOR MORE INFORMATION, REFERENCE THE HYDROLOGY REPORT BY PAULSON MITCHELL, INC. PREPARED FOR ROCAPPOINT PARTNERS, LLC.  
ANY SEDIMENT THAT ENCROACHES INTO THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT SHALL BE SWEPT.  
POST-CONSTRUCTION MEASURES FOR CONTROLLING POLLUTANTS IN STORMWATER AND STORMWATER DISCHARGES WILL BE CONTROLLED POST-CONSTRUCTION BY THE MASTER DETENTION FACILITY FOR THE MASTER DEVELOPMENT WITH DESIGN OUTLET CONTROL STRUCTURE.

EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES

1. **COMPREHENSIVE:**
- A. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENT AND PERIMETER CONTROL BMPS AND WITHIN 7 DAYS AFTER INSTALLATION.
  - B. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
  - C. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - D. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - E. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - F. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - G. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - H. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY CODES GOVERNING EROSION AND SEDIMENTATION CONTROL. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - I. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, CURRENT EDITION, AND FORSYTH COUNTY STANDARDS.
  - J. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
  - K. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
  - L. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND. REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT, ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT, OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.
  - M. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
  - N. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION.
  - O. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY DEMOLITION.
  - P. SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, CURRENT EDITION, THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY STANDARDS.
  - Q. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
2. **DURING CONSTRUCTION:**
- A. ON SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
  - B. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.
  - C. **ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.**
  - D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORMWATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST MEET THE TURBIDITY REQUIREMENTS OUTLINED IN THE SITE SPECIFIC EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN UNTIL IT MEETS THE TURBIDITY REQUIREMENTS. ONCE THE TURBIDITY REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM. AS A MINIMUM TURBIDITY TESTS SHOULD BE PERFORMED AS DESCRIBED IN THE PERMIT. THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORMWATER DISCHARGES UNDER THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES (DNR) ENVIRONMENTAL PROTECTION DIVISION (EPD) GENERAL PERMIT NO. GAR 100003. AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
3. **SOIL CLEANUP AND CONTROL PRACTICES REGARDING PETROLEUM SPILLS AND LEAKS**
- A. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
  - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDE, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MAPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
  - C. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
  - D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.
  - E. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
  - F. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
- G. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- H. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.
- I. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ON SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY A LICENSED PROFESSIONAL.
4. **PRODUCT SPECIFIC PRACTICES**
- A. PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS, AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHOD WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
  - B. PAINTS, FINISHES, AND SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCTS, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND STANDARDS.
  - C. CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.
  - D. FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.
  - E. BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.
5. **WASTE MATERIALS**
- A. NO WASTE WILL BE DISPOSED OF INTO STORMWATER INLETS OR WATERS OF THE STATE.
  - B. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED AT A MINIMUM OF ONCE PER WEEK OR MORE OFTEN NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.
  - C. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
6. **HAZARDOUS WASTES**
- A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOBSITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
  - B. THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOBSITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.
7. **SANITARY WASTES**
- A. A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE (1) TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.
  - B. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPS MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIFICALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, SHEET C5-20, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
  - C. SANITARY SEWER WILL BE PROVIDED BY **FORSYTH COUNTY** AT THE COMPLETION OF THIS PROJECT.
8. **BUILDING MATERIALS**
- A. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (e.g. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER. OR SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).
9. **OFFSITE VEHICLE TRACKING**
- A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEETS C5-10-30, C5-40 FOR CONSTRUCTION EXIT LOCATIONS AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.
- B.

2



GEORGIA SOIL AND WATER  
CONSERVATION COMMISSION

DEREK M. ZITTRAUER

Level II Certified Design Professional


CERTIFICATION NUMBER

0000076500

ISSUED: 03/10/2019

EXPIRES: 03/10/2022

PREPARED BY



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PROJECT

GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE 625  
ATLANTA, GA 30305  
PHONE: 404.655.5654

PROJECT

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

REGISTERED PROFESSIONAL



GSWCC NO. (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

KHA

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EROSION CONTROL NOTES

SHEET NUMBER

C5-03

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Drawing name: K:\ALP\_PRJ\013623001\_ Halcyon - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg C5-04 EROSION CONTROL NOTES May 22, 2020 9:42am By: derek.zittrauer

## EROSION CONTROL LEGEND

### VEGETATIVE MEASURES:

Bf	BUFFER ZONE
Cs	COASTAL DUNE STABILIZATION
Ds1	DISTURBED AREA STABILIZATION: (WITH MULCHING ONLY)
Ds2	DISTURBED AREA STABILIZATION: (WITH TEMPORARY SEEDING)
Ds3	DISTURBED AREA STABILIZATION: (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION: (WITH SODDING)
Du	DUST CONTROL ON DISTURBED AREAS
Fi-Co	FLOCCULANTS COAGULANTS
Sb	STREAMBANK STABILIZATION: (USING PERMANENT VEGETATION)
Ss	SLOPE STABILIZATION
Sp	SAMPLING POINT
Tac	TACKIFIERS AND BINDERS

### STRUCTURAL MEASURES:

Cd-S	STONE CHECK DAM
Cd-Hb	STRAW-BALE CHECK DAM
Cd-Fs	STRAW-BALE CHECK DAM
Ch-1	CHANNEL STABILIZATION: VEGETATED LINING
Ch-2	CHANNEL STABILIZATION: ROCK RIP-RAP LINING
Ch-3	CHANNEL STABILIZATION: CONCRETE LINING
Co	CONSTRUCTION EXIT
Cr	CONSTRUCTION ROAD STABILIZATION
Dc	STREAM DIVERSION CHANNEL
Di	DIVERSION
Dn1	TEMPORARY DOWNDRAIN STRUCTURE
Dn2	PERMANENT DOWNDRAIN STRUCTURE
Fr	FILTER RING
Ga	GABION
Gr	GRADE STABILIZATION STRUCTURE
Lv	LEVEL SPREADER
Rd	ROCK FILTER DAM
Re	RETAINING WALL
Rt-P	RETROFITTING: PERFORATED HALF-ROUND PIPE WITH STONE FILTER
Rt-B	RETROFITTING: SLOTTED BOARD DAM WITH STONE OR FILTER FABRIC
Sd1-S	SEDIMENT BARRIER - SENSITIVE AREAS
Sd1-NS	SEDIMENT BARRIER - NON SENSITIVE AREAS
Sd1-BB	SEDIMENT BARRIER - BRUSH BARRIER

4

**24-HOUR CONTACT:**  
NAME: PATRICK LEONARD  
COMPANY: ROCAPOINT PARTNERS  
NUMBER: 404.855.5854

5

**PRIMARY PERMITTEE:**  
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6

**SITE AREA SUMMARY:**  
TOTAL SITE AREA = 12.69 ACRES  
TOTAL DISTURBED AREA = 2.33 ACRES

2

**GSWCC** GEORGIA SOIL AND WATER  
CONSERVATION COMMISSION  
**DEREK M. ZITTRAUER**  
Level II Certified Design Professional  
CERTIFICATION NUMBER 0000076500  
ISSUED: 03/10/2019 EXPIRES: 03/10/2022

### STRUCTURAL MEASURES (continued):

Sd2-F	INLET SEDIMENT TRAP: FILTER FABRIC WITH SUPPORTING FRAME
Sd2-B	INLET SEDIMENT TRAP: BAFFLE BOX
Sd2-Bg	INLET SEDIMENT TRAP: BLOCK AND GRAVEL DROP INLET PROTECTION
Sd2-G	INLET SEDIMENT TRAP: GRAVEL DROP INLET PROTECTION
Sd2-S	INLET SEDIMENT TRAP: SOO INLET PROTECTION
Sd2-P	INLET SEDIMENT TRAP: CURB INLET PROTECTION
Sd2-SS	INLET SEDIMENT TRAP: SILT SAVER
Sd3	TEMPORARY SEDIMENT BASIN
Sd4-A	TEMPORARY SEDIMENT TRAP: OVERFLOW
Sd4-B	TEMPORARY SEDIMENT TRAP: COMBINATION STRAW BALE & SILT FENCE OUTLET
Sd4-C	TEMPORARY SEDIMENT TRAP: ROCK OUTLET
Sk	FILTER SURFACE SKIMMER
SpB	SEEP BERM
Sr	TEMPORARY STREAM CROSSING
St	STORM DRAIN OUTLET PROTECTION
Su	SURFACE ROUGHENING
Tc	TURBIDITY CURTAIN
Tp	TOPSOILING
Tr	TREE PROTECTION
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL

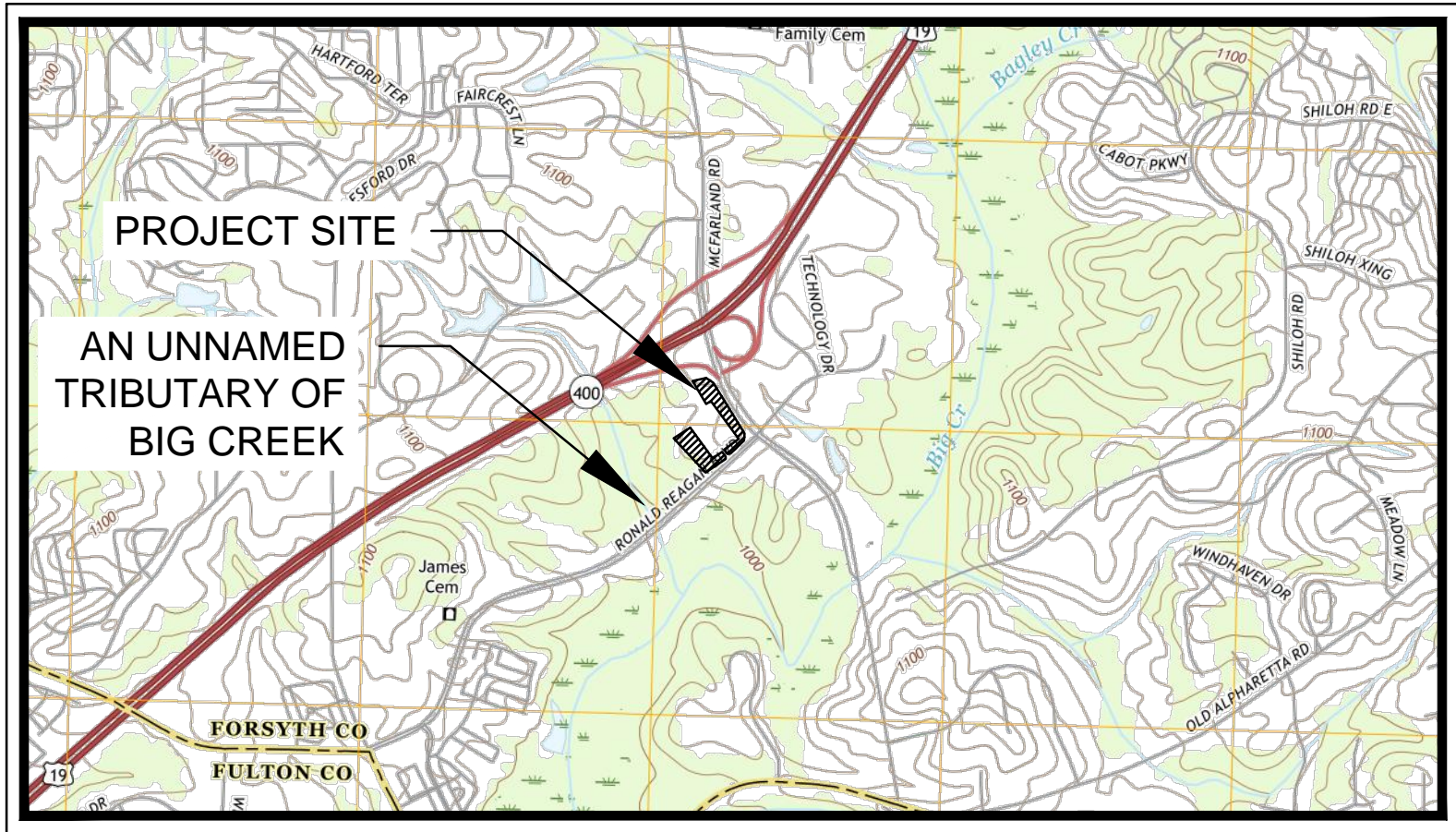
### EROSION CONTROL LINETYPES / SYMBOLS

---	TWP	TREE PROTECTION FENCE
---	---	SOIL TYPE DELINEATION
---	---	FLOW ARROW
---	---	LIMITS OF DISTURBANCE

30

START DATE 7/2020 END DATE 7/2022	THIS SCHEDULE IS TO BE USED FOR PERMITTING PURPOSES ONLY. REFER TO APPROVED PROJECT SCHEDULE FOR EXACT CONSTRUCTION SEQUENCING.														
	MONTH														
DESCRIPTION	2	4	6	8	10	12	14	16	18	20	22	24			
INITIAL EROSION CONTROL BMP INSTALL.															
7-DAY LETTER															
Sd3 INSTALLATION AND MAINTENANCE															
DEMOLITION															
CLEARING, GRUBBING, GRADING															
TEMPORARY GRASSING															
PERMANENT GRASSING (IF APPLICABLE)															
INTER. EROSION CONTROL BMPs INSTALL.															
MAINT. OF EROSION CONTROL DEVICES															
STORM AND SANITARY SEWER INSTALL.															
BUILDING CONSTRUCTION															
FINAL EROSION CONTROL BMPs INSTALL.															
FINAL PAVING															
CLEANING OF STORM DRAINS															
FINAL LANDSCAPING															
REMOVAL OF EROS. CONTROL MEASURES															

## ACTIVITY SCHEDULE



## U.S.G.S. TOPOGRAPHIC MAP DULUTH, GA QUAD MAP

### Site Disturbing Activities:

CONSTRUCTION WILL BEGIN WITH PLACEMENT OF PERIMETER SILT PROTECTION BARRIERS, INLET PROTECTION, TIRE WASH, CONCRETE WASH AREA, SEDIMENT TRAPS WITH DIVERSIONS, AND CONSTRUCTION ENTRANCES. 7 DAY LETTER TO BE PROVIDED TO FORSYTH COUNTY. AFTER THESE EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN INSTALLED, INSTALLATION OF ADDITIONAL EXCAVATED SEDIMENT TRAPS WITH DIVERSION, PRELIMINARY GRADING WILL COMMENCE IN AREAS THAT ARE TO BE DISTURBED. THE SITE WILL THEN BE GRADED AND UTILITIES WILL BE TRENCHED. RETAINING WALLS ARE THEN ERECTED AND ONCE BROUGHT TO FINAL GRADE, THE DRIVES WILL BE PAVED WHILE ALL OTHER EXPOSED AREAS WILL BE STABILIZED WITH VEGETATION, SIDEWALKS OR STRUCTURES.

#### SOIL DISTURBING ACTIVITIES INCLUDE:

- INSTALLING A STABILIZED CONSTRUCTION EXIT, PERIMETER SILT FENCE, TIRE WASH AREA, CONCRETE WASH OUT AREA, SEDIMENT TRAPS WITH DIVERSIONS, AND INLET PROTECTION.
- SUBMIT 7 DAY LETTER TO BE PROVIDED TO FORSYTH COUNTY.
- INSTALL ADDITIONAL TEMPORARY EXCAVATED SEDIMENT TRAPS & DIVERSIONS, AND OTHER EROSION AND SEDIMENT CONTROLS AS NECESSARY.
- PRELIMINARY SITE GRADING.
- EXCAVATION AND INSTALLATION OF THE FOUNDATION.
- GRADING, EXCAVATION, AND INSTALLATION OF UTILITIES.
- CONSTRUCTION OF RETAINING WALLS.
- BUILDING CONSTRUCTION.
- FINE GRADING OF THE SITE.
- PREPARATION FOR FINAL PLANTING AND SEEDING.
- COMPLETION OF ON-SITE STABILIZATION.
- REMOVAL OF SEDIMENT CONTROL MEASURES.

#### SEQUENCE OF MAJOR ACTIVITIES

SEE SPECIFIC SEQUENCE OF CONSTRUCTION NOTES AND THE CONSTRUCTION SCHEDULE (ON THIS SHEET) SHOWN ON SHEET C5-10 THROUGH C5-30.

### Site Disturbance Breakdown:

TOTAL SITE AREA = 12.69 ACRES

INITIAL PHASE DISTURBED AREA = 2.33 ACRES

INTERMEDIATE PHASE DISTURBED AREA = 2.33 ACRES

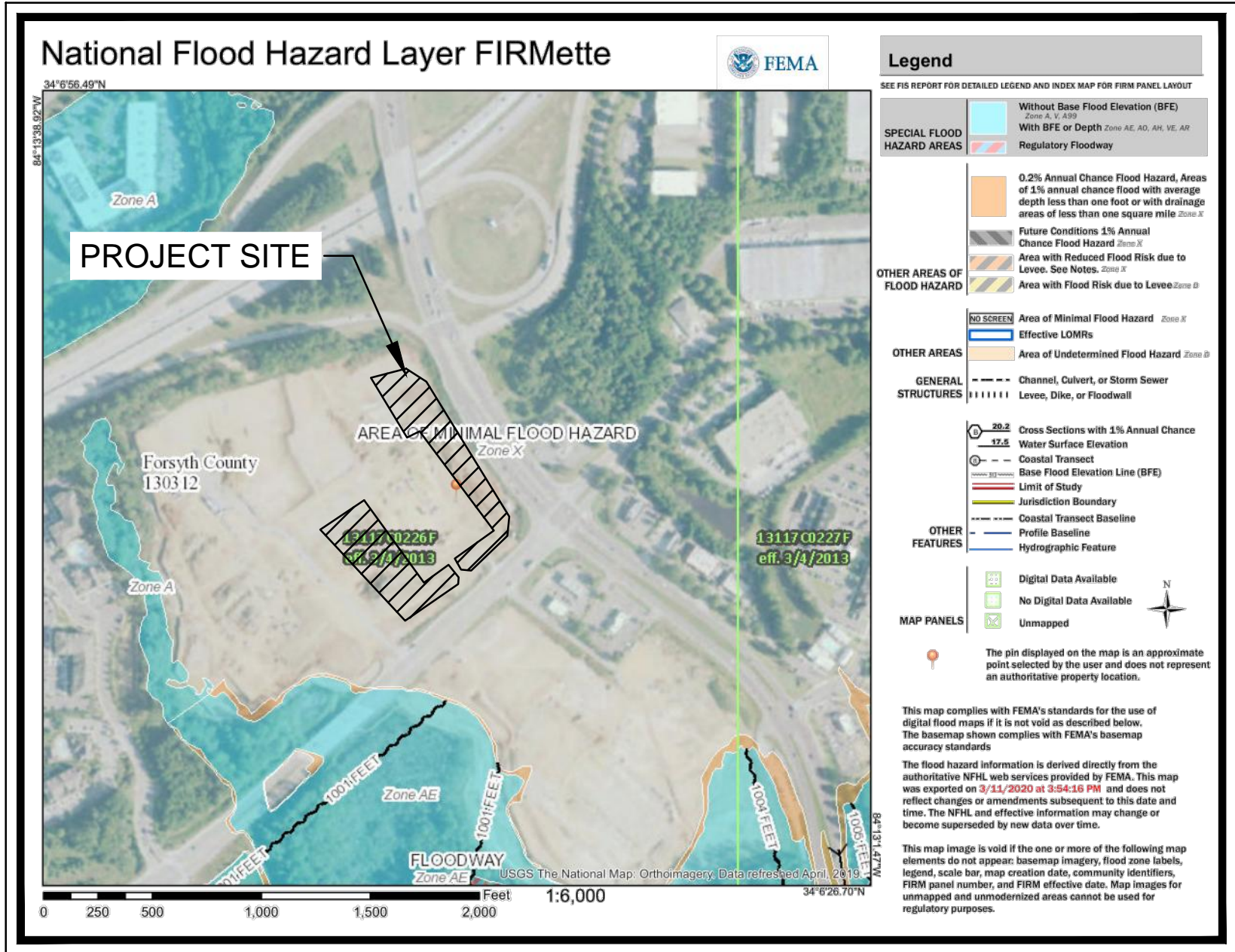
FINAL PHASE DISTURBED AREA = 2.33 ACRES

WARM WATER (SUPPORTING WARM WATER FISHERIES)								
		SURFACE WATER DRAINAGE AREA, SQUARE MILES						
SITE SIZE, ACRES	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
	75	150	200	400	750	750	750	750
	50	100	100	200	300	500	750	750
	50	50	100	100	200	300	750	750
	50	50	50	100	100	150	300	600
100.01+	50	50	50	50	50	100	200	100

## APPENDIX B NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLE



## VICINITY MAP



## FEMA MAP

PREPARED BY  
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NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

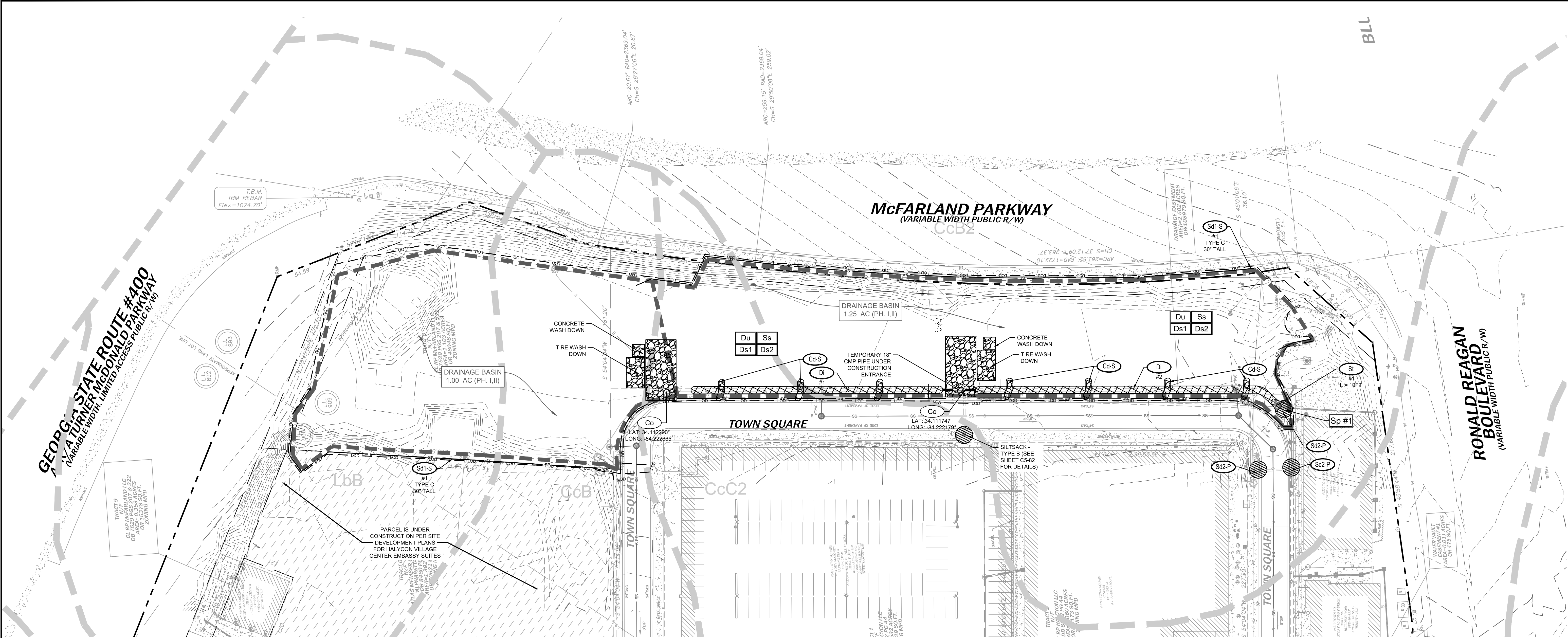


GSWCC NO. 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE  
**EROSION CONTROL NOTES**  
SHEET NUMBER  
**C5-04**



Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C5-10 - EROSION CONTROL PLAN.dwg C5-10 EROSION CONTROL PLAN PHASE I May 22, 2020 10:14am by derek.zittrauer



#### FORSYTH COUNTY NOTES:

- PETROLEUM STORAGE SHALL BE DONE IN ACCORDANCE WITH ONE OF THE TWO FOLLOWING METHODS TO PREVENT STORM WATER DISCHARGES ON THE SITE:
- ALL PETROLEUM STORAGE CONTAINERS SHALL BE COVERED WITH PLASTIC SHEETING OR BE LOCATED UNDER A TEMPORARY ROOF
  - ALL PETROLEUM STORAGE CONTAINERS SHALL BE LOCATED IN A SECONDARY CONTAINMENT AREA

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### SAMPLING NOTES:

- OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
- CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 75 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 1.00 - 10 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA).
- SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- SEE SHEETS C5-01 - C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

#### EROSION CONTROL PH. I SEQUENCING:

- INSTALL CONSTRUCTION EXIT, TIRE WASH DOWN & FUEL STORAGE AREAS.
- INSTALL PERIMETER EROSION CONTROL DEVICES.
- SCHEDULE INSPECTION WITH PROJECT DESIGN PROFESSIONAL PRIOR TO BEGINNING DEMOLITION ACTIVITIES.

**SITE AREA SUMMARY:**  
TOTAL SITE AREA = 12.69 ACRES  
TOTAL DISTURBED AREA = 2.33 ACRES

**24-HOUR CONTACT:**  
NAME: PATRICK LEONARD  
COMPANY: ROCAPPOINT PARTNERS  
NUMBER: 404.855.5854

**PRIMARY PERMITTEE:**  
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EMAIL: patrick.leonard@rocapoint.com

#### EROSION CONTROL LEGEND:

Sd1-S	SILT FENCE - TYPE S	SF
Co	CONSTRUCTION EXIT	
Sd2-P	INLET SEDIMENT TRAP: CURB INLET PROTECTION	
Sd2-F	INLET SEDIMENT TRAP: FILTER FABRIC	
Sd2-SS	INLET SEDIMENT TRAP: SILT SAVER	
Sd2-B	EXCAVATED INLET SEDIMENT TRAP: BAFFLE BOX	
St	STORM DRAIN OUTLET PROTECTION	
Di	DIVERSION	
Cd	CHECK DAM	
Re	RETAINING WALL	
Ds1	DISTURBED AREA STABILIZATION (MULCHING)	
Ds2	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
Ds3	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
Du	DUST CONTROL	
Ss	SLOPE STABILIZATION	
Sp	SAMPLING POINT	
Tr	TREE PROTECTION FENCE	10'
LOD	LIMITS OF DISTURBANCE	100' 100'
CYB2	SOIL TYPE DELINEATION	
	DRAINAGE BASIN DELINEATION	

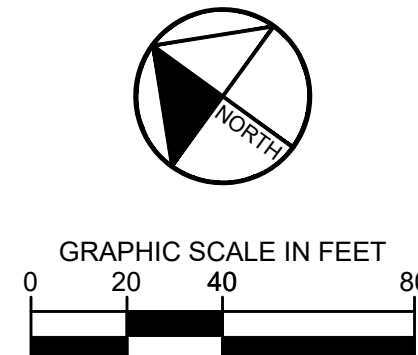
#### EROSION CONTROL NOTES:

- CONTRACTOR IS TO ADHERE TO THE FORSYTH COUNTY EROSION AND SEDIMENT CONTROL REGULATIONS, AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL" FOR GEORGIA.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED.
- THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
- MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
- FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN ONSITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT.
- ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.
- SEE DETAILS FOR Ds2 AND Ds3 SEEDING AND MULCHING REQUIREMENTS.
- STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
- PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION.
- THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
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- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&P PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT IS NOT WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND DOES NOT DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM SEGMENT.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
- INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100003.
- NO ALTERNATE BMPs WERE USED IN THIS PROJECT.



**DEREK M. ZITTRAUER**  
Level II Certified Design Professional

CERTIFICATION NUMBER: 0000076500  
ISSUED: 03/10/2019 EXPIRES: 03/10/2022



PREPARED BY: **Kimley»Horn**  
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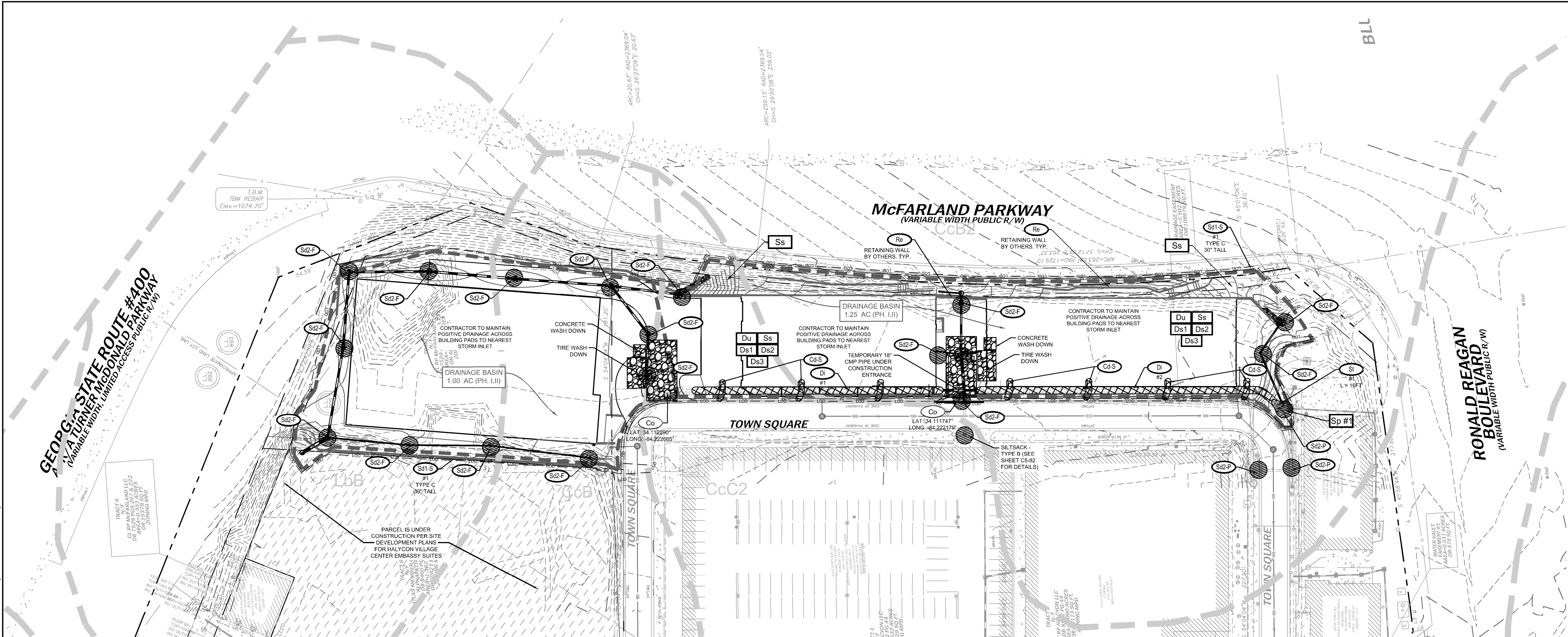
NO.	REVISION PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE

PROJECT: **EROSION CONTROL PLAN PHASE 1**  
SHEET NUMBER: **C5-10**



Drawing name: K:\VLP\_P\013223001\_Halcyon - Village District\CAD\PlanSheets\C5-20 EROSION CONTROL PLAN.dwg C5-20 EROSION CONTROL PLAN PHASE 2 May 22, 2020 10:16am by derek.zittrauer



#### FORSYTH COUNTY NOTES:

- PETROLEUM STORAGE SHALL BE DONE IN ACCORDANCE WITH ONE OF THE TWO FOLLOWING METHODS TO PREVENT STORM WATER DISCHARGES ON THE SITE:
- ALL PETROLEUM STORAGE CONTAINERS SHALL BE COVERED WITH PLASTIC SHEETING OR BE LOCATED UNDER A TEMPORARY ROOF
  - ALL PETROLEUM STORAGE CONTAINERS SHALL BE LOCATED IN A SECONDARY CONTAINMENT AREA

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### SAMPLING NOTES:

- OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
- CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 25.01 - 50 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA).
- SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- SEE SHEETS C5-01 - C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

#### EROSION CONTROL PH. 2 SEQUENCING:

- INSPECT AND MAINTAIN ALL EXISTING BMPs.
- BEGIN TO TIE OFF-SITE CONVEYANCE LINES INTO THE NEW TRUNK LINE & REMOVE THE OLD CONVEYANCE PIPE. INSTALL INLET/OUTLET EROSION PROTECTION.
- BEGIN CUT/FILL ACTIVITIES. CONTRACTOR TO COORDINATE AND SCHEDULE REMOVAL OF UNSUITABLE FILL MATERIAL DURING THIS PHASE.
- INSTALL REMAINING SITE UTILITIES.
- ONCE C&G HAS BEEN POURED ADJACENT TO Sd2-Fs, THE Sd2-Ps TO BE REPLACED BY Sd2-Ps (SEE SHEET C5-30 FOR Sd2-P LOCATIONS).

ALL SEDIMENT STORAGE TO BE FROM MASTER DEVELOPMENT POND ON WEST SIDE OF PROPERTY PERMITTED AND CONSTRUCTED THROUGH LDP #SD2016-076

**SITE AREA SUMMARY:**  
TOTAL SITE AREA = 12.69 ACRES  
TOTAL DISTURBED AREA = 2.33 ACRES  
PHASE DISTURBED AREA = XX.XX ACRES

**24-HOUR CONTACT:**  
NAME: PATRICK LEONARD  
COMPANY: ROCKPOINT PARTNERS  
ADDRESS: 309 EAST PACES FERRY ROAD SUITE 825 ATLANTA, GA 30305  
PHONE: 404.855.5854  
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PHONE: 404.855.5854  
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#### EROSION CONTROL LEGEND:

Sd1-S	SILT FENCE - TYPE S	SF
Co	CONSTRUCTION EXIT	
Sd2-P	INLET SEDIMENT TRAP: CURB INLET PROTECTION	
Sd2-F	INLET SEDIMENT TRAP: FILTER FABRIC	
Sd2-SS	INLET SEDIMENT TRAP: SILT SAVER	
Sd2-B	EXCAVATED INLET SEDIMENT TRAP: BAFFLE BOX	
St	STORM DRAIN OUTLET PROTECTION	
Di	DIVERSION	
Cd	CHECK DAM	
Re	RETAINING WALL	
Ds1	DISTURBED AREA STABILIZATION (MULCHING)	
Ds2	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
Ds3	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
Du	DUST CONTROL	
Ss	SLOPE STABILIZATION	
Sp	SAMPLING POINT	
Tr	TREE PROTECTION FENCE	1 FT
LOD	LIMITS OF DISTURBANCE	--- LOD --- LOD ---
CYB2	SOIL TYPE DELINEATION	
	DRAINAGE BASIN DELINEATION	

#### EROSION CONTROL NOTES:

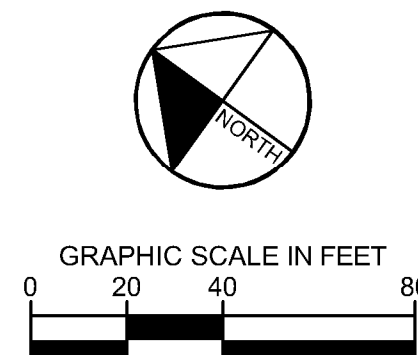
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**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**DEREK M. ZITTRAUER**  
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CERTIFICATION NUMBER 0000076500  
ISSUED: 03/10/2019 EXPIRES: 03/10/2022

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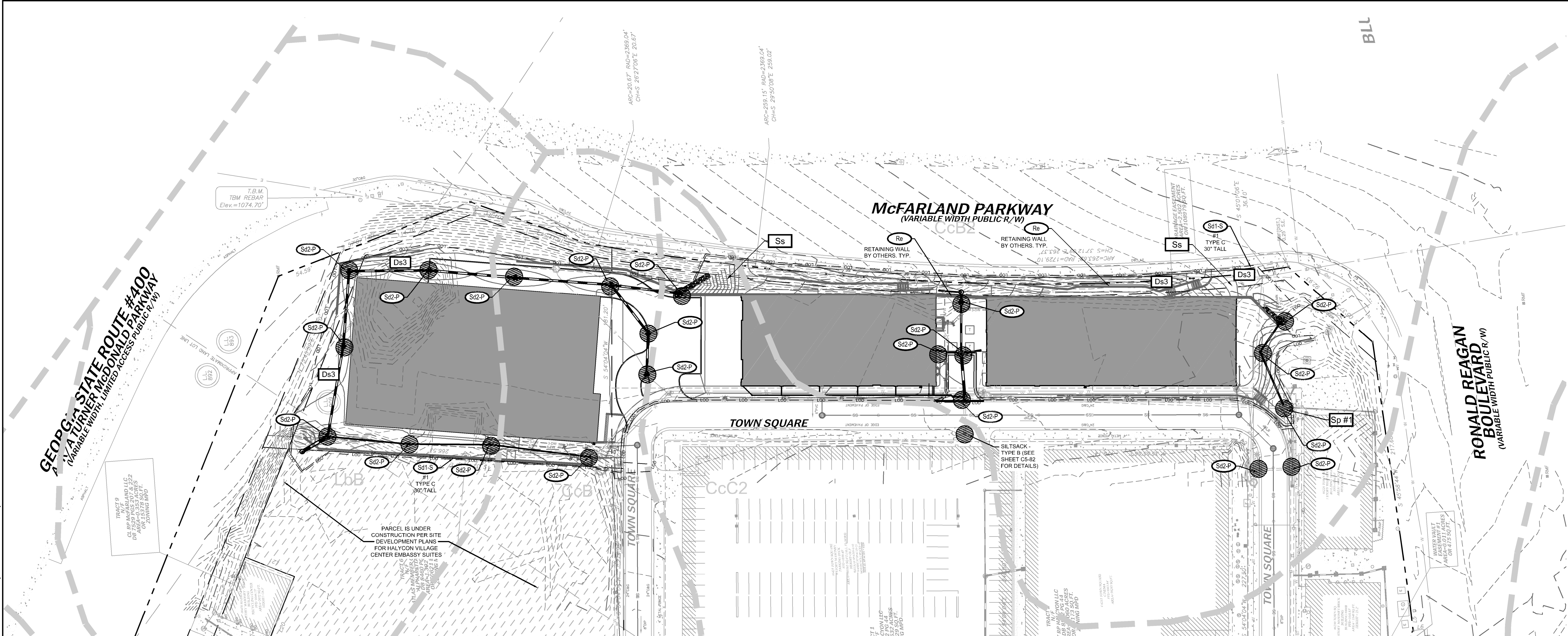
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**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6370, 6340, 6390 TOWN SQUARE

**EROSION CONTROL PLAN PHASE 2**

SHEET NUMBER **C5-20**





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#### EROSION CONTROL PH. 3 SEQUENCING:

- POUR FOUNDATIONS AND INSTALL FINAL SLOPE STABILIZATION.
- INSTALL ASPHALT AND CONCRETE DRIVE AISLES AND ROADWAYS. INSTALL STORM INLET PROTECTION MEASURES.
- REMOVE ALL TEMPORARY BMPs.

#### SITE AREA SUMMARY:

TOTAL SITE AREA = 12.69 ACRES  
TOTAL DISTURBED AREA = 2.33 ACRES

#### 24-HOUR CONTACT:

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#### EROSION CONTROL LEGEND:

	SILT FENCE - TYPE S	
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	INLET SEDIMENT TRAP: FILTER FABRIC	
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	STORM DRAIN OUTLET PROTECTION	
	DIVERSION	
	CHECK DAM	
	RETAINING WALL	
	DISTURBED AREA STABILIZATION (MULCHING)	
	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
	DUST CONTROL	
	SLOPE STABILIZATION	
	SAMPLING POINT	
	TREE PROTECTION FENCE	
	LIMITS OF DISTURBANCE	
	SOIL TYPE DELINEATION	
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#### EROSION CONTROL NOTES:

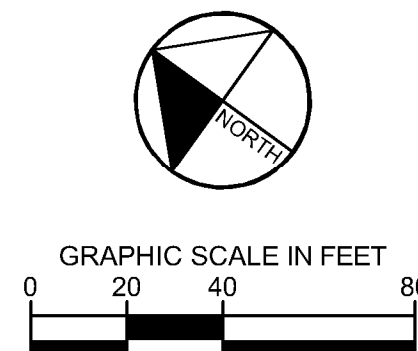
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**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**DEREK M. ZITTRAUER**  
Level II Certified Design Professional

CERTIFICATION NUMBER 0000076500  
ISSUED: 03/10/2019 EXPIRES: 03/10/2022

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PREPARED BY

**Kimley»Horn**

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PREPARED FOR

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE 825  
ATLANTA, GA 30305  
PHONE: 404.855.5854

No.	REVISED PER COUNTY COMMENTS	DATE	BY
1	REVISED PER COUNTY COMMENTS	05/22/2020	DMZ

ISSUANCE AND REVISION DESCRIPTIONS

PROJECT

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6370, 6340, 6390 TOWN SQUARE

REGISTERED PROFESSIONAL ENGINEER  
No. PE044139  
Derek M. Zittrauer

GSWCC NO. (LEVEL II) 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001  
TITLE **EROSION CONTROL PLAN PHASE 3**  
SHEET NUMBER **C5-30**



Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C5-80 - EROSION CONTROL DETAILS May 22, 2020 10:21am by: derek.zittrauer

MATERIAL	DEPTH
DRY STRAW OR HAY	2" TO 4"
WOOD WASTE (SAWDUST, BARK, CHIPS)	2" TO 3"
CUTBACK ASPHALT (SLOW CURING)	1200 GAL. / ACRE (1/4 GAL. / SQ.YD.)
BLACK POLYETHYLENE FILM	COMPLETELY COVER AREA; HOLD IN PLACE WITH SOIL ON OUTER EDGE

**Ds1** MULCHING

FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION					
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	N TOP DRESSING RATE (LBS./ACRE)	
COOL SEASON GRASSES	FIRST	6-12-12	1500	-	
	SECOND	10-10-10	400	30	
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50	
	SECOND	10-10-10	1000	-	
GROUND COVERS	FIRST	6-12-12	1500	-	
	SECOND	10-10-10	1300	-	
PINE SEEDLINGS	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	-	
	MAINTENANCE	0-10-10	700	-	
SHRUB LESPEDEZA	FIRST	6-12-12	1500	-	
	SECOND	10-10-10	500	30	
TEMPORARY GROUND COVER CROPS SEEDED ALONE	FIRST	6-12-12	1500	50-100	
	SECOND	10-10-10	800	-	
WARM SEASON GRASSES	FIRST	6-12-12	1500	30	
	SECOND	10-10-10	400	-	
WARM SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	30	
	SECOND	0-10-10	1000	-	

**Ds3** PERMANENT SEEDING

APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1-2 TONS PER ACRE

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS						
SPECIES	RATES PER 1,000 SQ. FT.	RATES PER ACRE	PLANTING DATES BY REGION			
			M-L	P	C	
BARLEY	3.3 LBS.	3 BU.	9/1-10/31	9/15-11/15	10/1-12/31	
OATS	2.9 LBS.	4 BU.	9/15-11/15	9/15-11/15	9/15-11/15	
TRITCALE	3.3 LBS.	3 BU.	-	-	10/15-12/15	
RYEGRASS, ANNUAL	0.9 LBS.	40 LBS.	8/15-11/15	9/1-12/15	9/15-12/31	
RYE LESPEDEZA, ANNUAL	0.6 LBS.	0.5 BU.	8/15-10/31	9/15-11/30	10/1-12/31	
WEeping LOVEGRASS	0.9 LBS.	40 LBS.	3/1-3/31	3/1-3/31	2/1-2/28	
SUDANGRASS	0.1 LBS.	4 LBS.	4/1-5/31	4/1-5/31	3/1-5/31	
MILLET, BROWNTOP	1.4 LBS.	60 LBS.	4/1-8/31	4/1-8/31	3/1-7/31	
MILLET, PEARL	0.9 LBS.	40 LBS.	4/15-6/15	4/15-6/30	4/15-6/30	
WHEAT	1.1 LBS.	50 LBS.	5/15-7/15	5/1-7/31	4/15-8/15	
	4.1 LBS.	3 BU.	9/15-11/30	10/1-12/15	10/15-12/31	
1. TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL CROWN OUT PERENNIALS IF PLANTED TOO HEAVILY.						
2. REDUCE SEEDING RATES BY 50% WHEN DRILLED.						
3. UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.						
4. SEEDING RATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS.						
M-L REPRESENTS THE MOUNTAIN, BLUE RIDGE, AND RIDGES & VALLEYS MLRAS.						
P REPRESENTS THE SOUTHERN PIEDMONT REGION MLRA.						
C REPRESENTS THE SOUTHERN COASTAL PLAIN, SAND HILLS, BLACK LANDS, AND ATLANTIC COAST FLATWOODS MLRAS.						

FERTILIZER REQUIREMENTS FOR TEMPORARY VEGETATION					
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	N TOP DRESSING RATE (LBS./ACRE)	
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100	
	SECOND	10-10-10	400	30	
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50	
	SECOND	10-10-10	1000	-	
TEMPORARY COVER CROPS	FIRST	10-10-10	500	30	
	SECOND	6-12-12	1500	50-100	
SEEDED ALONE	FIRST	6-12-12	800	-	
	SECOND	10-10-10	400	30	

**Ds2** TEMPORARY SEEDING

PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER						
TYPES OF SPECIES	RATES PER ACRE	RATES PER 1,000 SF	PLANTING DATES BY REGION			REMARKS
			M-L	P	C	
BAHIA, PENSACOLA	60 LBS.	1.4 LBS.	-	4/1-5/31	3/1-5/31	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	30 LBS.	0.7 LBS.	-	-	-	
BAHIA, WILMINGTON	60 LBS.	1.4 LBS.	3/15-5/31	3/1-5/31	-	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	30 LBS.	0.7 LBS.	-	-	-	
BERMUDA, COMMON (HULLED SEED)	10 LBS.	0.2 LBS.	-	4/1-5/31	3/15-5/31	QUICK COVER, LOW GROWING AND SOD FORMING. NEEDS FULL SUN
ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	6 LBS.	0.1 LBS.	-	-	-	
BERMUDA, COMMON (UNHULLED SEED)	10 LBS.	0.2 LBS.	-	10/1-2/28	11/1-1/31	PLANT WITH WINTER ANNUALS
ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	6 LBS.	0.1 LBS.	-	-	-	
BERMUDA SPRIGS	40 CF	0.9 CF	4/15-6/15	4/1-6/15	4/1-5/31	1 CF = 650 SPRIGS 1 BU. = 1.25 CF OR 800 SPRIGS.
TEMPORARY COVER	3 X 3	SOD PLUGS	-	-	-	
CENTPEDE	BLOCK SOD ONLY	-	11/1-5/31	11/1-5/31	-	
CROWN VETCH	15 LBS.	0.3 LBS.	9/1-10/15	9/1-10/10	-	DROUGHT TOLERANT; FULL SUN OR PARTIAL SHADE; EFFECTIVE ADJACENT TO CONCRETE AND IN CONCENTRATED FLOW AREAS; IRRIGATION NEEDED UNTIL FULLY ESTABLISHED; DO NOT PLANT NEAR PASTURES
WITH WINTER ANNUALS OR COOL WINTER GRASSES	50 LBS.	1.1 LBS.	3/1-4/1 - OR - 8/15-10/15	9/1-10/15 - OR - 2/15-4/15	-	
FESCUE, TALL	30 LBS.	0.7 LBS.	-	-	-	MIX WITH 30 LBS. TALL FESCUE OF 15 LBS. RYE; INOCULATE SEED; ONLY NORTH OF ATLANTA, DENSE GROWTH; DROUGHT TOLERANT AND FIRE RESISTANT
ALONE WITH OTHER PERENNIALS	30 LBS.	0.7 LBS.	-	-	-	NOT FOR DROUGHTY SOILS. MIX WITH PERENNIAL LESPEDEZAS OR CROWN VETCH. APPLY TOPDRESSING IN SPRING FOLLOWING FALL PLANTINGS. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS. 227,000 SEED PER POUND.
LESPEDEZA, SERICEA	60 LBS.	1.4 LBS.	4/1-5/31	3/15-5/31	3/1-5/15	WIDELY ADAPTED AND LOW MAINTENANCE. TAKES 2-3 YEARS TO ESTABLISH, EXCELLENT ON ROADBANKS. INOCULATE SEED WITH EL INOCULANT, MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, OR TALL FESCUE.
SCARIFIED UNSCARIFIED SEED-BEARING HAY	75 LBS.	1.7 LBS.	9/1-2/28	9/1-2/28	9/1-2/28	MIX WITH TALL FESCUE OR WINTER ANNUALS
ALONE WITH OTHER PERENNIALS	3 TONS	138 LBS.	10/1-2/28	10/1-1/31	9/15-1/15	CUT WHEN SEED IS MATURE, BUT BEFORE IT SHATTERS. ADD TALL FESCUE OR WINTER ANNUALS.
LESPEDEZA, AMBRO VIRGETA OR APPALOW	60 LBS.	1.4 LBS.	4/1-5/31	3/15-5/31	3/15-5/15	SPREADING GROWTH WITH HEIGHT OF 18"-24". GOOD IN URBAN AREAS. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, TALL FESCUE, OR WINTER ANNUALS. DO NOT MIX WITH SERICEA LESPEDEZA. SLOW TO DEVELOP SOLID STANDS. INOCULATE SEED WITH EL INOCULANT.
SCARIFIED UNSCARIFIED	75 LBS.	1.7 LBS.	9/1-2/28	9/1-2/28	9/1-2/28	
LESPEDEZA, SHRUB (LESPEDEZA BICOLOR OR LESPEDEZA THUMBERGII), PLANTS	3' X 3' SPACING	-	10/1-3/31	11/1-3/15	11/15-2/28	PLANT IN SMALL CLUMPS FOR WILDLIFE FOOD AND COVER.
LOVEGRASS, WEEPING	4 LBS.	0.1 LBS.	4/1-5/31	3/15-5/31	3/1-5/31	QUICK COVER. DROUGHT TOLERANT. GROWS WELL WITH SERICEA LESPEDEZA ON ROADBANKS.
ALONE WITH OTHER PERENNIALS	2 LBS.	0.05 LBS.	-	-	-	
MAIDENCANE SPRIGS	2' X 3' SPACING	-	2/1-3/31	2/1-3/31	2/1-3/31	FOR VERY WET SITES SUCH AS RIVERBANKS AND SHORELINES. DIG SPRIGS LOCALLY. MAY CLOG CHANNELS.
PANICGRASS, ATLANTIC COASTAL	20 LBS.	0.5 LBS.	-	3/1-4/30	3/1-4/30	GROWS WELL ON COASTAL SAND DUNES, BORROW AREAS, AND GRAVEL PITS. PROVIDES WINTER COVER FOR WILDLIFE. MIX WITH SERICEA LESPEDEZA EXCEPT ON SAND DUNES.
REED CANARY GRASS	50 LBS.	1.1 LBS.	6/15-10/15	9/1-10/15	-	GROWS SIMILAR TO TALL FESCUE
ALONE WITH OTHER PERENNIALS	30 LBS.	0.7 LBS.	-	-	-	
SUNFLOWER, AZTEC MAXIMILLIAN	10 LBS.	0.2 LBS.	4/15-6/31	4/15-5/31	4/1-5/31	MIX WITH WEEPING LOVEGRASS, LEGUMES, OR OTHER LOW GROWING GRASSES.

**Ds3** PERMANENT GRASSING

TEMPORARY METHODS: MULCHES - REFER TO Ds1 (DISTURBED AREA STABILIZATION)

VEGETATIVE COVER - REFER TO Ds2 (DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING)

TILLAGE - ROUGHEN AND BRING CLODS TO THE SURFACE BY USE OF CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART

IRRIGATION - SITE SPRINKLED WITH WATER UNTIL WET. REPEAT AS NEEDED

BARRIERS - FENCES, HAY BALES, AND CRATE WALLS PLACED AT INTERVALS 15 TIMES THEIR HEIGHT AND PERPENDICULAR TO AIR CURRENTS

CALCIUM CHLORIDE - APPLY TO KEEP SURFACE WET. REPEAT AS NEEDED.

PERMANENT METHODS: PERMANENT VEGETATION - REFER TO Ds3 (DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION)

TOPSOILING - COVERING THE SURFACE WITH A LESS ERODIBLE SOIL MATERIAL

STONE - SURFACE WITH CRUSHED STONE OR COARSE GRAVEL (SEE C-7 CONSTRUCTION ROAD STABILIZATION)

**Du**

**DUST CONTROL ON DISTURBED AREAS (Du)**

**TIRE WASH AREA**

BLACK LETTERS / ARROW

4"X4" X 8' LONG P.T. POST (TYP.)

WHITE BACKGROUND

GRADE

**TIRE WASH AREA SIGN**

N.T.S.

**TIRE WASH SIGN DETAIL**

**CONCRETE WASHOUT AREA DETAIL**

SECTION B-B

SECTION A-A

SECTION C-C

PLAN

CONCRETE WASHOUT SIGN DETAIL

NOTES:

- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- 10 MIL PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL FILLED BAGS FOR BELOW GRADE CONCRETE WASHOUT FACILITY.

**CONCRETE WASHOUT AREA DETAIL**

**Co** CRUSHED STONE CONSTRUCTION EXIT

**EXIT DIAGRAM**

**ENTRANCE ELEVATION**

NOTES:

- Avoid locating on steep slopes or at curves on public roads.
- Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
- Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" stone).
- Gravel pad shall have a minimum thickness of 6".
- Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
- A diversion ridge should be constructed when grade toward paved area is greater than 2%.
- Install pipe under the entrance if needed to maintain drainage ditches.
- When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
- Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
- Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanup of any measures used to trap sediment.

**CONSTRUCTION EXIT (Co)**

GT-RP HALCYON  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

DATE	BY
05/22/2020	DMZ
1	REVISION PER COUNTY COMMENTS
2	ISSUANCE AND REVISION DESCRIPTIONS

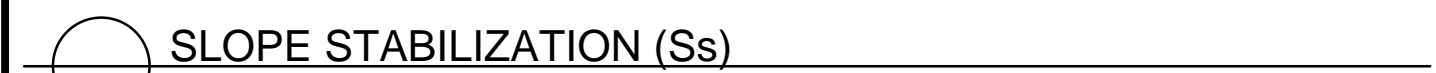
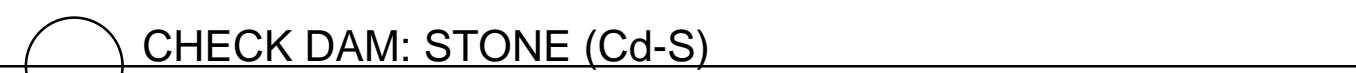
HALCYON VILLAGE CENTER  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. 0000076500  
DRAWN BY KHA  
DESIGNED BY KHA  
REVIEWED BY DMZ  
DATE 04/24/2020  
PROJECT NO. 013623001

TITLE  
**EROSION CONTROL DETAILS**  
SHEET NUMBER  
**C5-80**



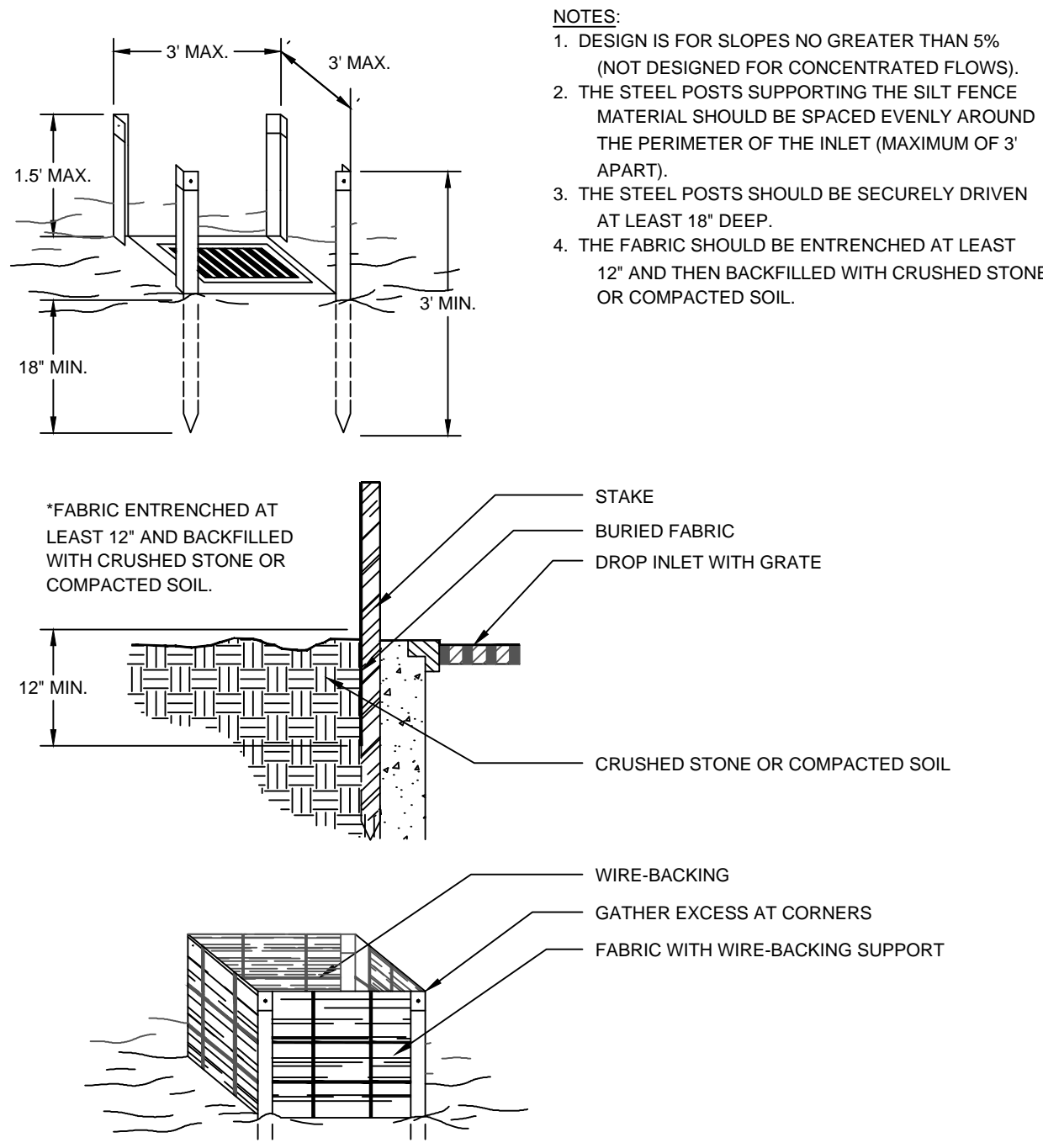




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## Sd2-F INLET SEDIMENT TRAP: FILTER FABRIC W/ SUPPORTING FRAME

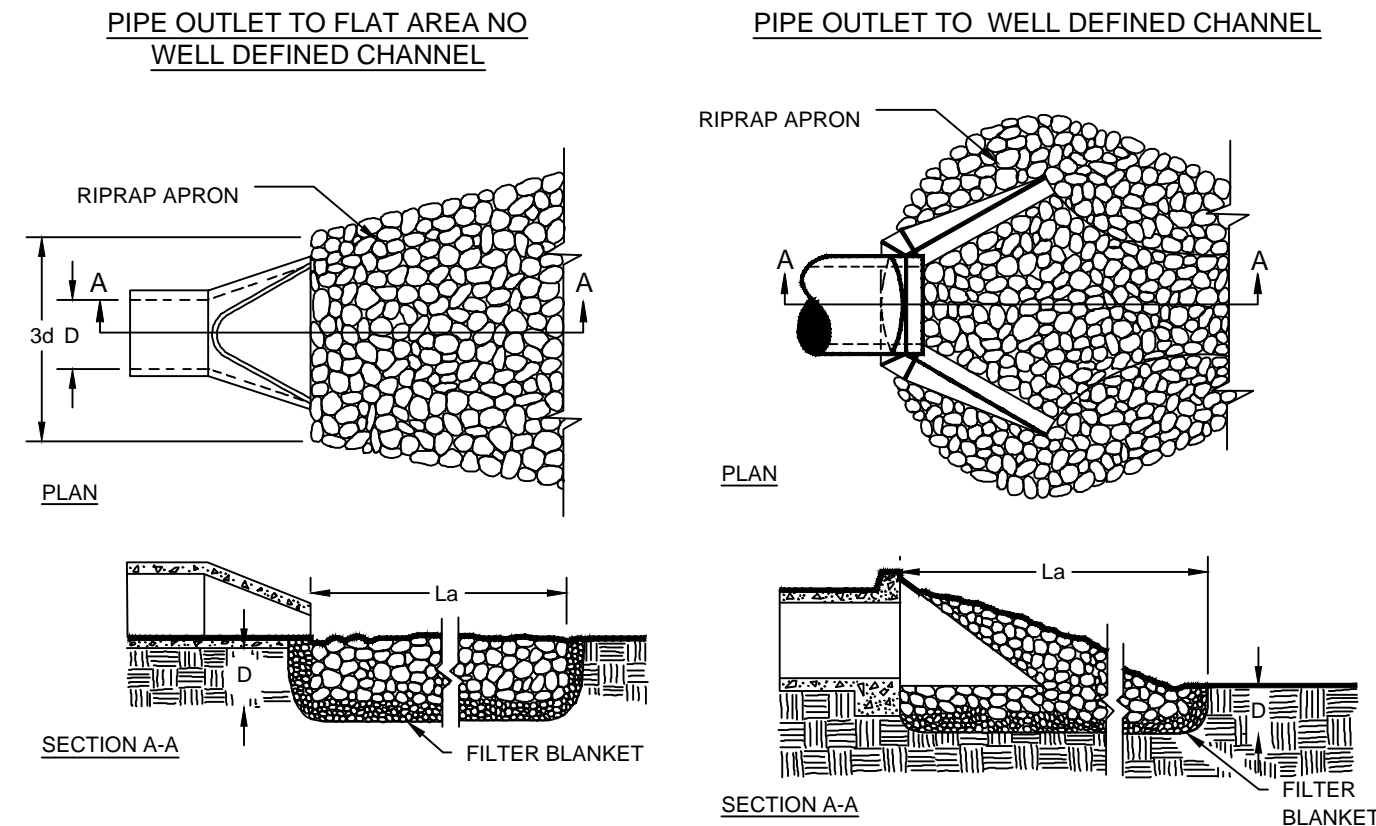
### STEEL FRAME AND SILT FENCE INSTALLATION



- NOTES:
1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
  2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
  3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
  4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

INLET SEDIMENT TRAP - FILTER FABRIC (Sd2-F)

## St - RIPRAP OUTLET PROTECTION



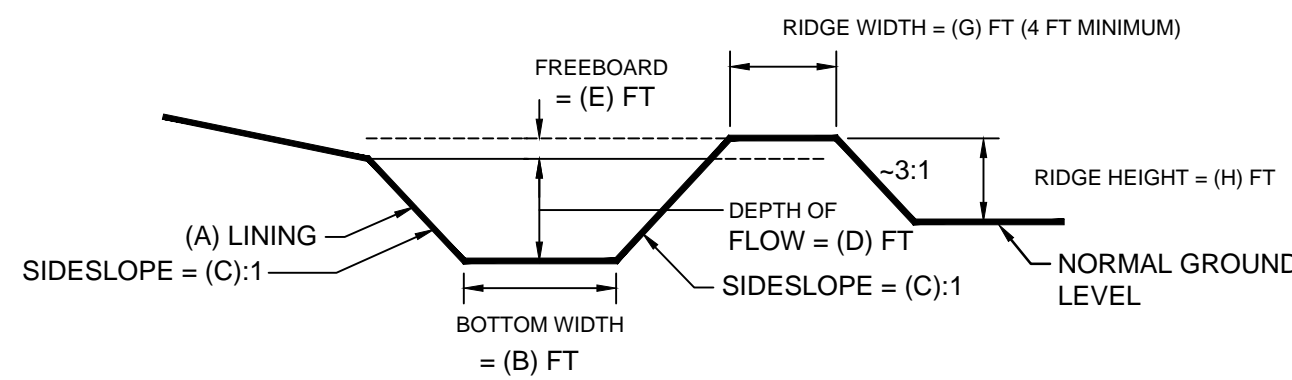
- NOTES:
1. La IS THE LENGTH OF THE RIPRAP APRON.
  2. D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
  3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
  4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

### Outlet Protection (St)

ID	Pipe Size, $D_p$	Pipe Material	Outlet Discharge Condition	Design Flow Rate, $Q_p$	Design Velocity, $V_p$	Tailwater Depth, TW	Tailwater Condition	Apron Length, $L_a$	Apron Width at HW, $W_a$	Apron Width Downstream, $W_d$	Apr. Stone Diameter, $d_s$	Maximum Stone Diameter	Minimum Depth of Stone, D
	in			cfs	fps	ft		ft	ft	ft	ft	ft	ft
St #2	60.0	RCP	Well-Defined	2.94	0.15	1.50	Minimum	8	15	13	0.50	0.75	1.13

RIPRAP OUTLET PROTECTION (St)

## DI - DIVERSION



### Diversion

Description	Drainage Area (A)	Drainage Area (A)	Runoff Coefficient (C)	Intensity (25-Year)	Flow ( $Q_p$ )	Velocity (V)	Liner	Ditch Shape	Bottom Width	Side Slope (H:V)	Total Depth	Running Slope	Depth of Flow	Manning's Number (n)	Freeboard	Channel Top Width	Ridge Width	Ridge Height
Di 1-1	24,000	0.55	0.50	8.39	2.31	3.69	Ch-1	Trapezoidal	2	2:1	1.50	1.00	0.25	0.023	1.25	8.0	4	1.50
Di 2-1	30,300	0.70	0.50	8.39	2.94	4.70	Ch-1	Trapezoidal	2	2:1	1.50	1.00	0.25	0.023	1.25	8.0	4	1.50

### Check Dam note to be shown on the E&SC Plan

Flow in ditch using Cds	Above 2.0 cfs	If so, list additional BMP Lining Material
cfs		
2.31	YES	Ch-1
2.94	YES	Ch-1

DIVERSION (Di)

**DEFINITION**  
A WALL CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING: CONCRETE MASONRY, REINFORCED CONCRETE CRIBBING, TREATED TIMBERS, STEEL PILING, GABIONS, STONE DRYWALL, ROCK RIPRAP, ETC.

**PURPOSE**  
TO ASSIST IN THE STABILIZATION OF CUT OR FILL SLOPES WHERE STABLE SLOPES ARE NOT ATTAINABLE WITHOUT THE USE OF THE WALL.

**CONDITIONS**  
USE IN CONJUNCTION WITH CUT OR FILL SLOPES THAT, BECAUSE OF SPACE LIMITATIONS OR UNSTABLE MATERIAL, DO NOT ALLOW THE STABLE SLOPE CRITERIA LISTED ABOVE, E.G. CUTS INTO STEEP HILLSIDES ON SMALL LOTS OR CUTS INTO HILLSIDES BEHIND SHOPPING CENTERS TO PROVIDE LOADING SPACE.

**DESIGN CRITERIA**  
**GENERAL**  
THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT AND MINIMUM THICKNESS. OTHER CONSIDERATIONS ARE: FOUNDATION DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS AND FOOTING DIMENSIONS. ADDITIONAL DESIGN FACTORS ARE SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE AND APPEARANCE.

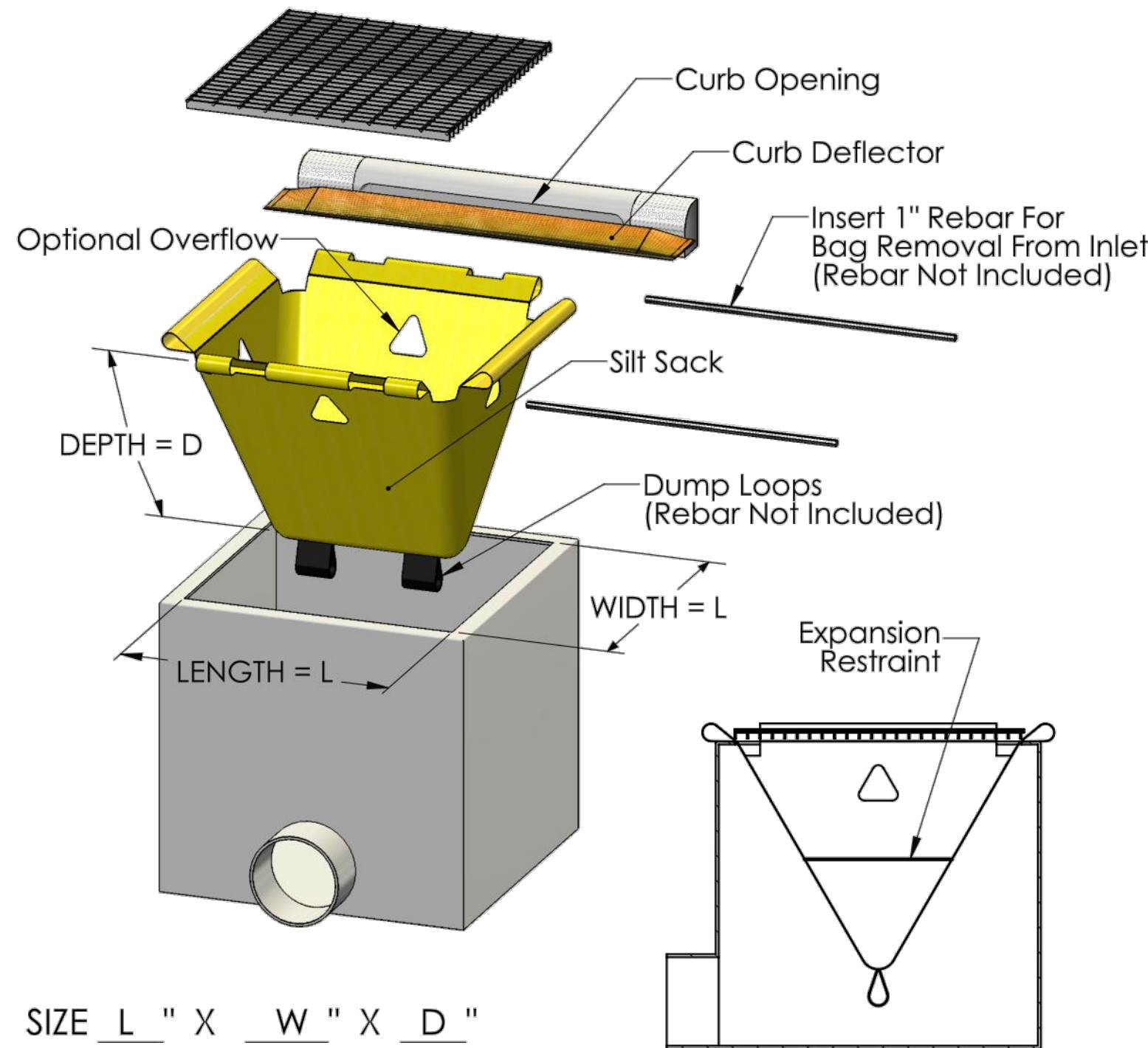
EACH SITUATION REQUIRES A *SPECIFIC DESIGN* THAT IS WITHIN THE CAPABILITIES OF THE DESIGN PROFESSIONAL.

CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO CONSTRUCTION OF THE WALL. SOME METHODS ARE:

1. CONCRETE MASONRY
2. CONCRETE CRIBBING
3. GABIONS
4. STEEL PILING
5. STONE DRYWALL
6. ROCK RIPRAP, ETC.
7. TREATED TIMBERS
8. GEOTEXTILE WRAPPED-FACE WALL
9. GEOTEXTILE REINFORCED STEEP SLOPES

RETAINING WALL (Re)

## Silt Sack - Type B



PREPARED FOR

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ATLANTA, GA 30305  
PHONE: (770) 619-4280  
WWW.KIMLEY-HORN.COM

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5854

REVISOR PER COUNTY COMMENTS

DMZ

DATE

BY

ISSUANCE AND REVISION DESCRIPTIONS

**HALCYON VILLAGE CENTER**  
BUILDINGS 1100, 1300, 1400  
6310, 6340, 6390 TOWN SQUARE



GSWCC NO. 0000076500

DRAWN BY KHA

DESIGNED BY KHA

REVIEWED BY DMZ

DATE 04/24/2020

PROJECT NO. 013623001

TITLE

**EROSION CONTROL DETAILS**

SHEET NUMBER

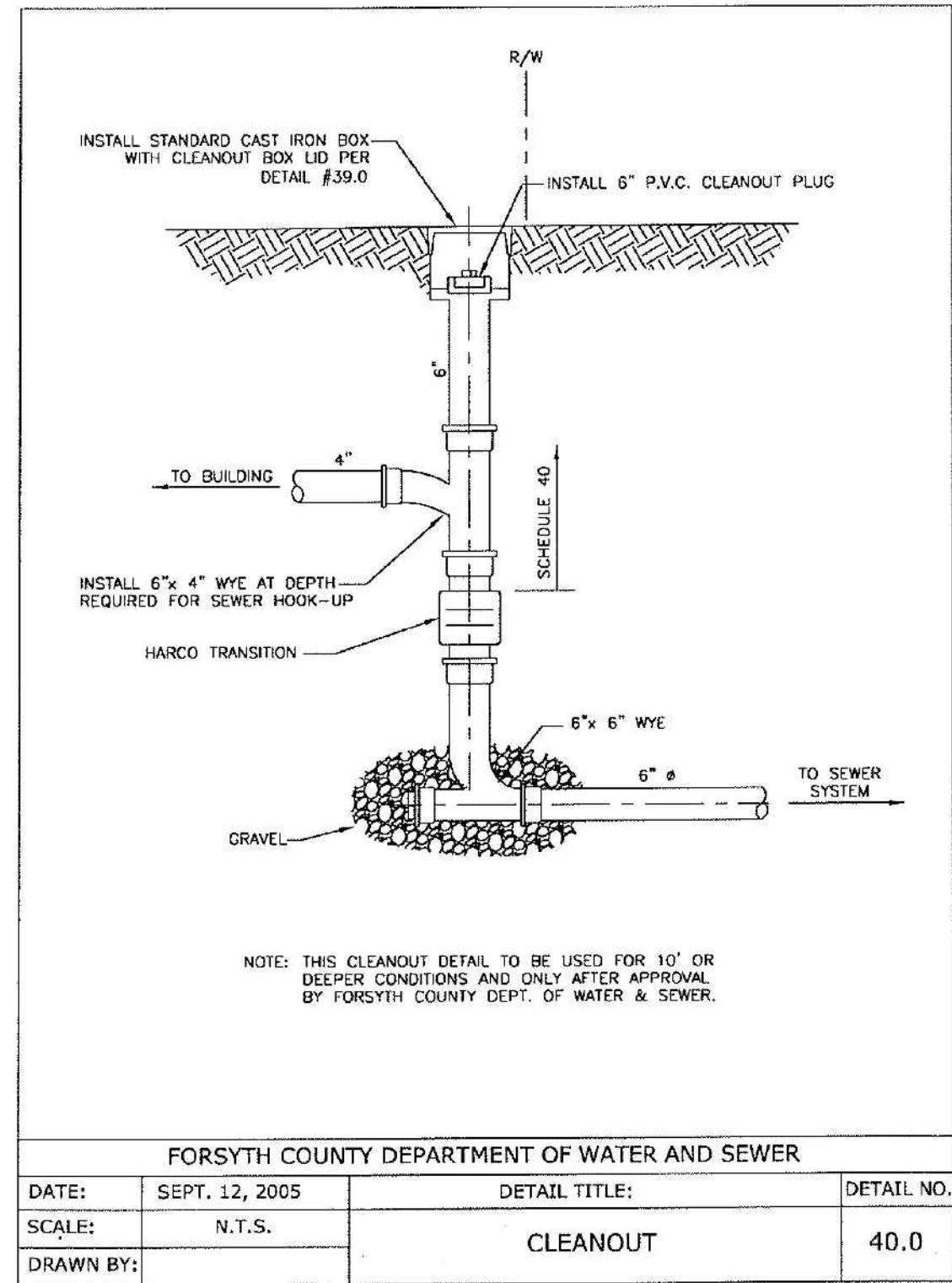
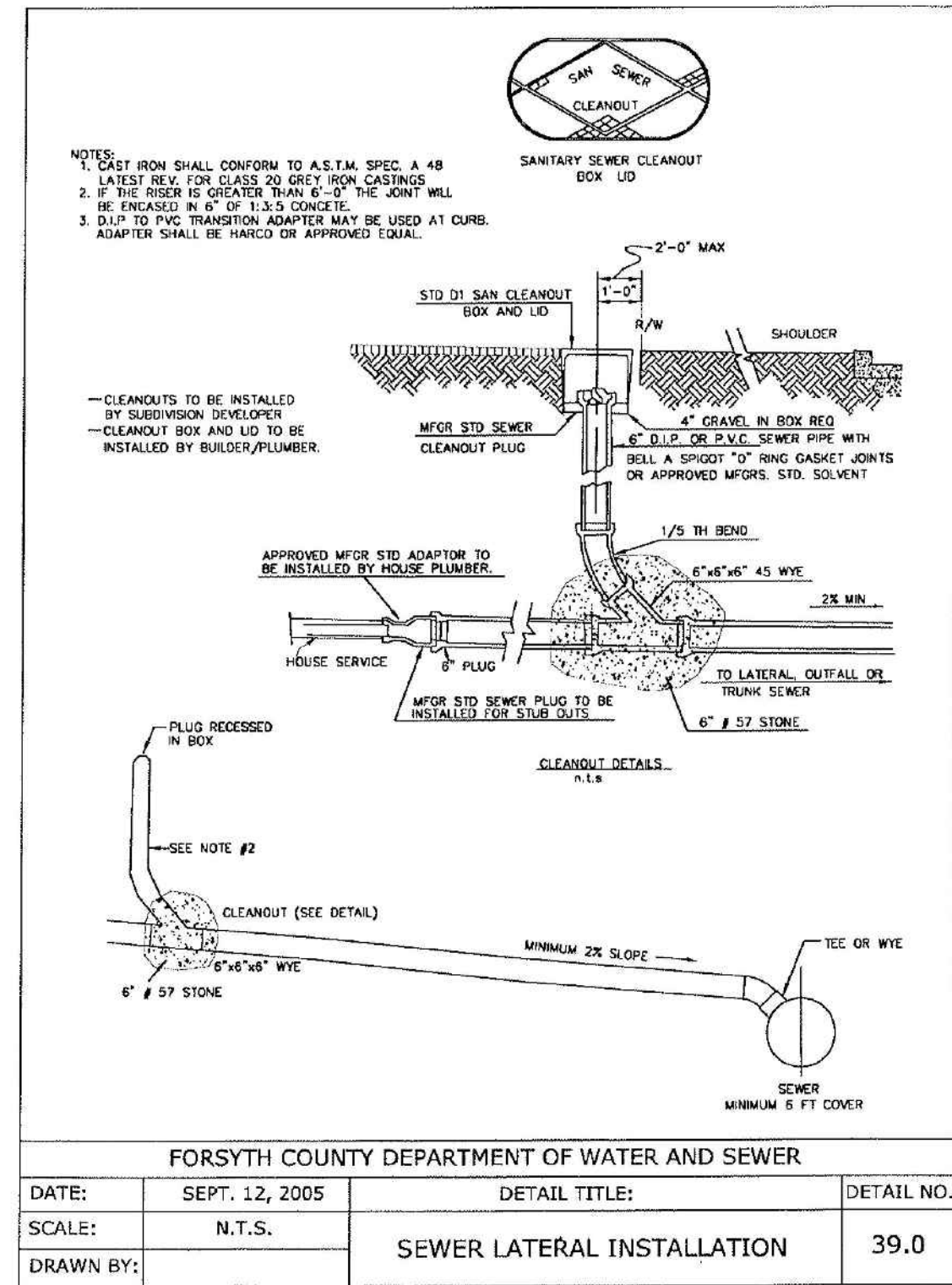
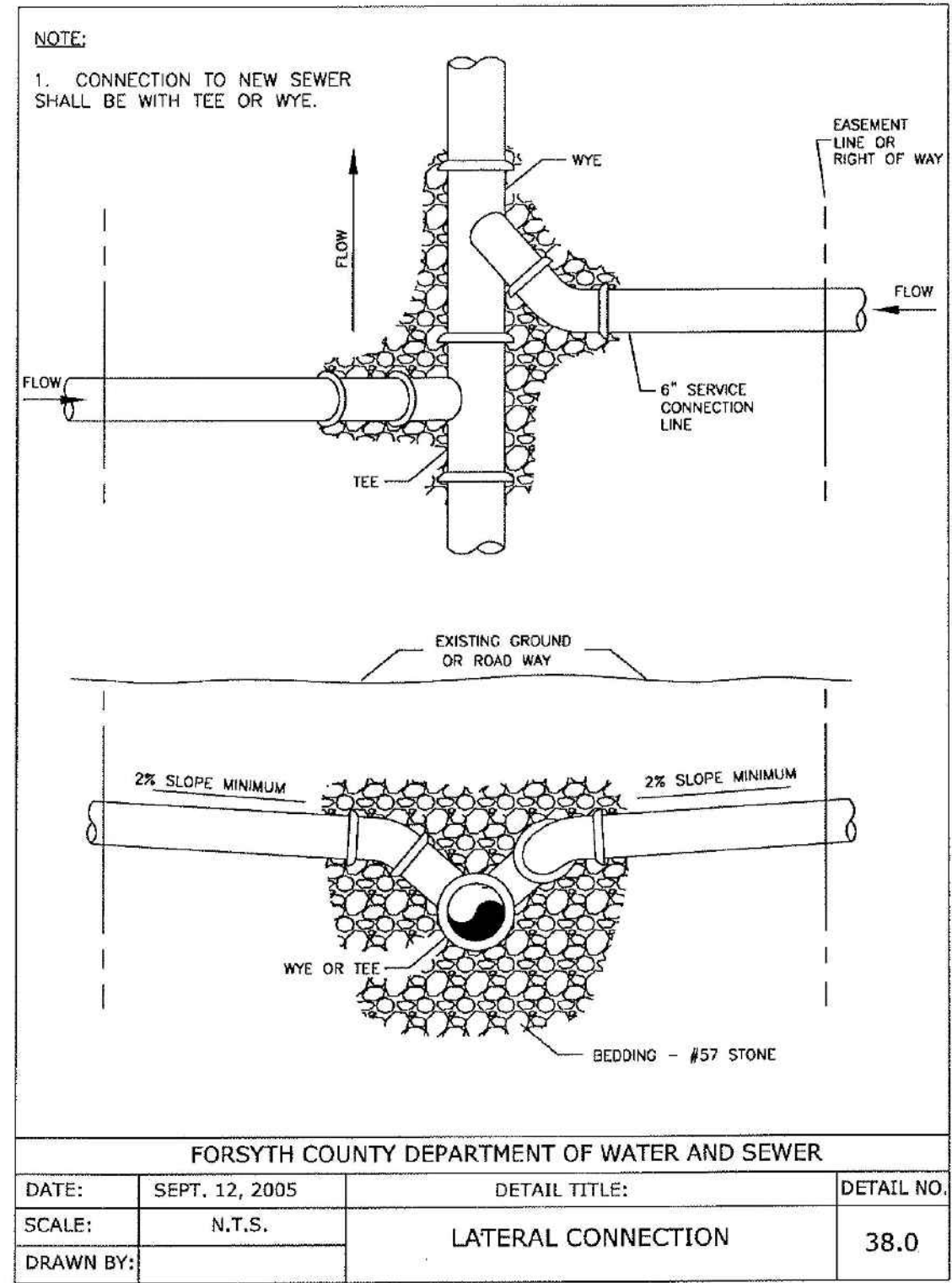
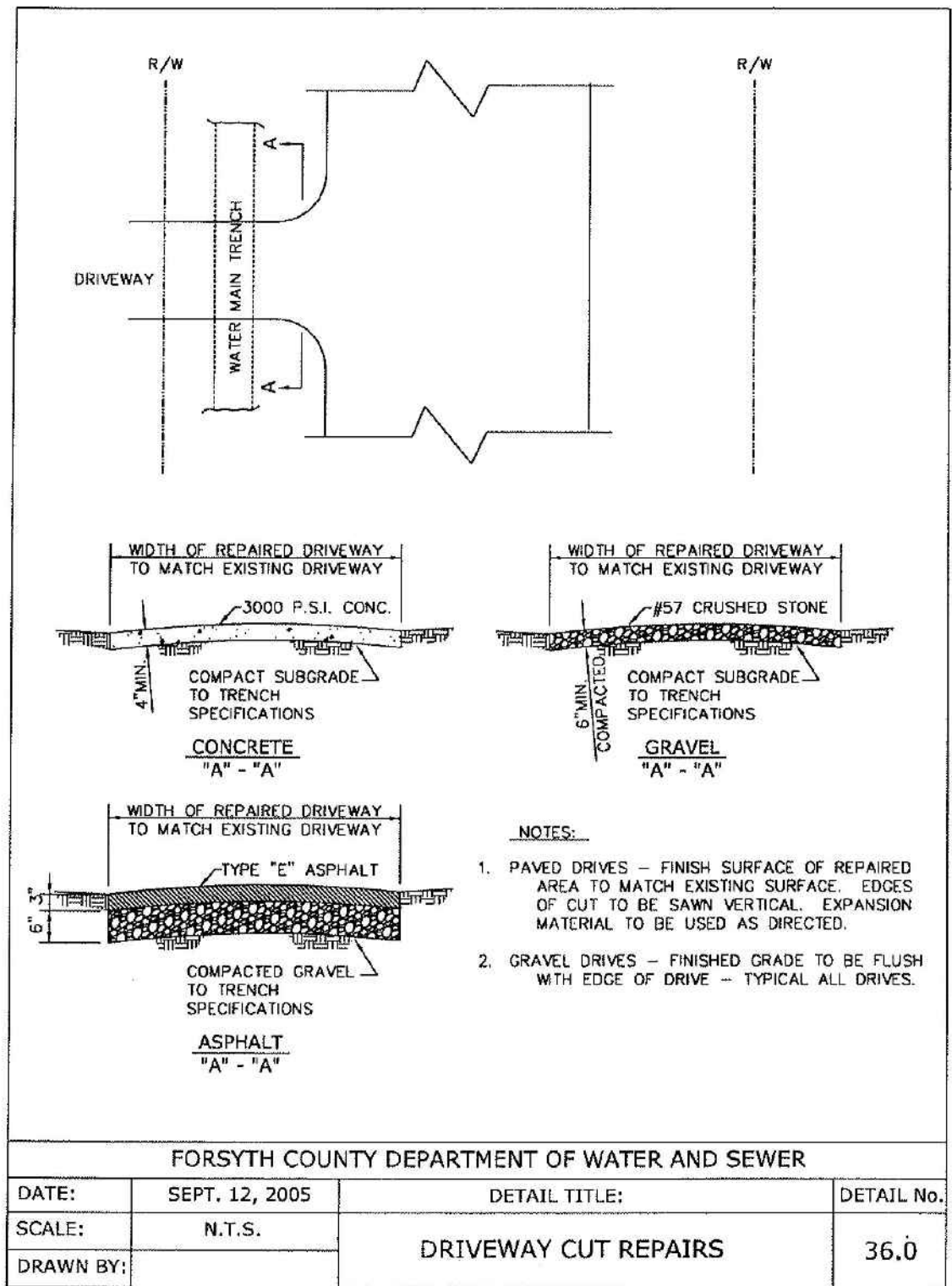
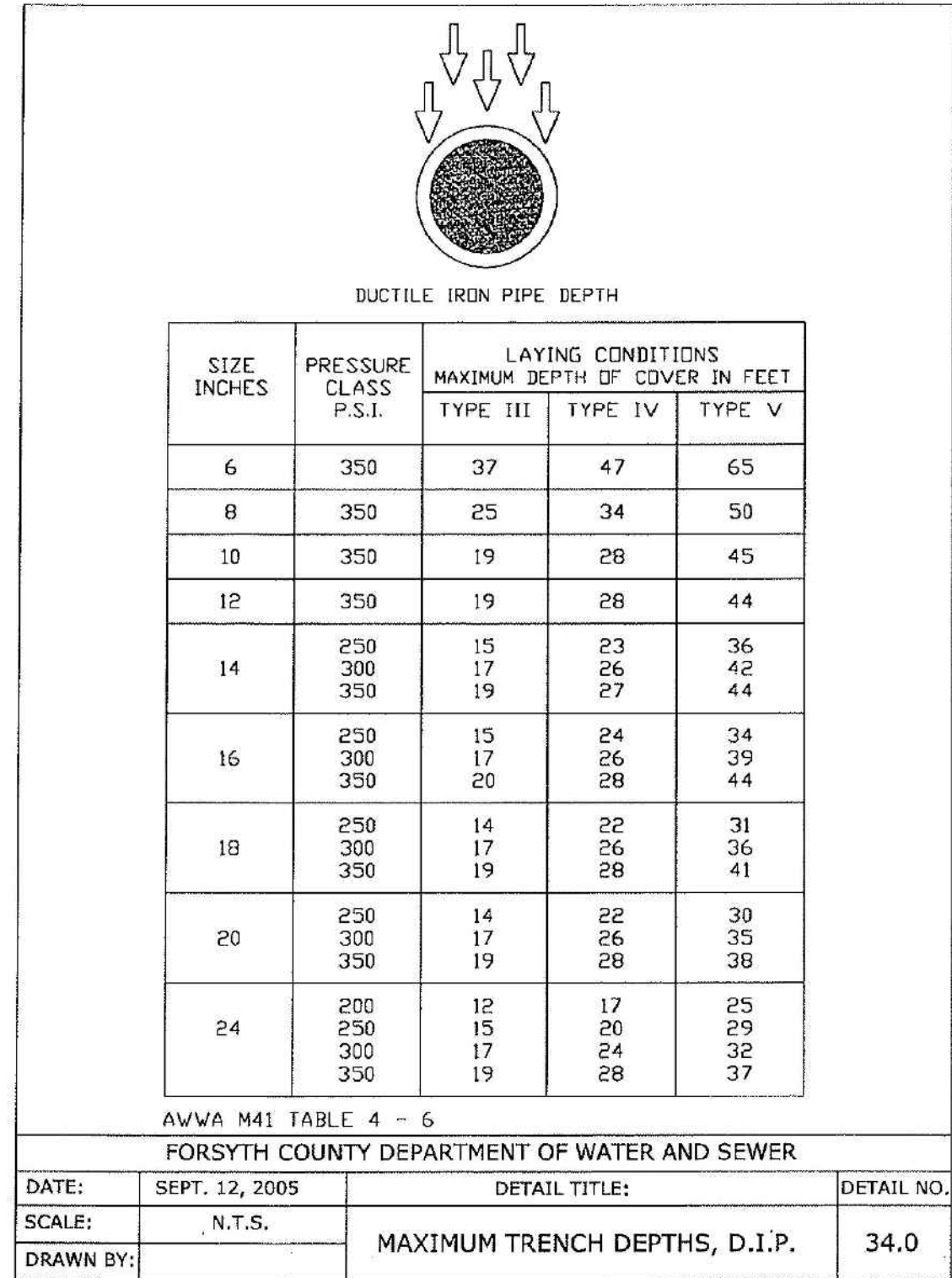
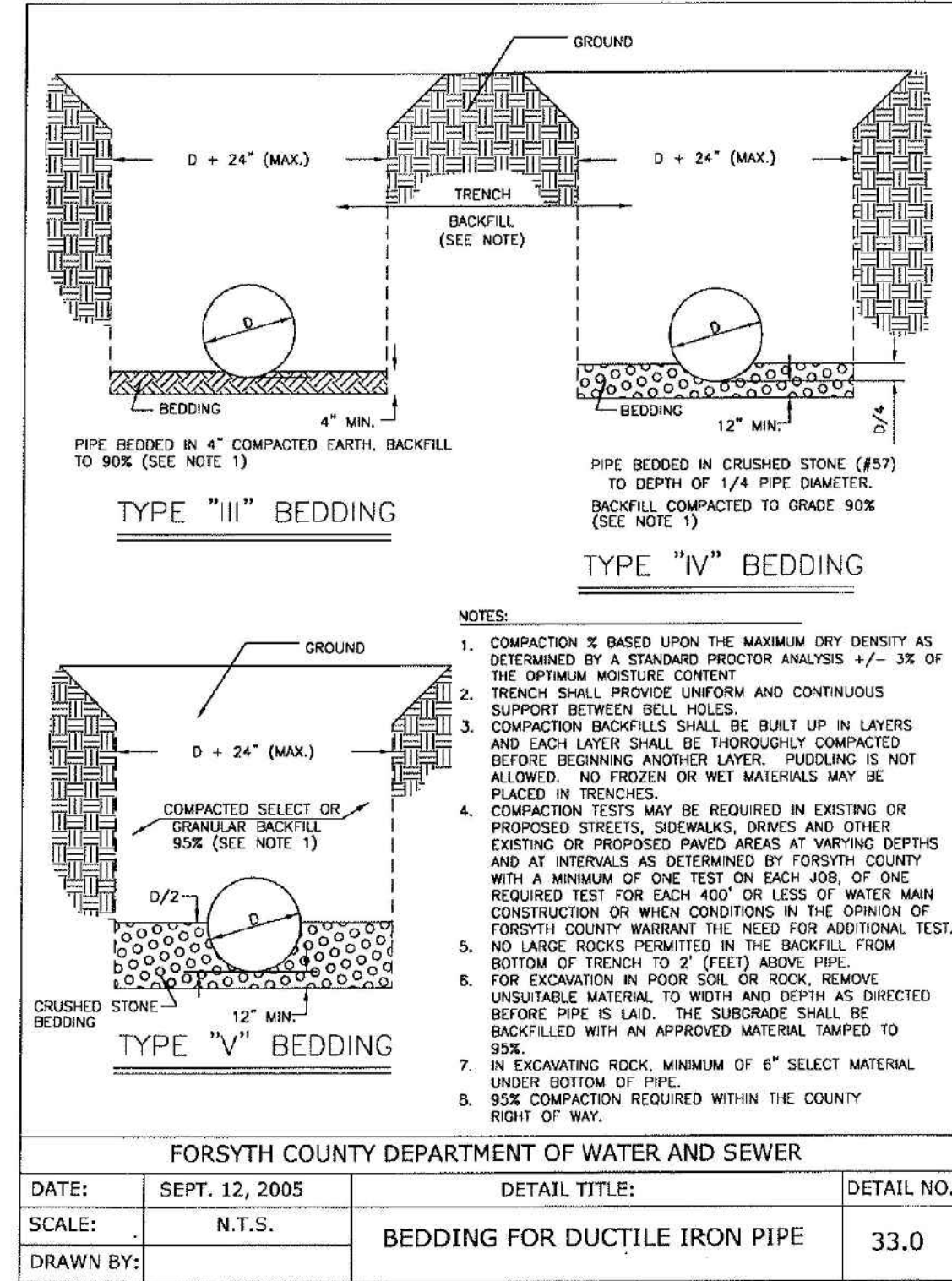
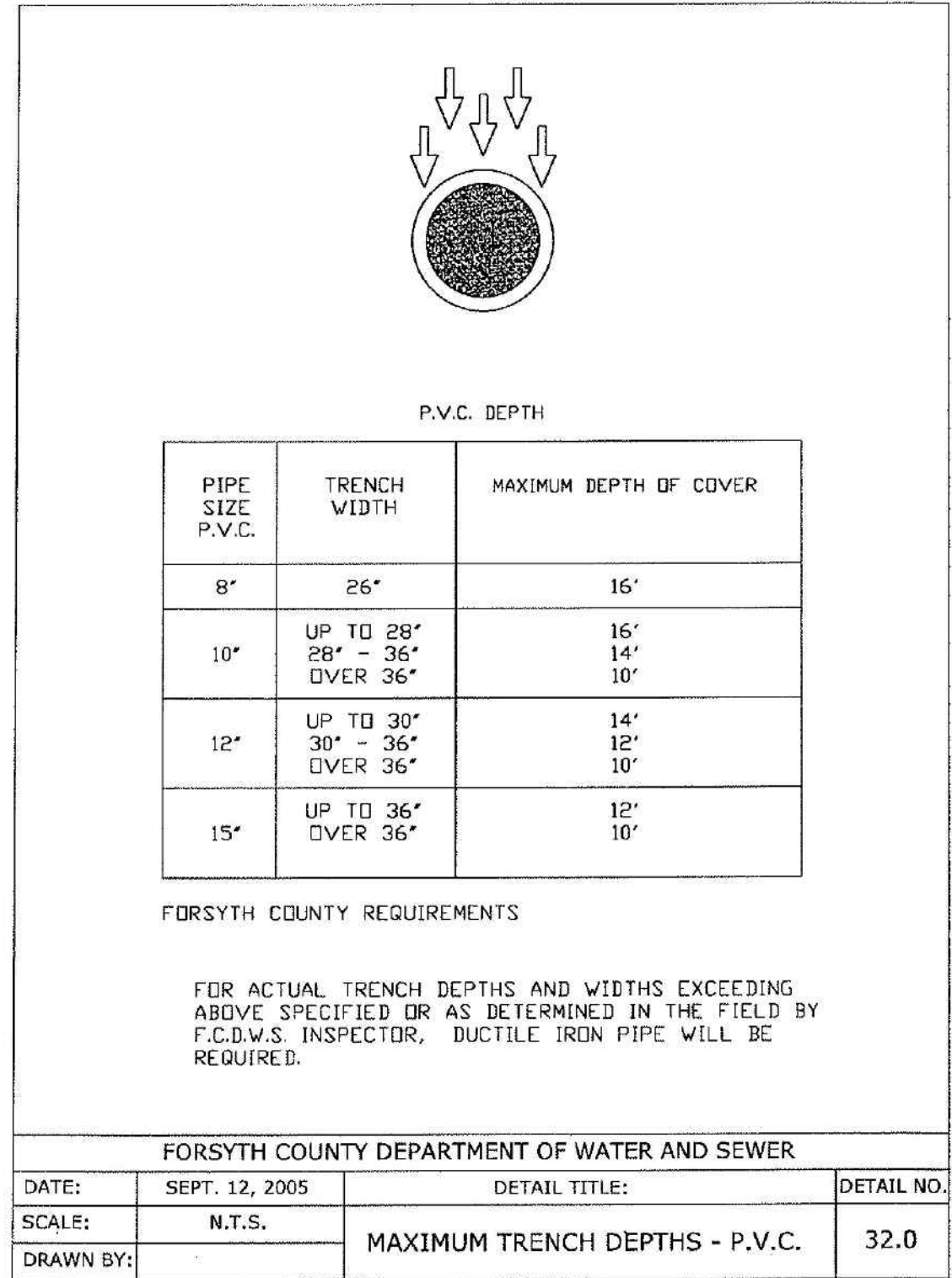
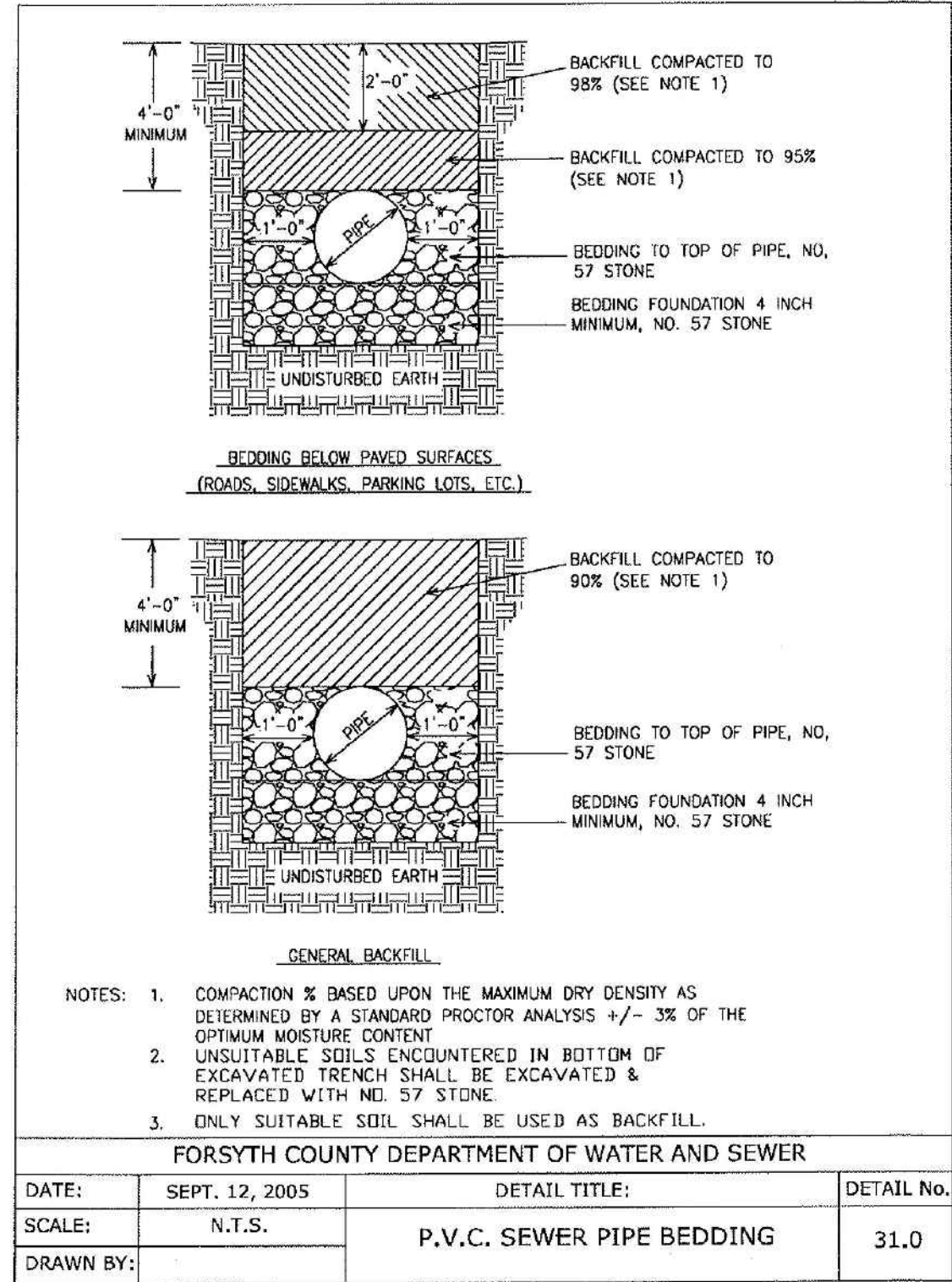
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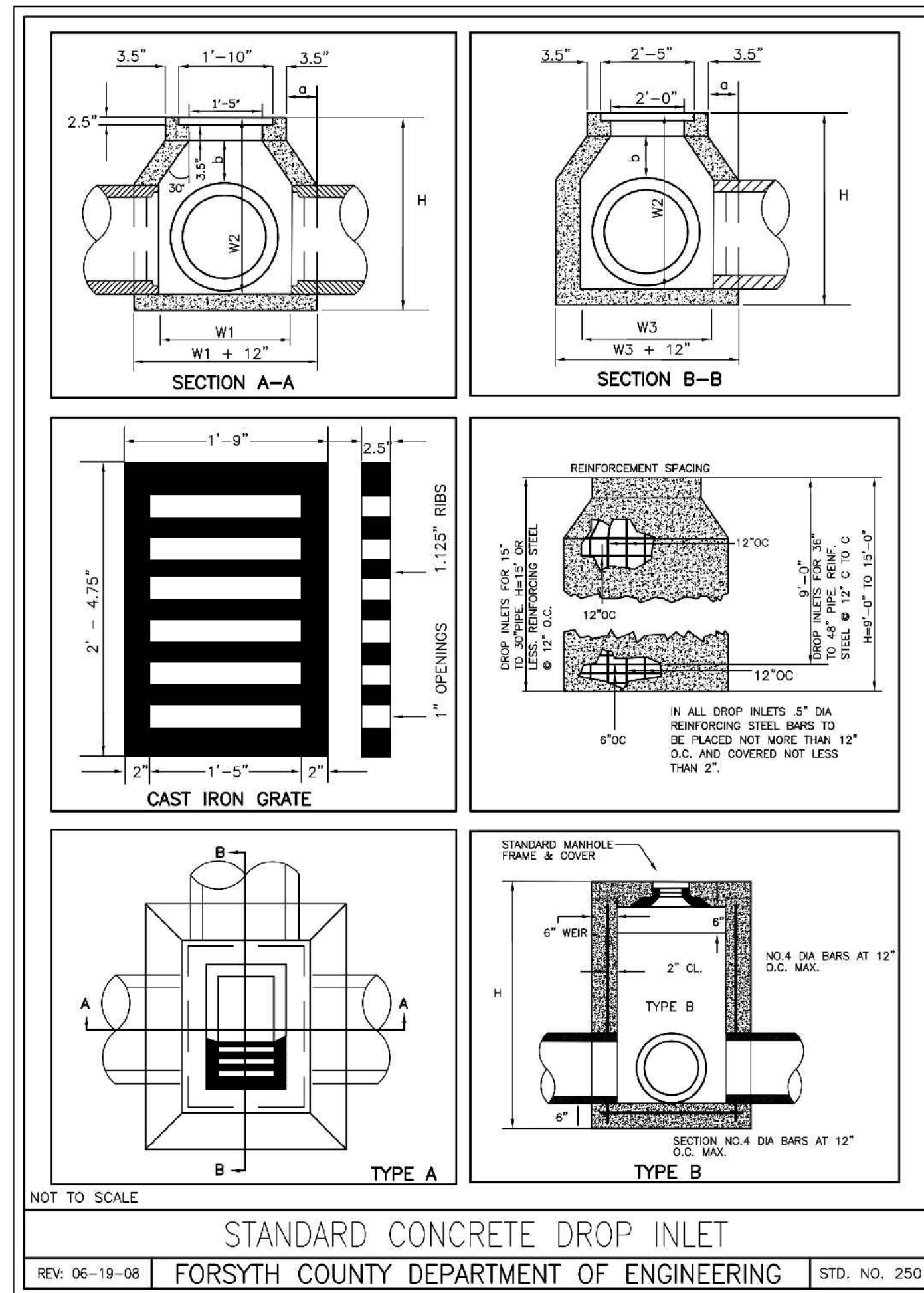
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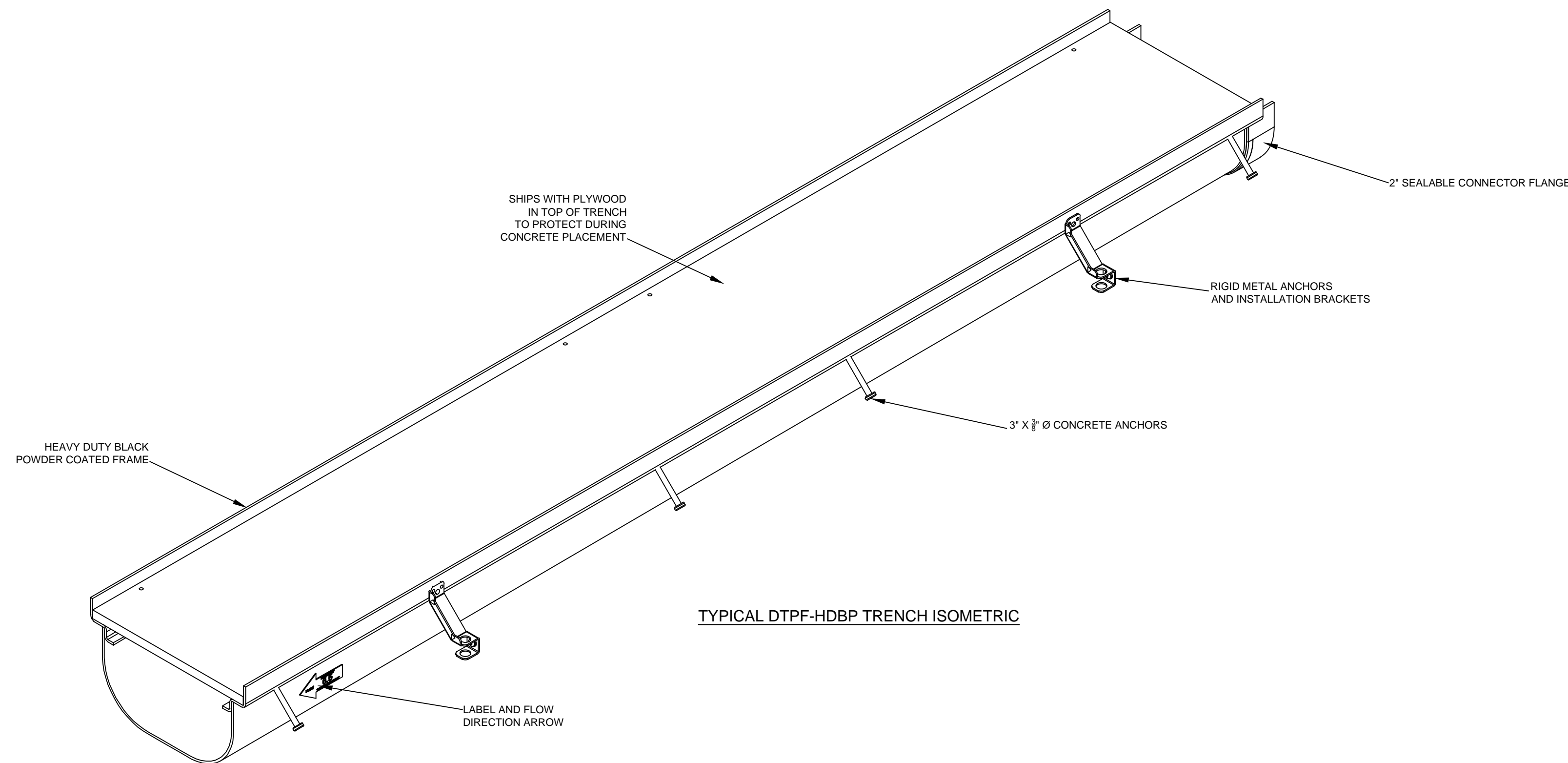
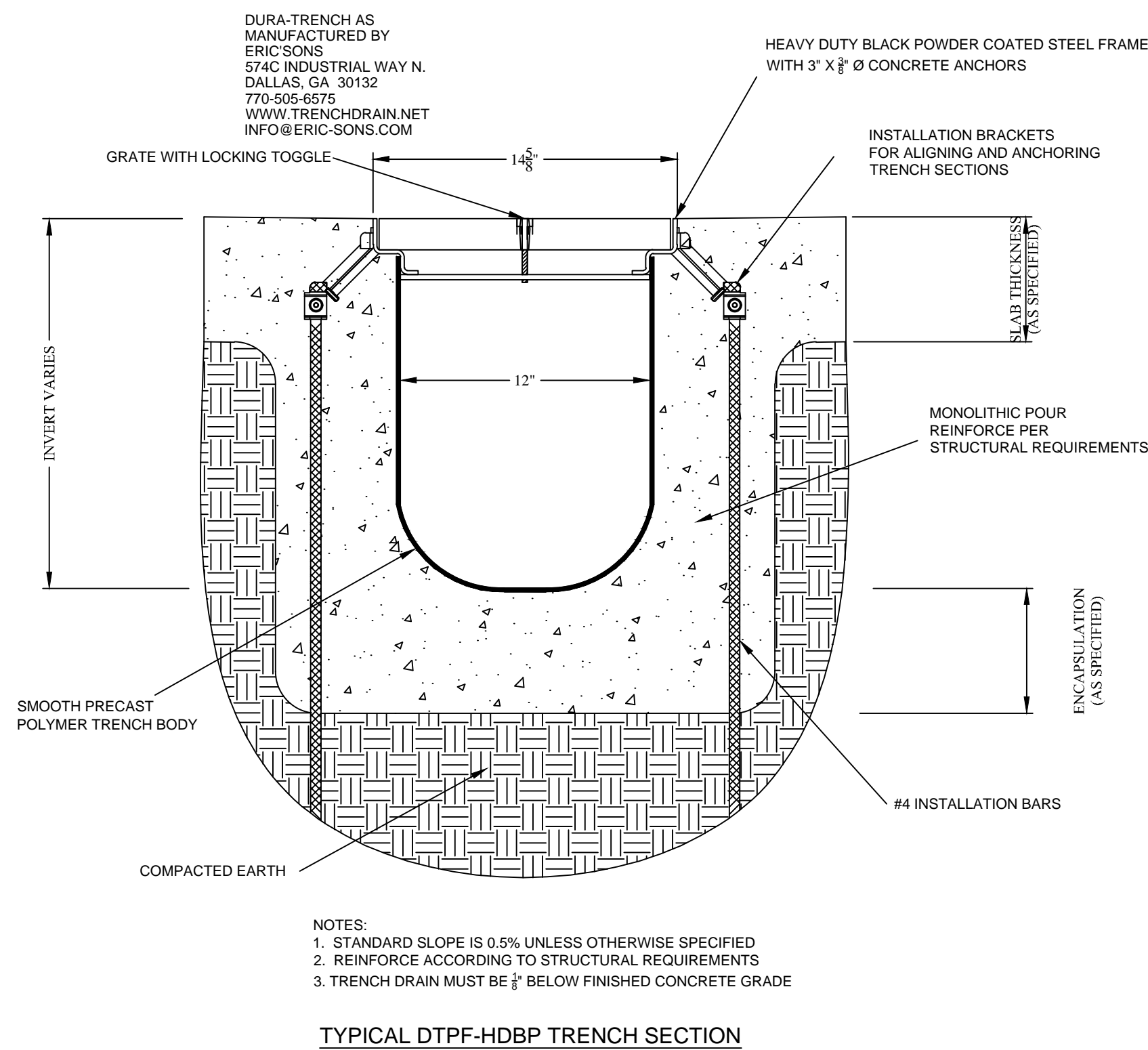
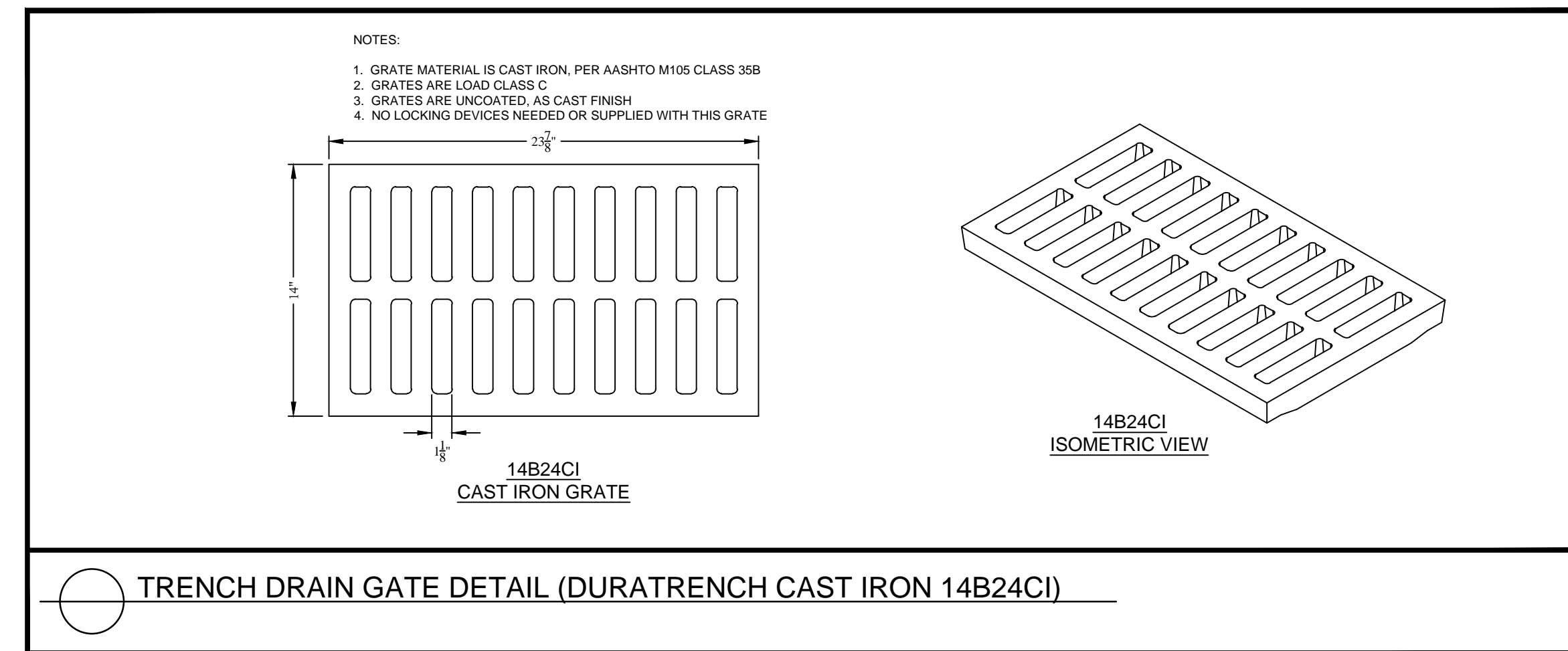




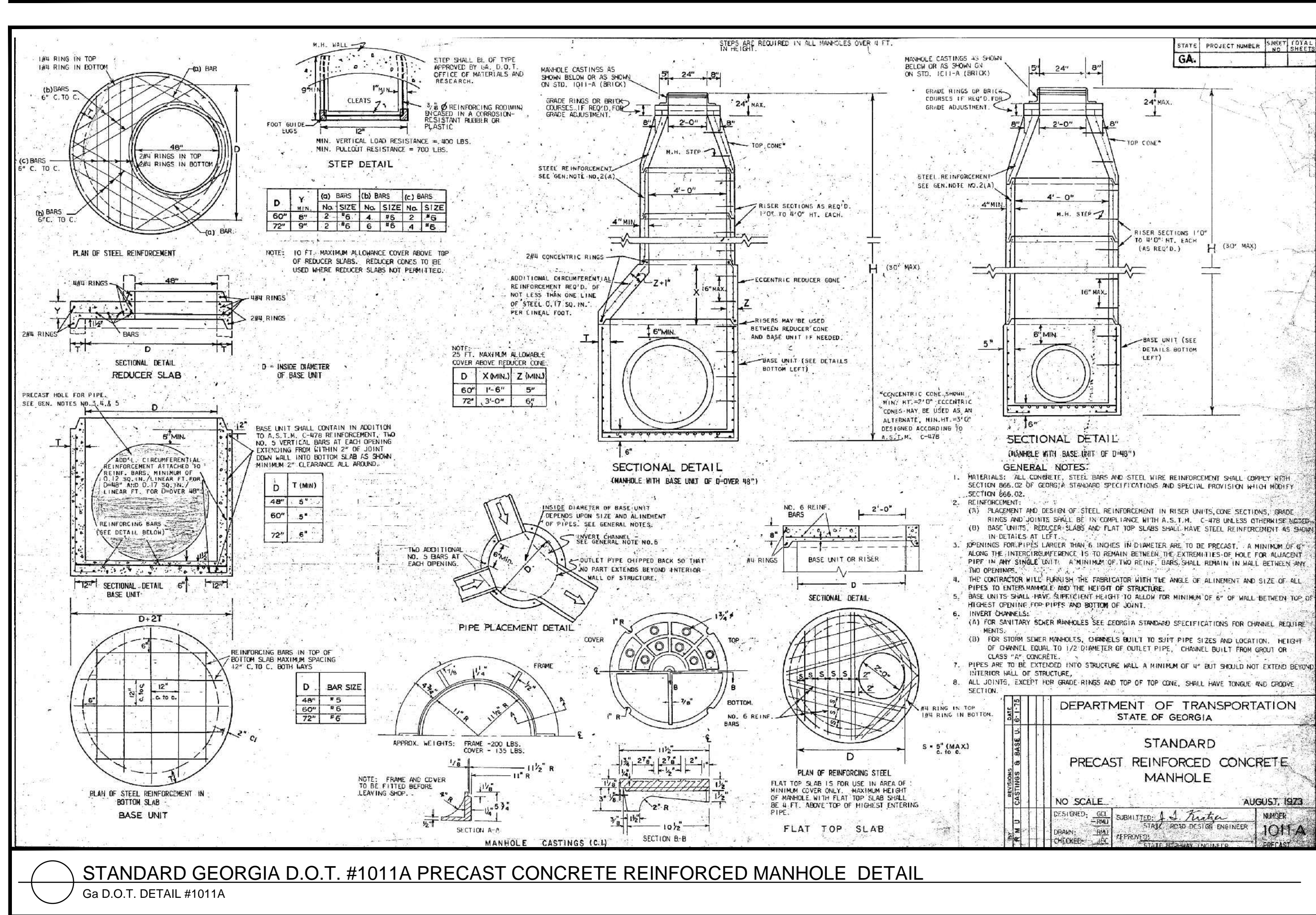
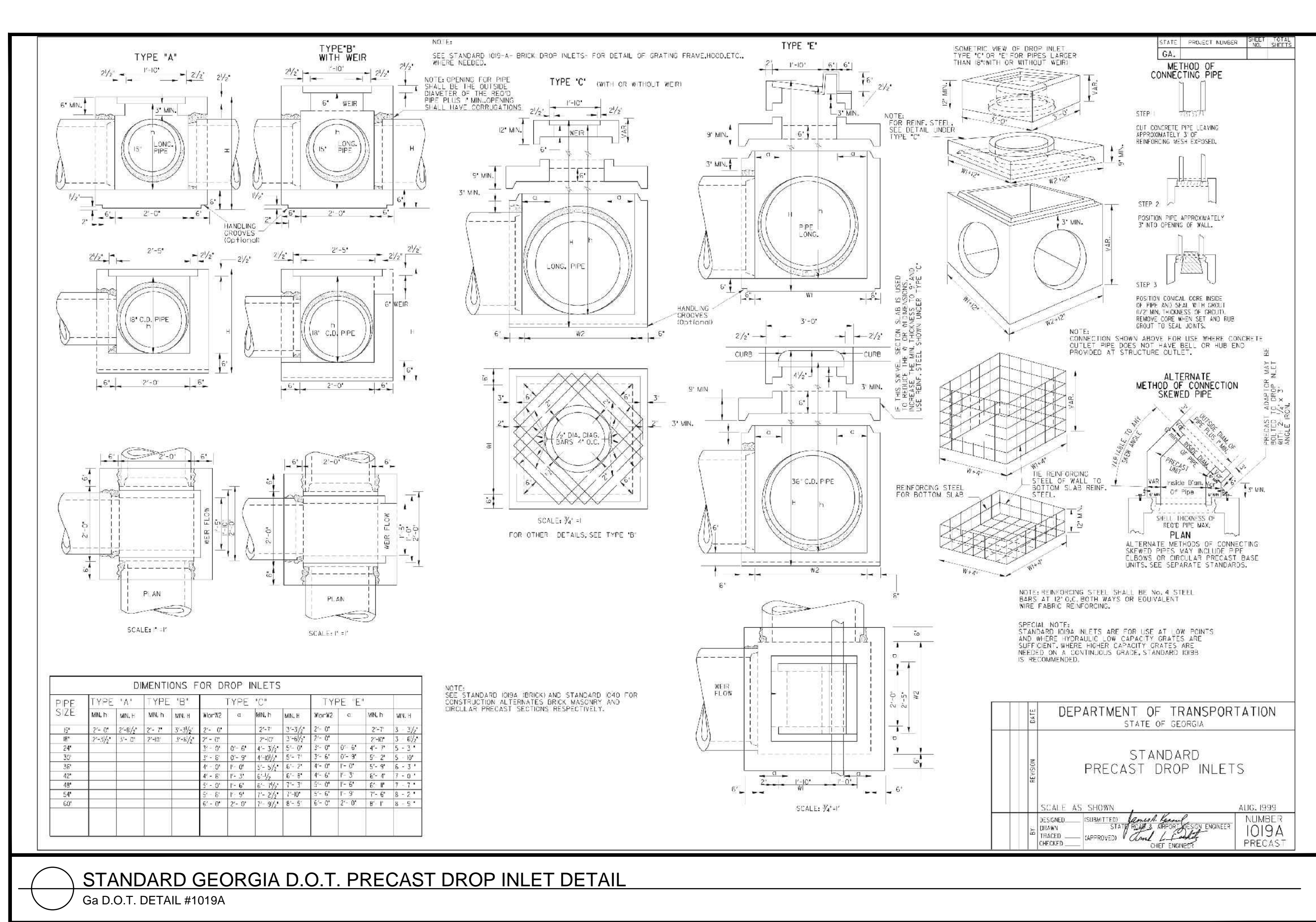
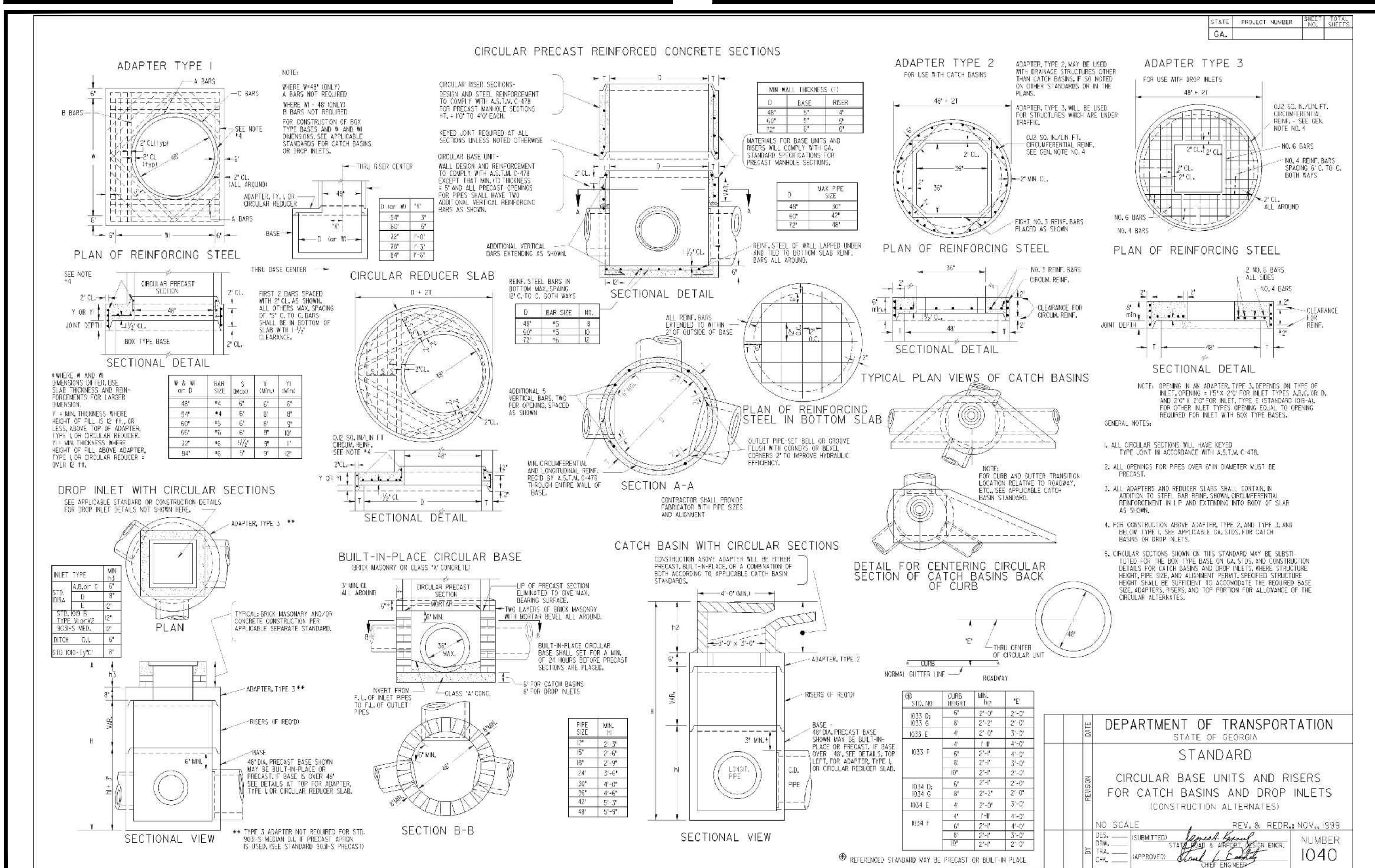
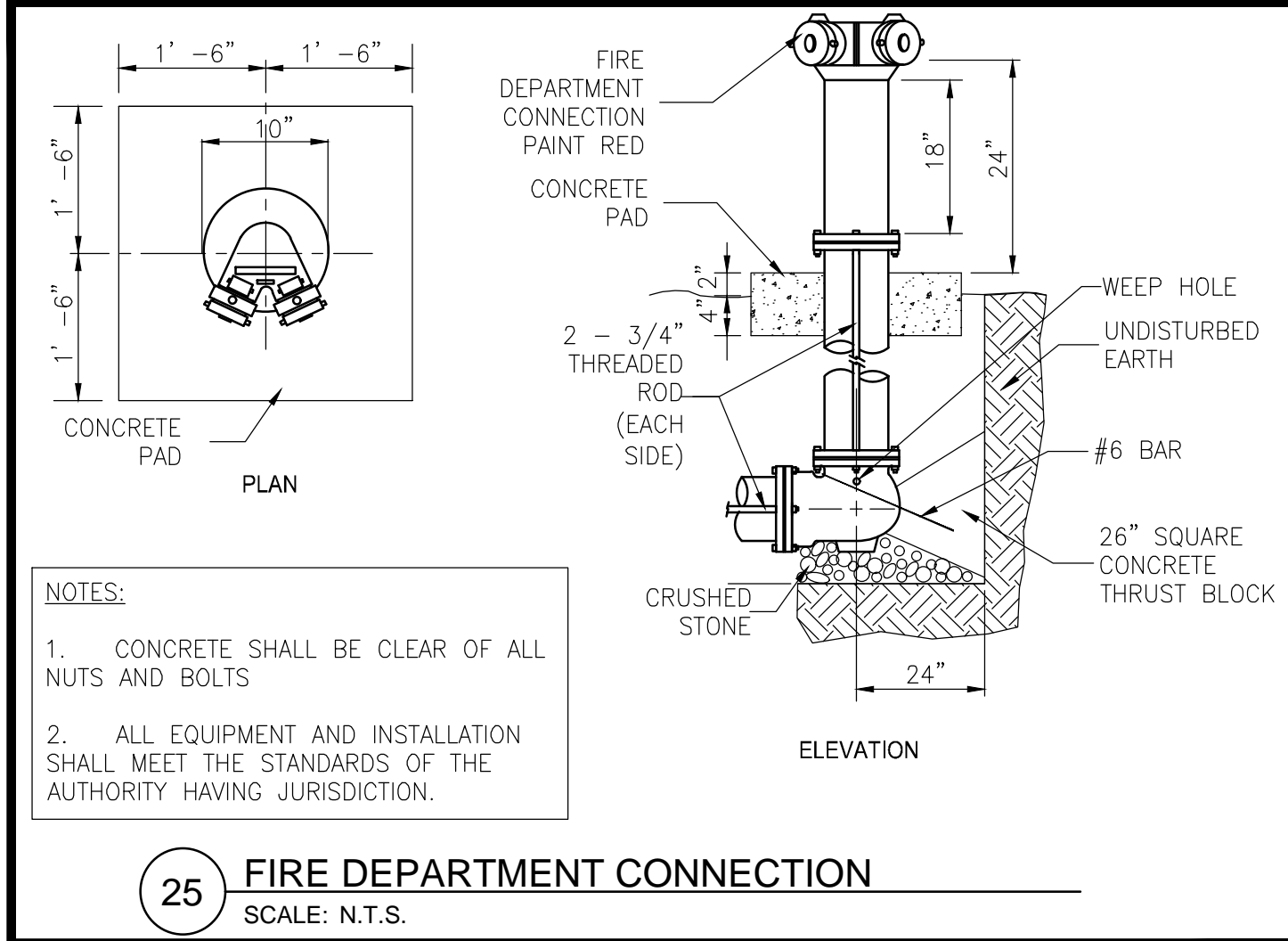
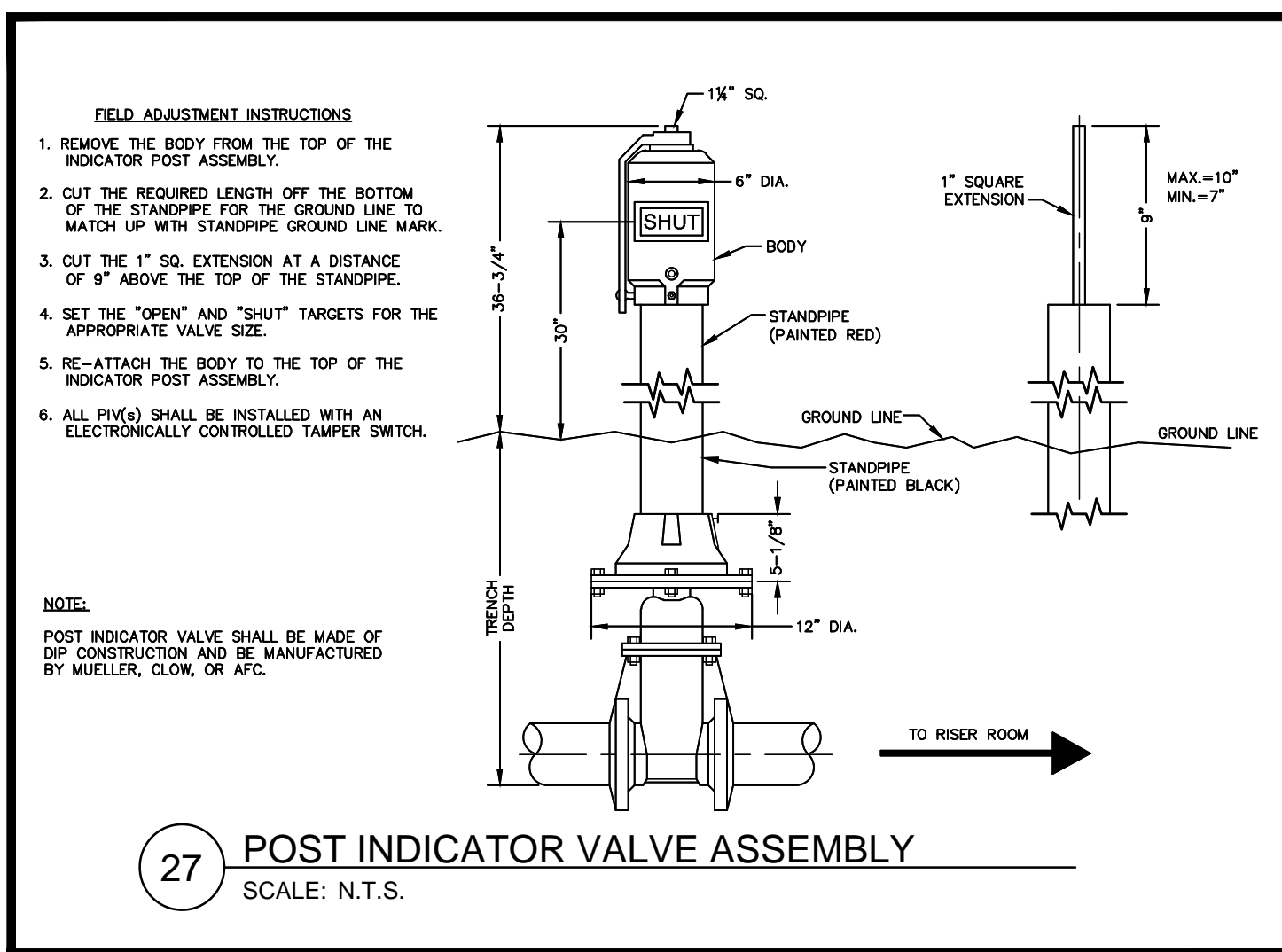




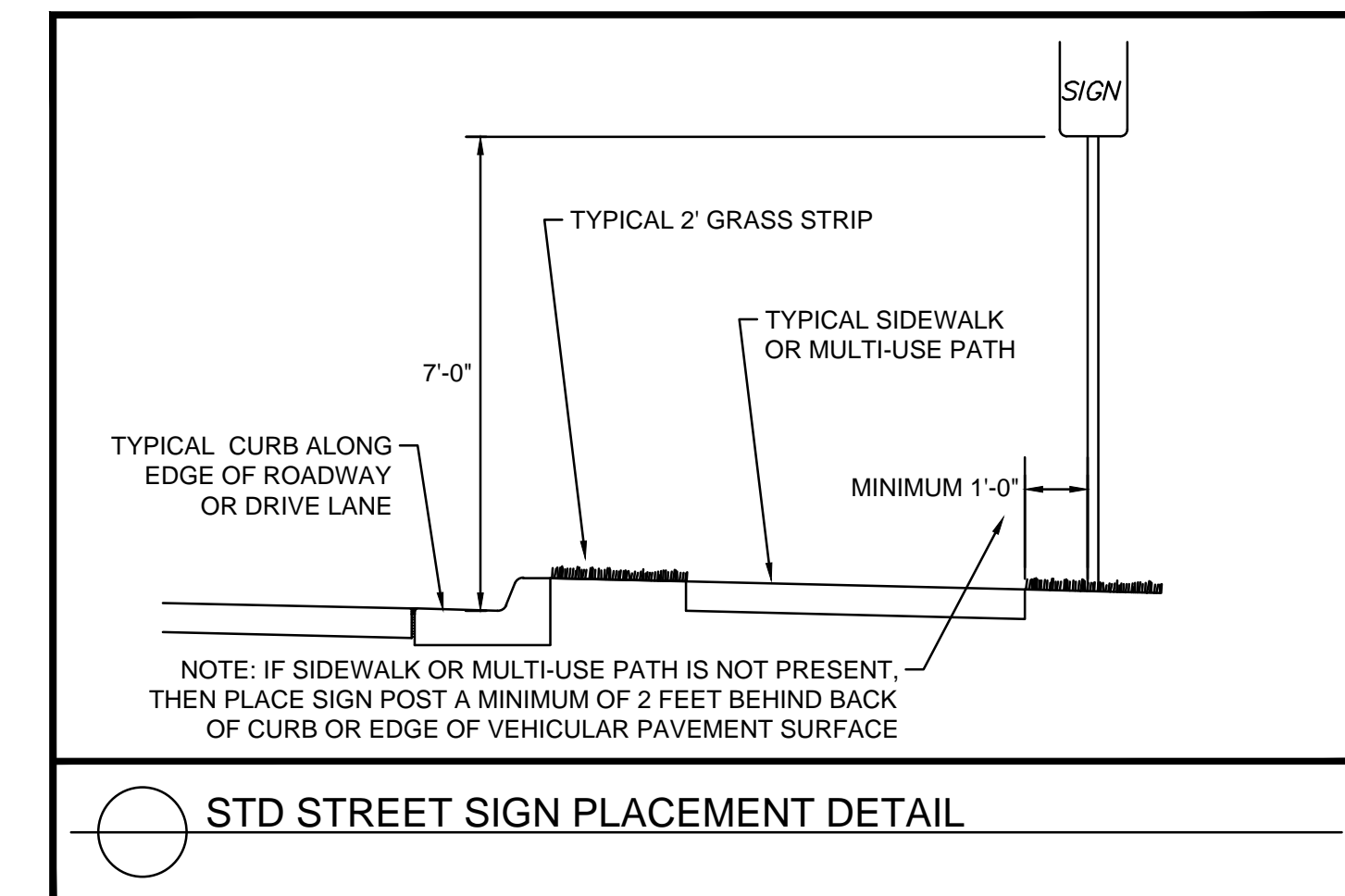
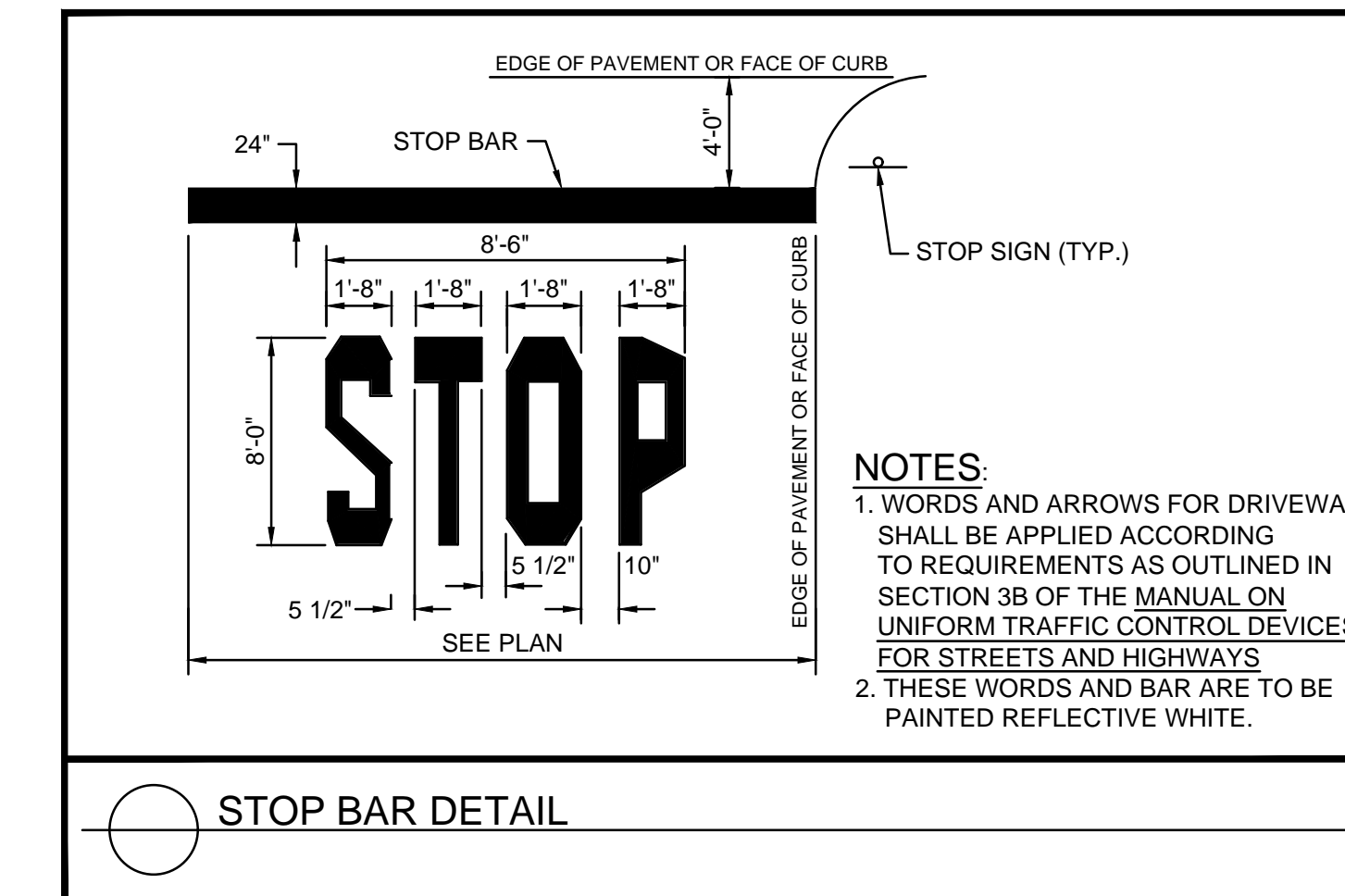
CONCRETE DROP INLET							TYPE B		
TYPE A							NORMAL W OR W1	MIN h	MIN H
D	W1	MIN. W2	W3	a	b	MIN. H			
15"	2'-0"	2'-6 1/2"	2'-7"	0'-3 1/2"	0'-6"	3'-3"	2'-0"	2'-7 1/2"	3'-9 1/2"
18"	2'-0"	2'-9 1/2"	2'-7"	0'-3 1/2"	0'-6"	3'-6"	2'-3"	2'-10"	4'-0"
24"	2'-8"	3'-0 1/2"	3'-3"	0'-7 1/2"	1'-1"	4'-9"	3'-0"	3'-8"	4'-10"
30"	3'-4"	5'-1 1/2"	3'-11"	0'-11 1/2"	1'-8"	5'-10"	3'-6 1/2"	4'-2 1/2"	5'-4 1/2"
36"	3'-10"	6'-1 1/2"	4'-5"	1'-2 1/2"	2'-1 1/4"	6'-10"	4'-2"	4'-10"	6'-0"
42"	4'-5"	7'-2 1/2"	5'-0"	1'-6"	2'-7 1/4"	7'-11"	4'-8 1/2"	5'-4 1/2"	6'-6 1/2"
48"	5'-0"	8'-3 1/2"	5'-7"	1'-9 1/2"	3'-1 1/4"	9'-0"	5'-3 1/2"	5'-11 1/2"	7'-1 1/2"
54"	5'-7"	9'-4 1/2"	6'-2"	2'-1"	3'-7 1/4"	10'-1"	5'-10"	6'-6"	7'-8"
60"	6'-2"	10'-5 1/2"	6'-9"	2'-4 1/2"	4'-1 1/2"	11'-2"	6'-4 1/2"	7'-0 1/2"	8'-2 1/2"
66"	6'-9"	11'-6 1/2"	7'-4"	2'-8"	4'-7 1/2"	12'-3"	6'-11"	7'-7"	8'-9"
72"	7'-4"	12'-7 1/2"	7'-11"	2'-11 1/2"	5'-1 1/2"	13'-4"	7'-5 1/2"	8'-1 1/2"	9'-3 1/2"
BRICK DROP INLET							TYPE B		
TYPE A							NORMAL W OR W1	MIN h	MIN H
D	W1	MIN. W2	W3	a	b	MIN. H			
15"	2'-2"	2'-11"	2'-9"	0'-4 1/2"	0'-8"	3'-9 1/2"	2'-0"	2'-7 1/2"	3'-7 1/2"
18"	2'-2"	3'-2 1/2"	2'-9"	0'-4 1/2"	0'-8"	4'-1"	2'-3"	2'-10"	3'-10"
24"	2'-8"	3'-3"	3'-3"	0'-7 1/2"	1'-1 1/4"	4'-9"	3'-0"	3'-8"	4'-8"
30"	3'-7 1/4"	4'-0"	3'-10"	1'-0"	1'-9"	5'-10"	3'-6 1/2"	4'-2 1/2"	5'-2 1/2"
36"	4'-2"	6'-0 1/2"	4'-9"	1'-4 1/2"	2'-2 1/4"	6'-11"	4'-2"	4'-10"	5'-10"
42"	4'-5"	7'-1 3/4"	5'-0"	1'-6"	2'-5 1/4"	8'-1 1/4"	4'-8 1/2"	5'-4 1/2"	6'-4 1/2"
48"	5'-0"	8'-2 3/4"	5'-7"	1'-9 1/2"	3'-1 1/4"	9'-1 1/4"	5'-3 1/2"	5'-11 1/2"	6'-11 1/2"
54"	5'-7"	9'-4"	6'-2"	2'-1"	3'-7 1/4"	10'-2 1/2"	5'-10"	6'-6"	7'-6"
60"	6'-2"	10'-5"	6'-9"	2'-4 1/2"	4'-1 1/2"	11'-3 1/4"	6'-4 1/2"	7'-0 1/2"	8'-0 1/2"
66"	6'-9"	11'-6"	7'-4"	2'-8"	4'-7 1/2"	12'-4 1/2"	6'-11"	7'-7"	8'-7"
72"	7'-4"	12'-7"	7'-11"	2'-11 1/2"	5'-2"	13'-5 1/2"	7'-5 1/2"	8'-1 1/2"	9'-1 1/2"
DROP INLET DIMENSIONS									
REV: 06-19-08		FORSYTH COUNTY DEPARTMENT OF ENGINEERING					STD. NO. 252		







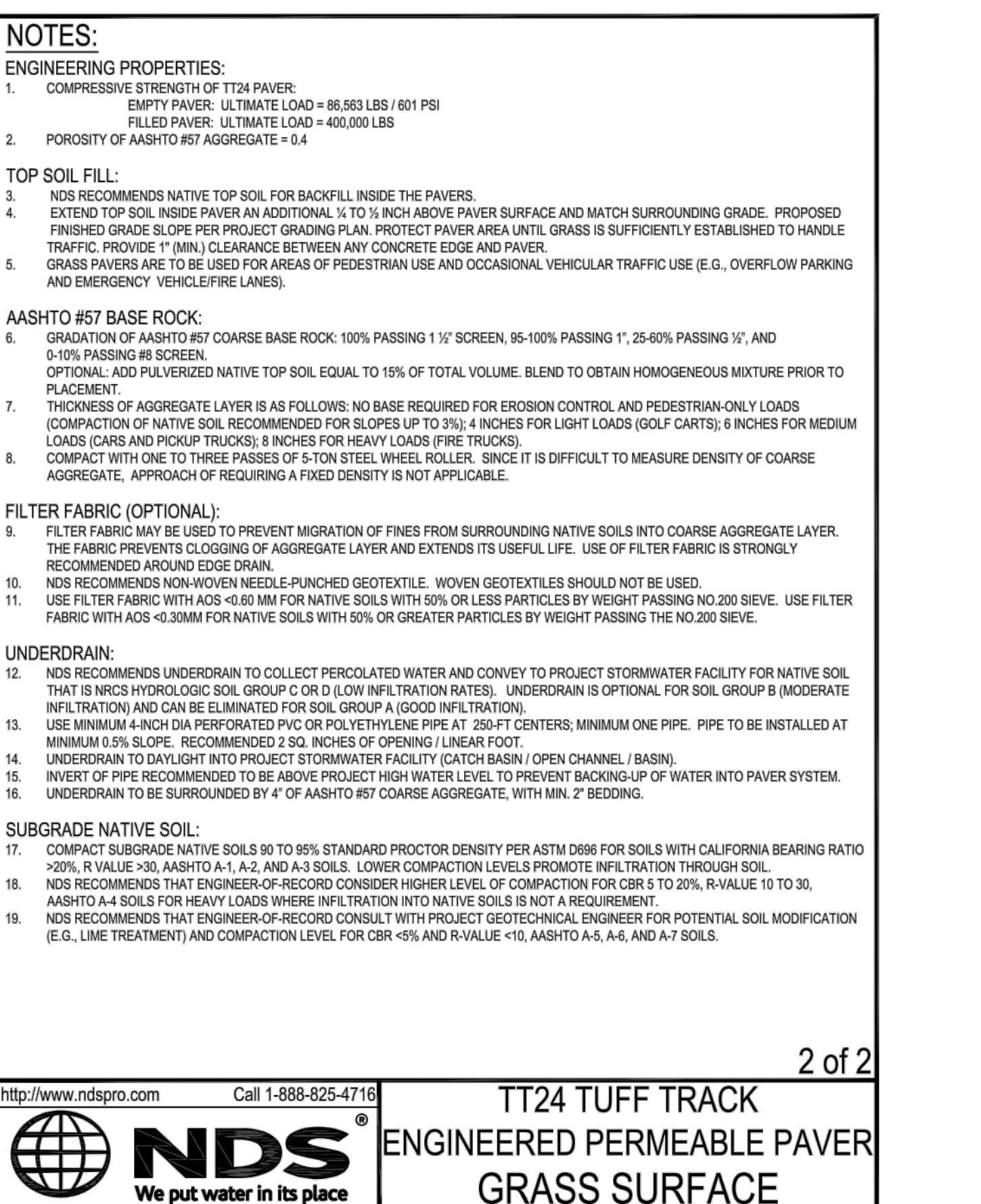
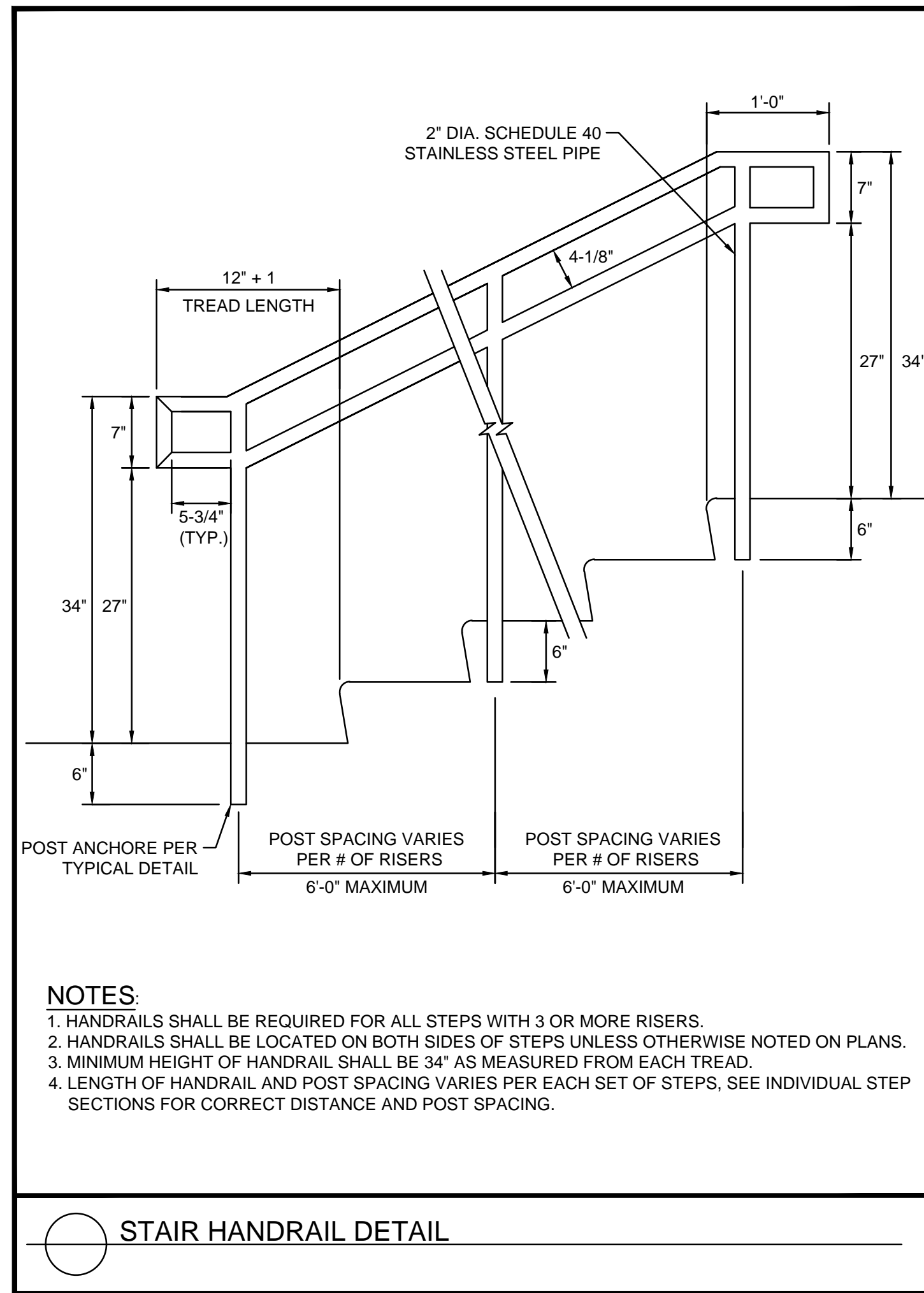
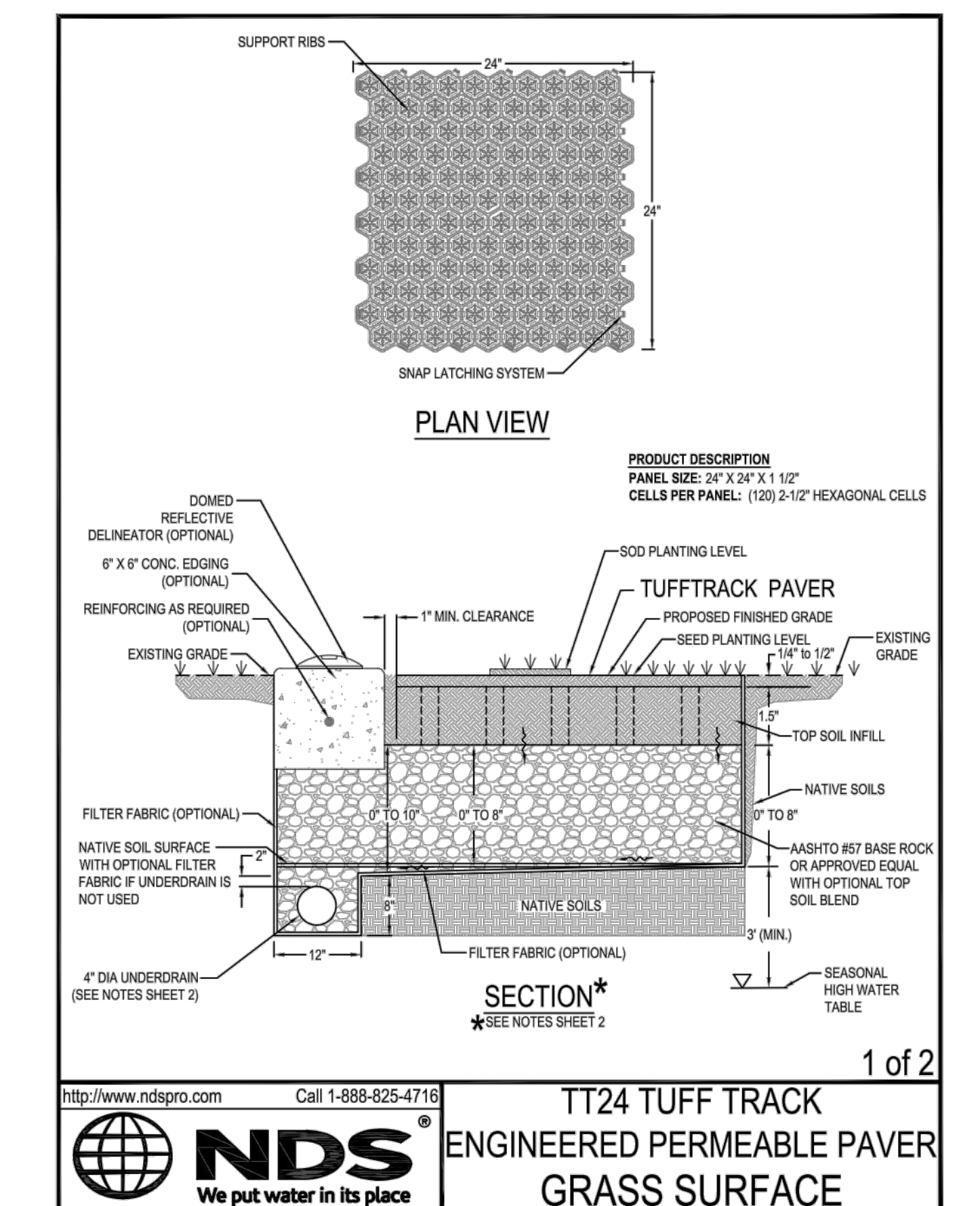
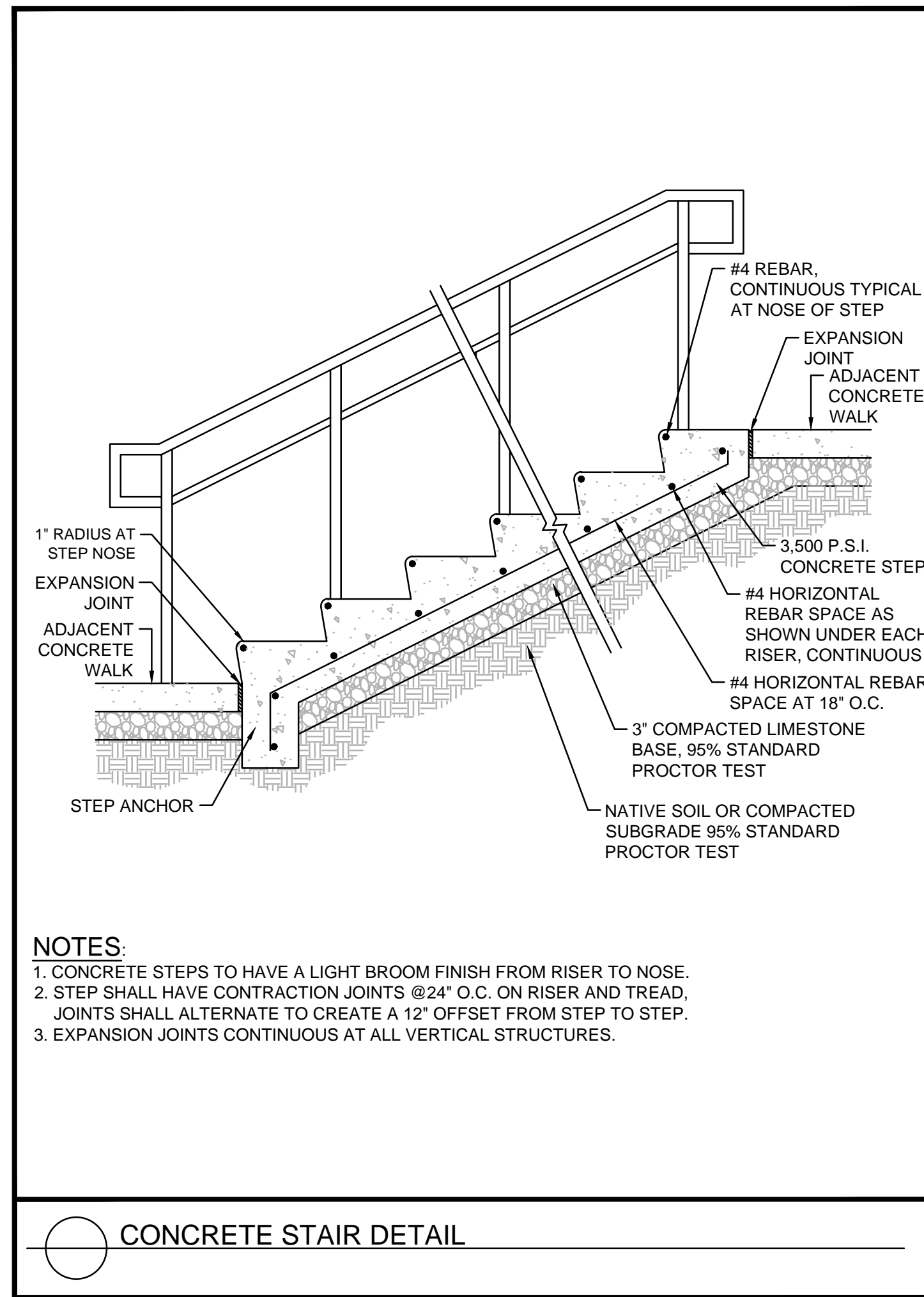
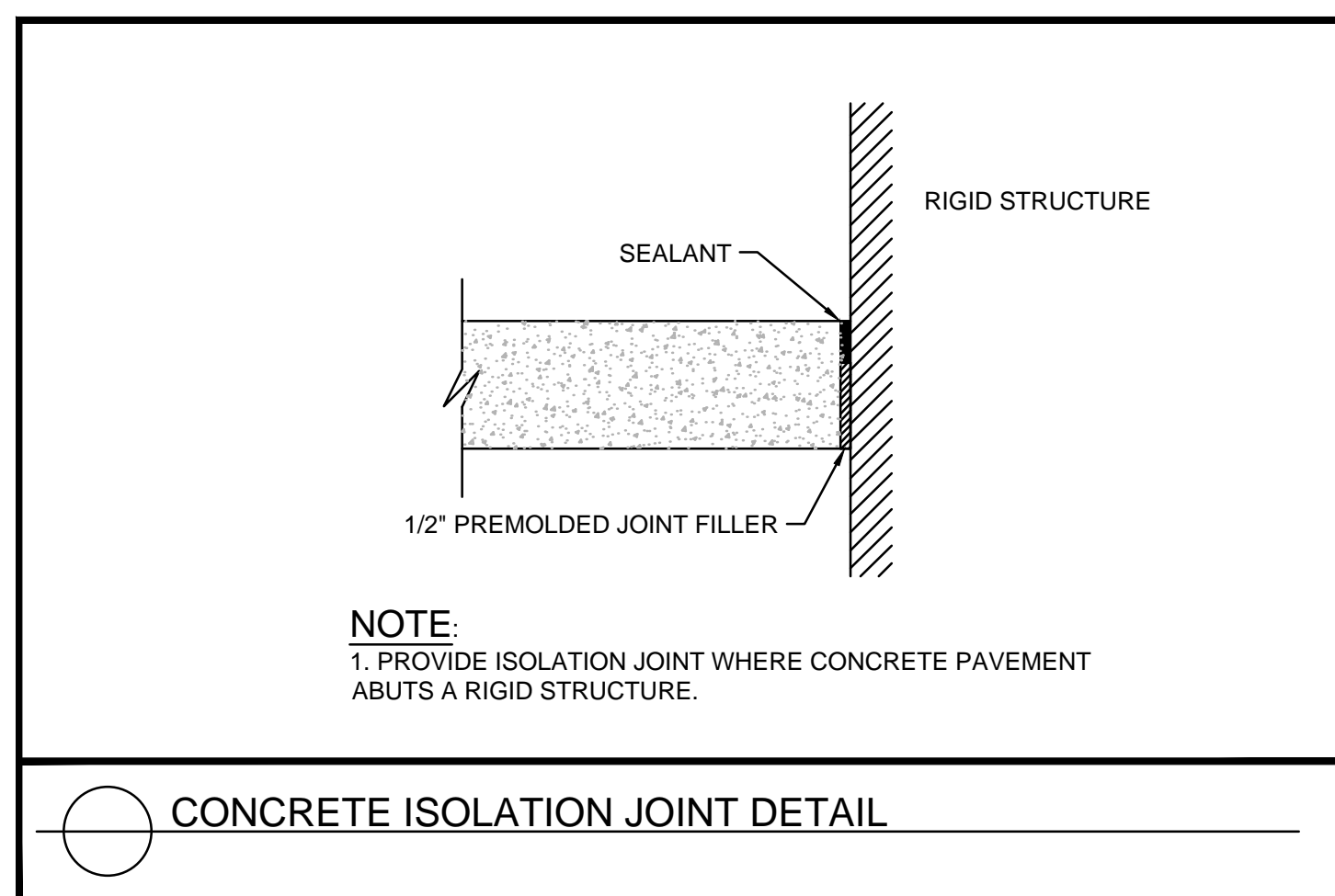
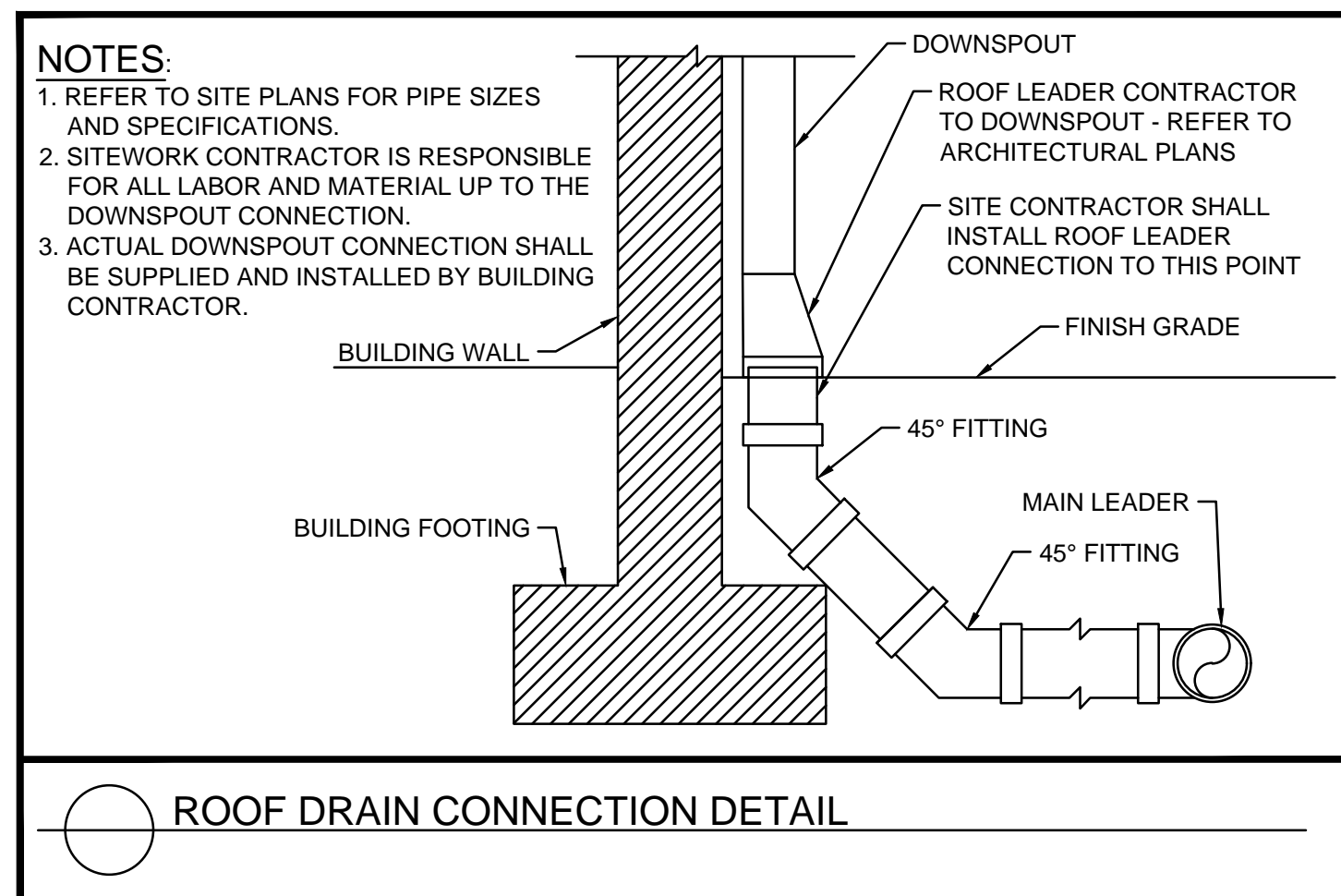
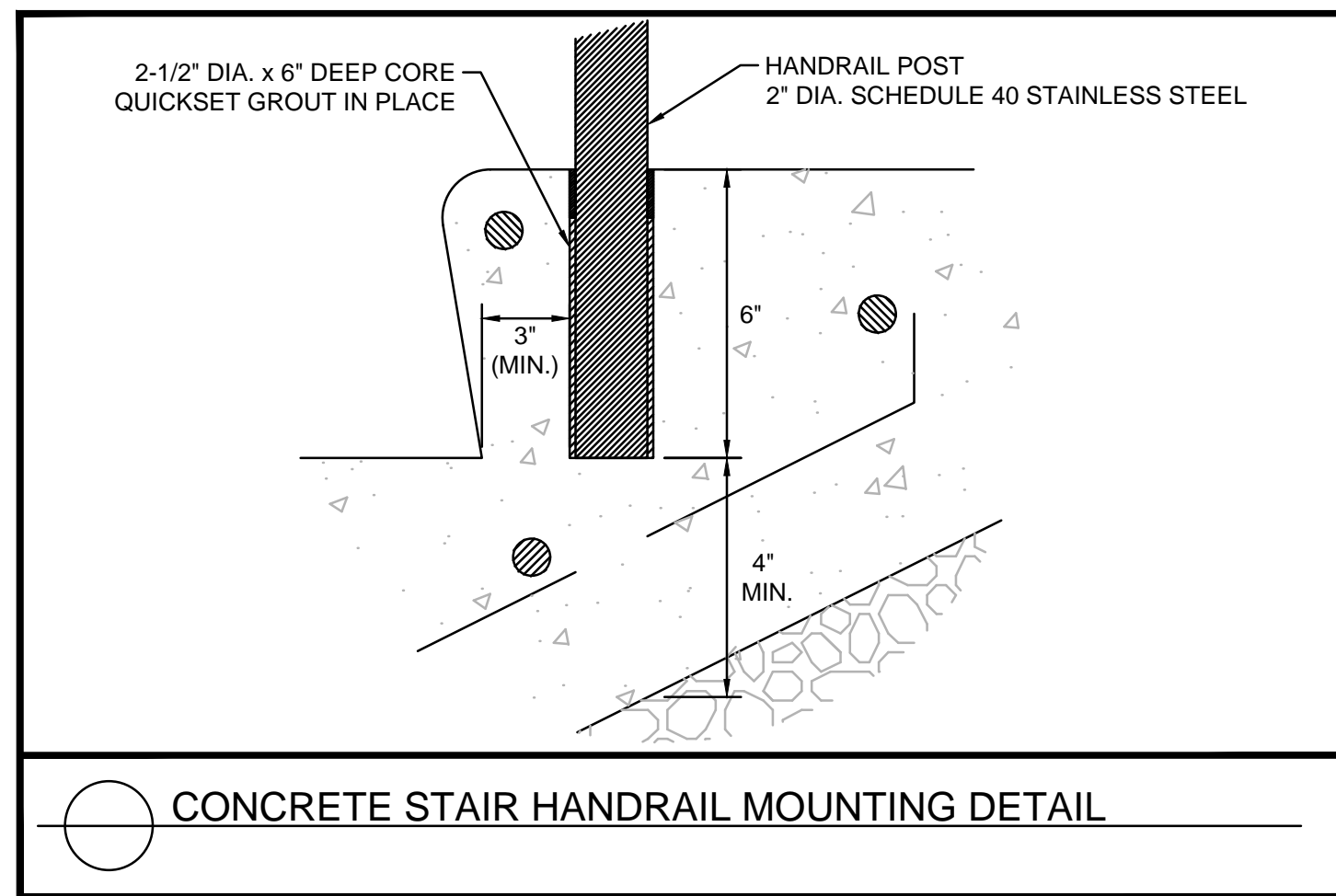
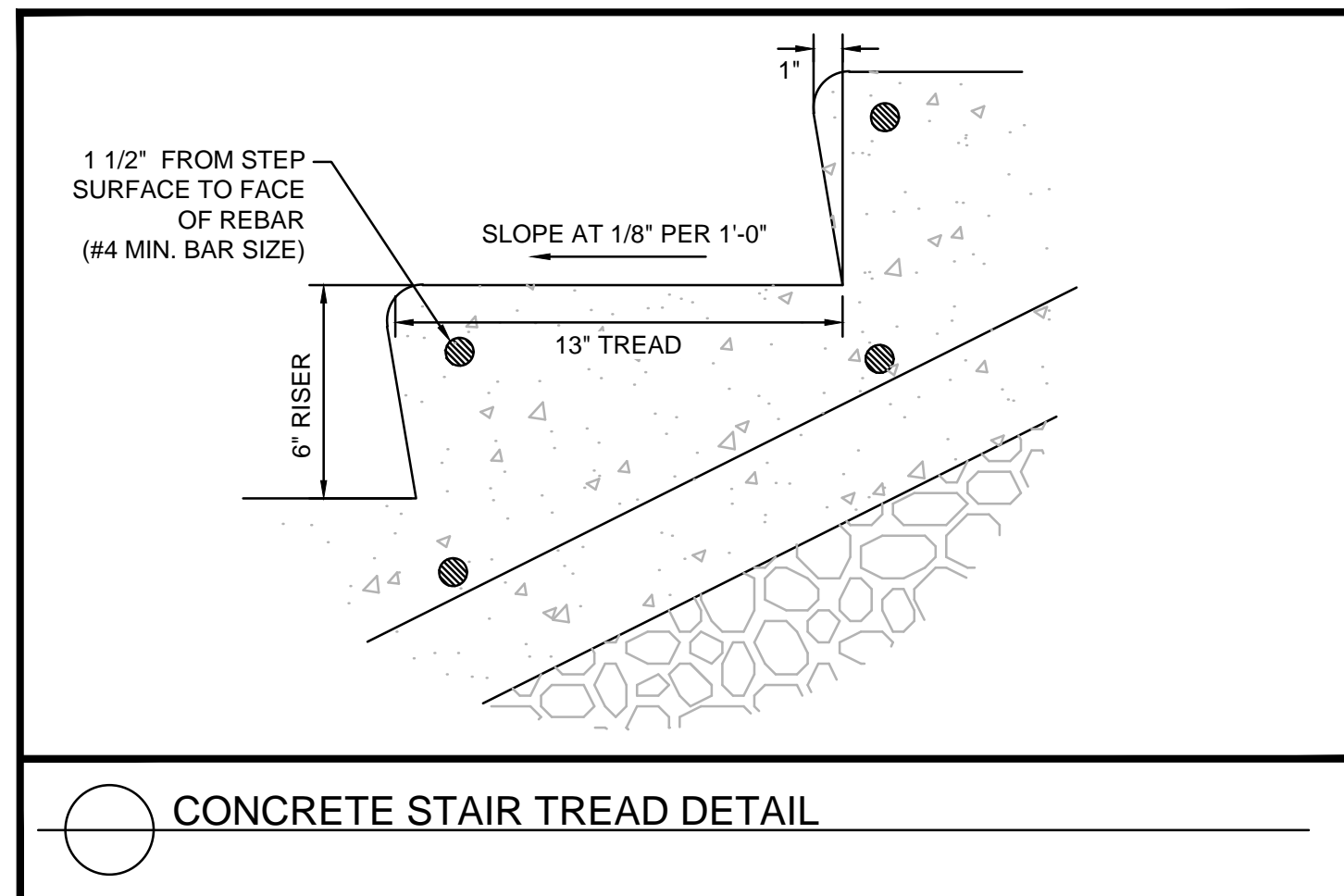
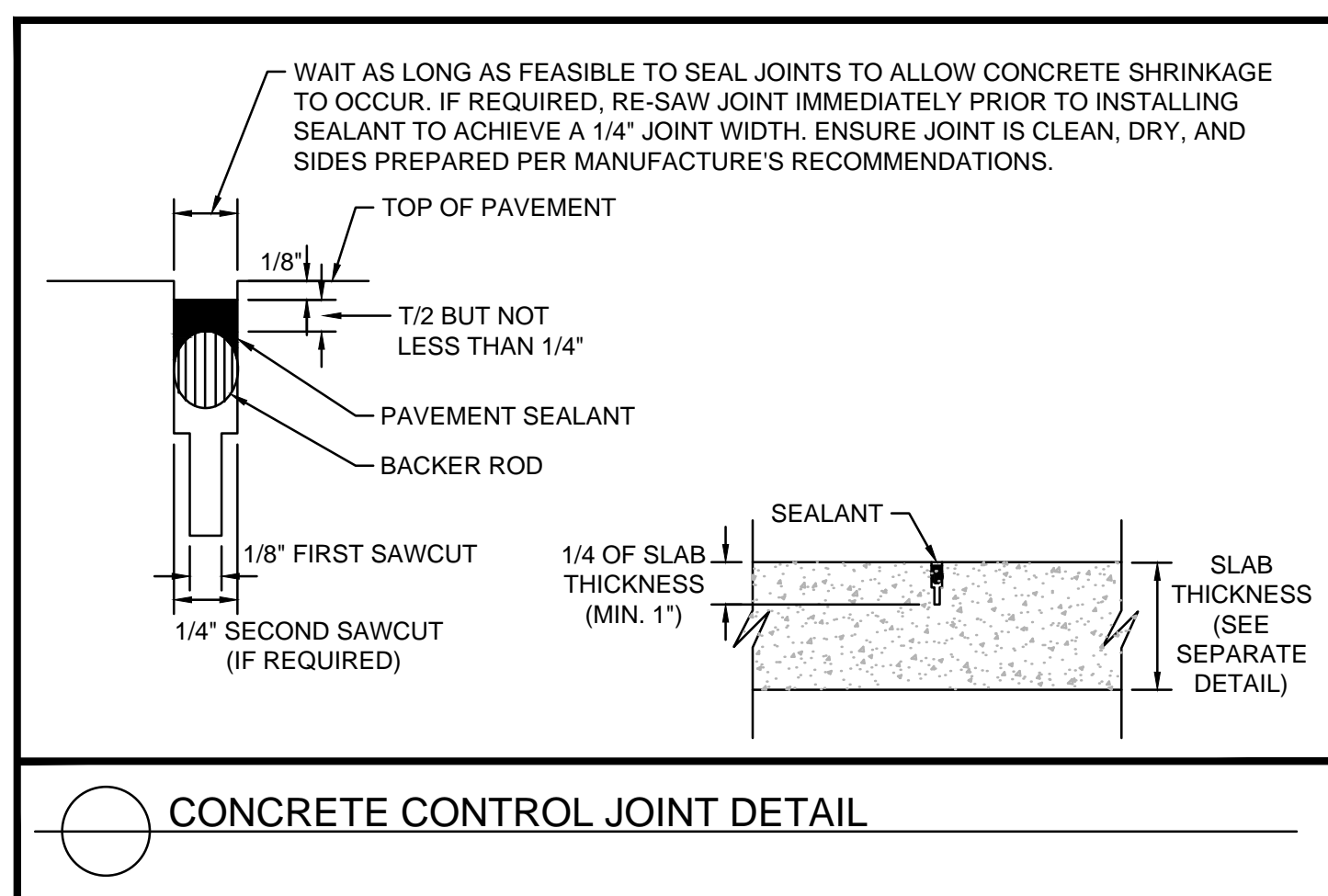
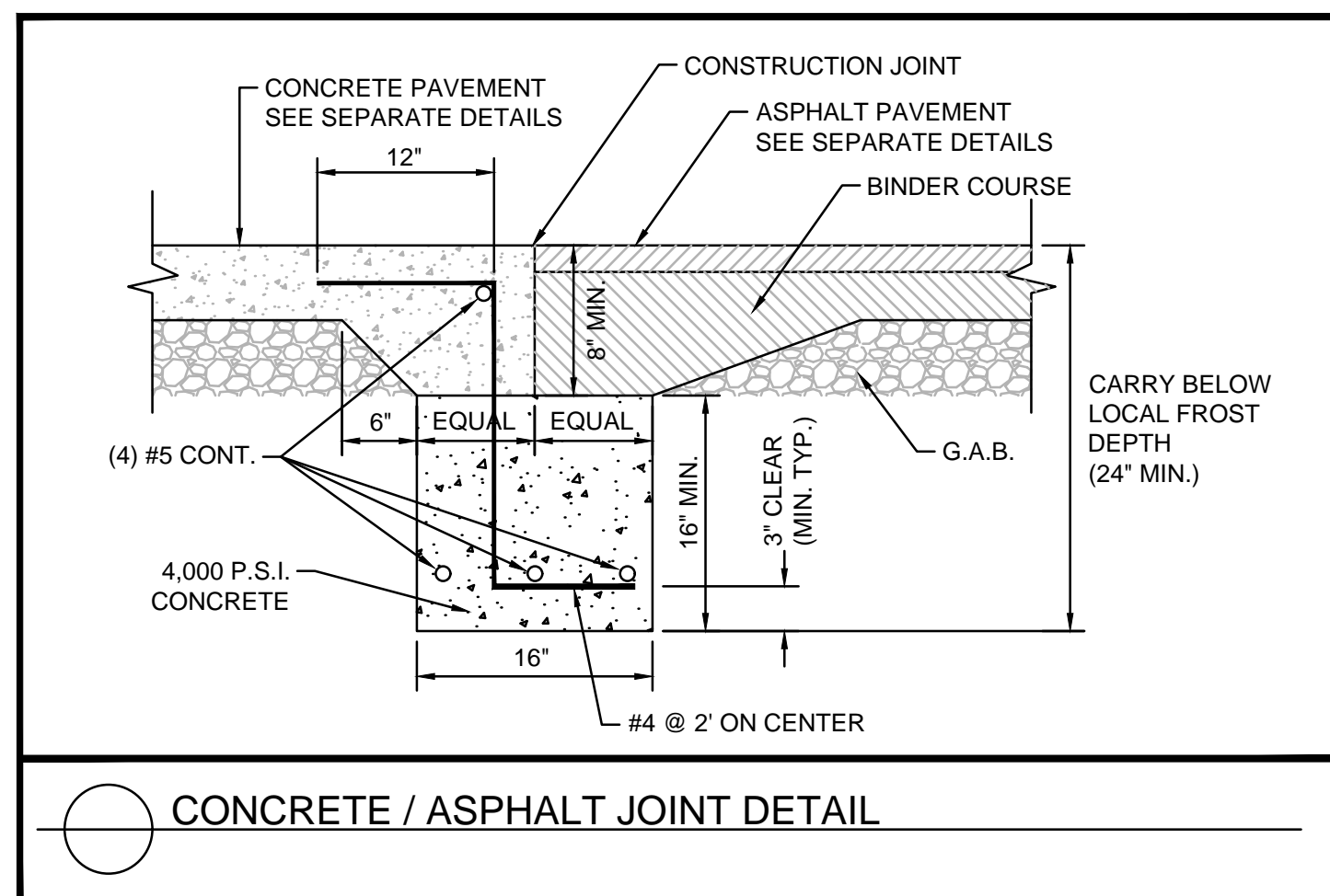
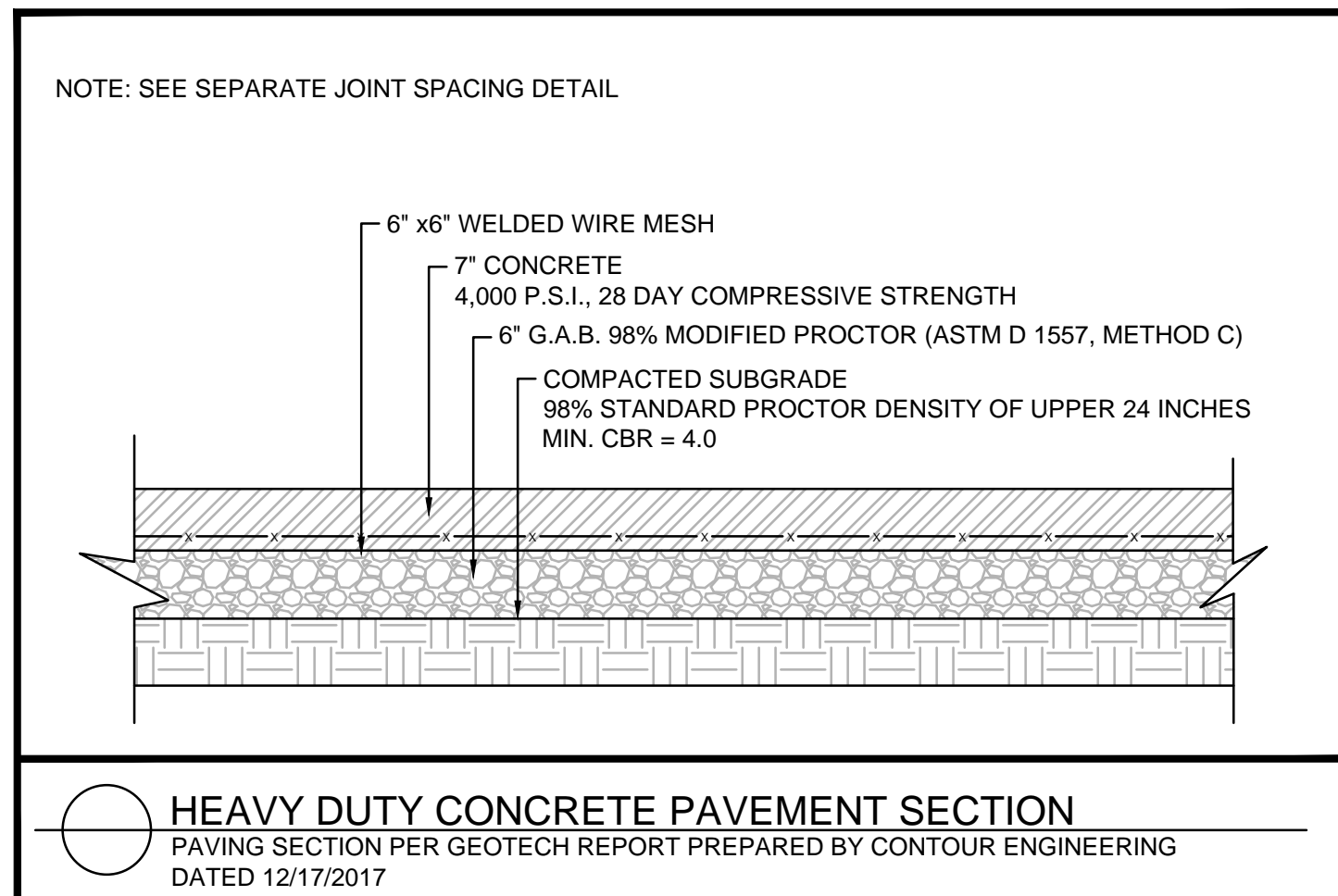






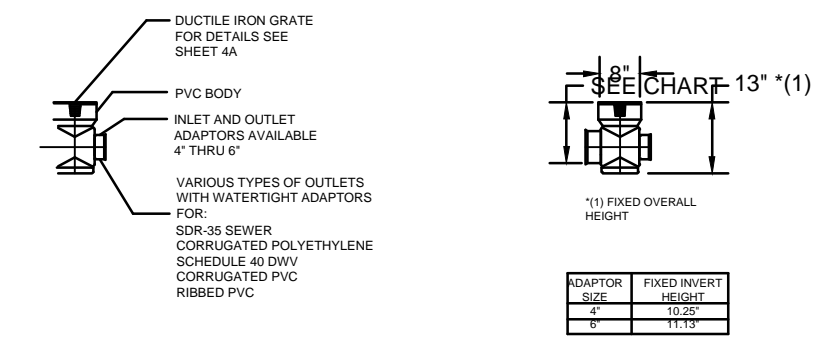




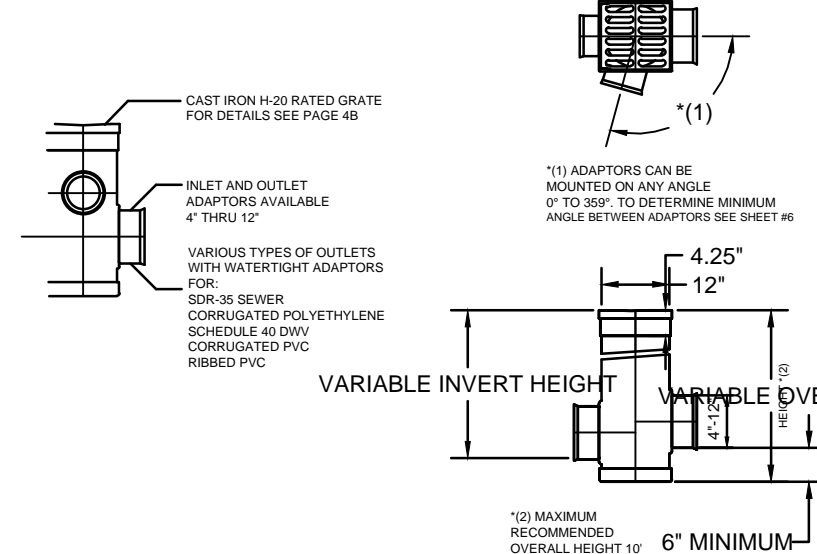




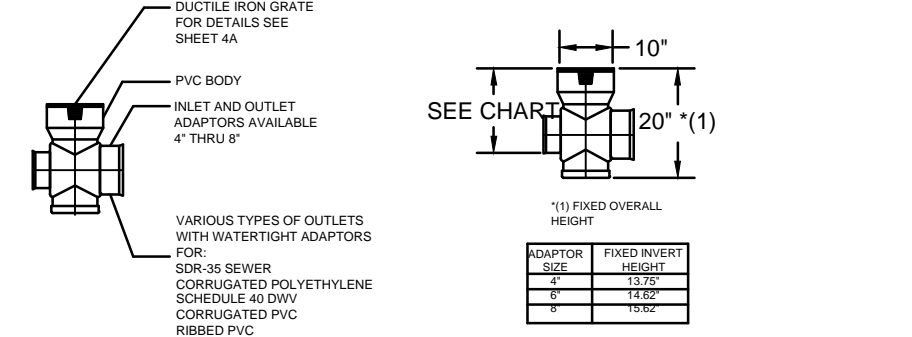
8" DRAIN BASIN



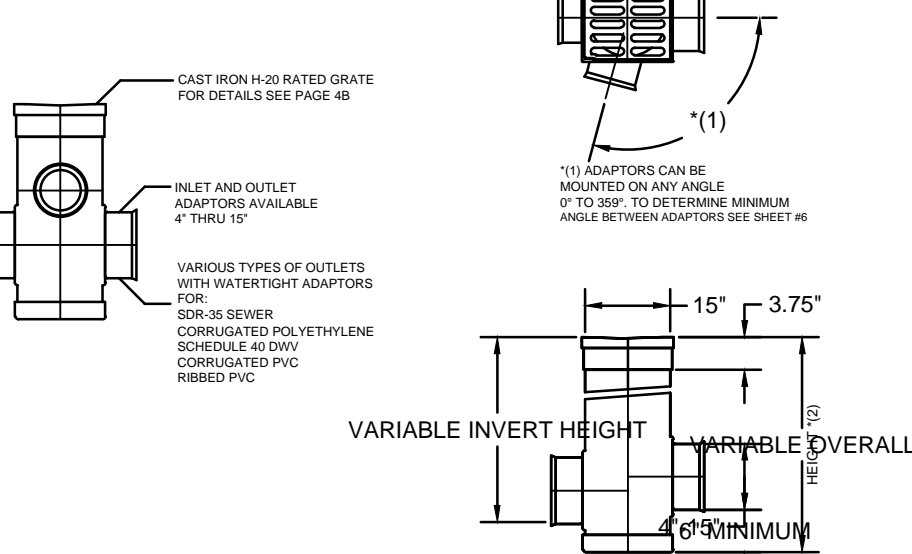
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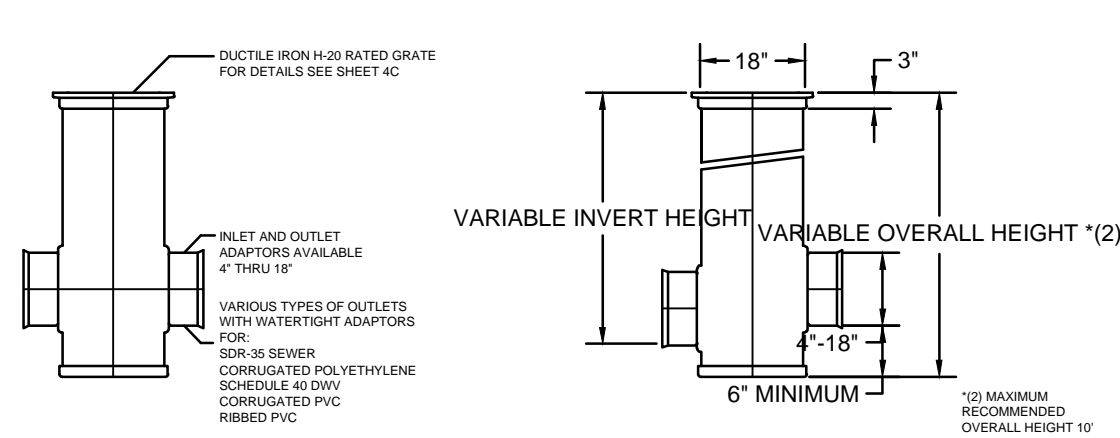
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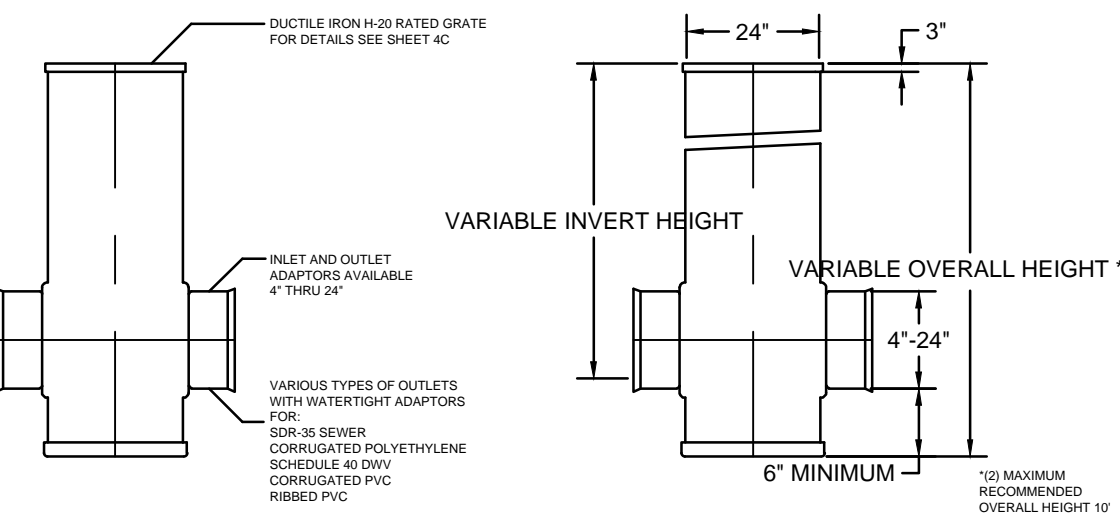
15" DRAIN BASIN



18" DRAIN BASIN



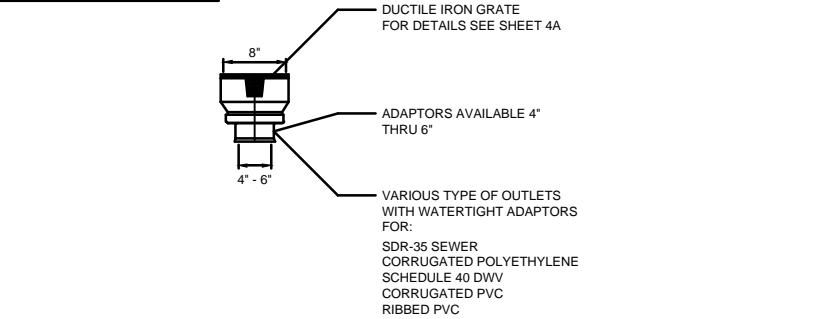
24" DRAIN BASIN



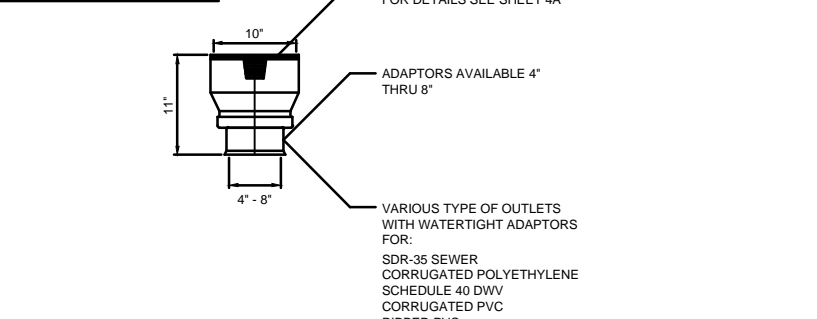
STANDARD DRAINAGE BASIN DETAILS - 8" TO 15" NYLOPLAST STD. DETAIL NO. 3A

STANDARD DRAINAGE BASIN DETAILS - 18" AND 24" NYLOPLAST STD. DETAIL NO. 3B

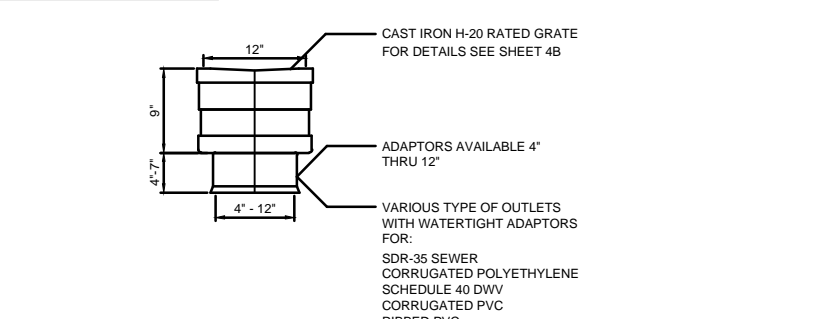
8" INLINE DRAIN



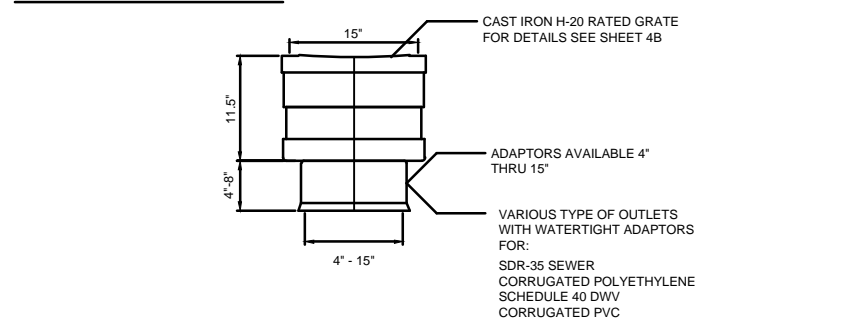
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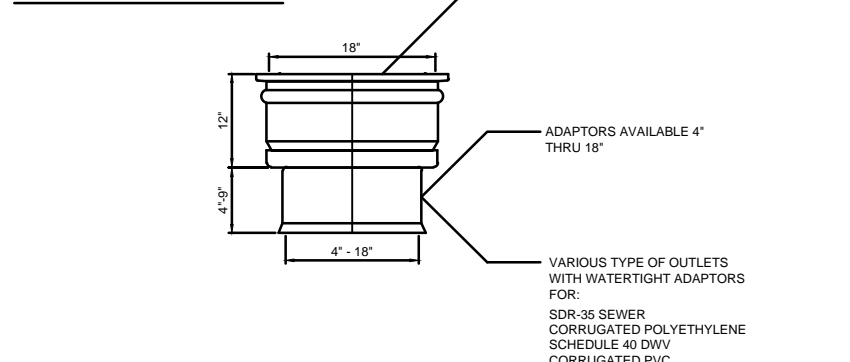
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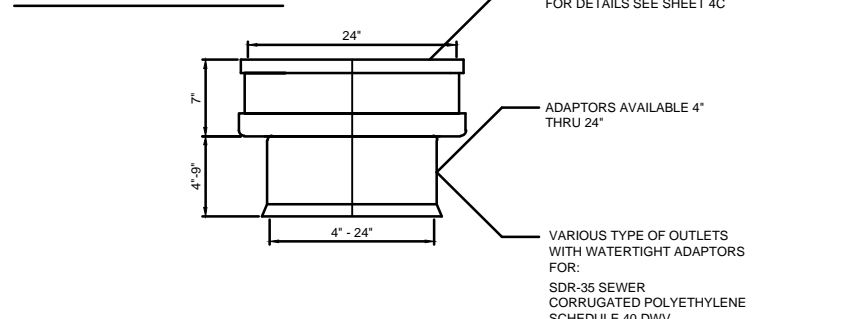
15" INLINE DRAIN



18" INLINE DRAIN

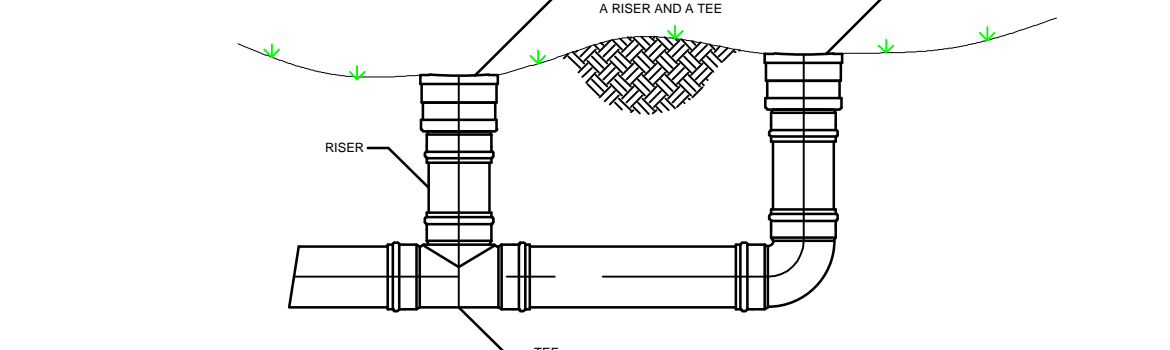


24" INLINE DRAIN

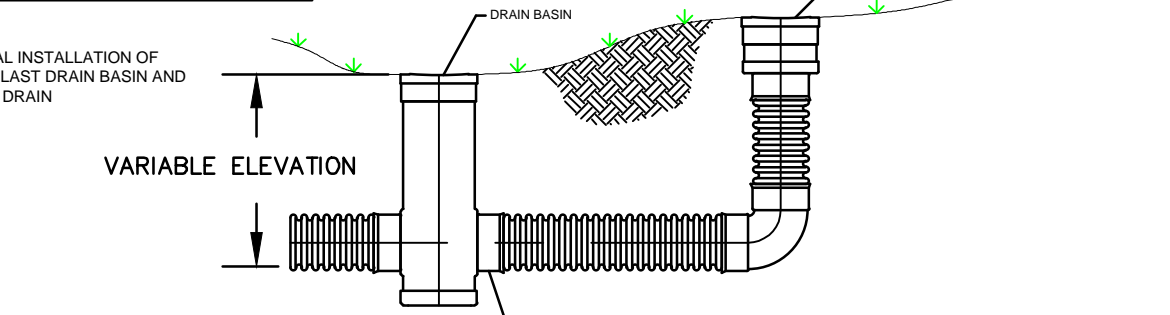


STANDARD INLINE DRAINS DETAIL NYLOPLAST STD. DETAIL NO. 2

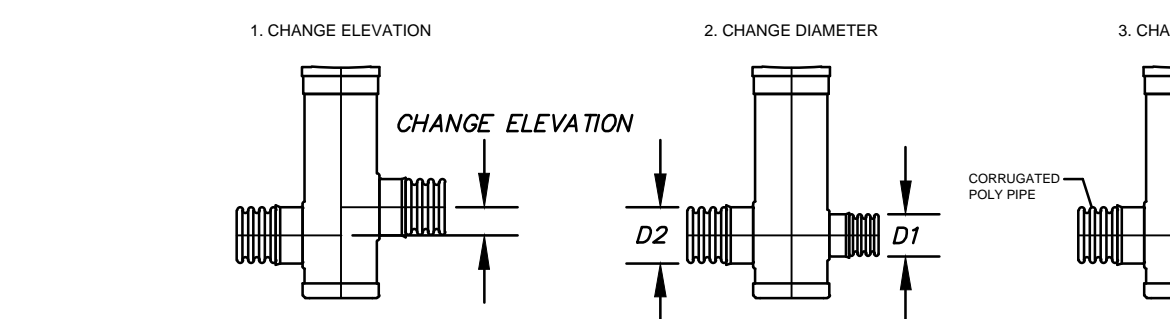
WHEN ARE INLINE DRAINS USED?



TYPICAL INSTALLATIONS

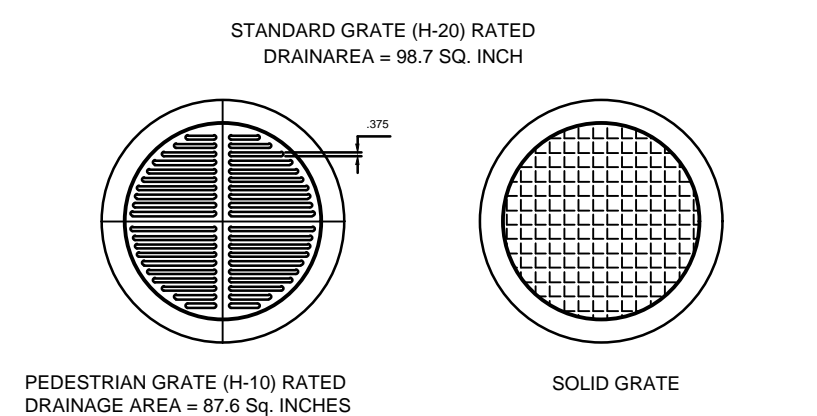
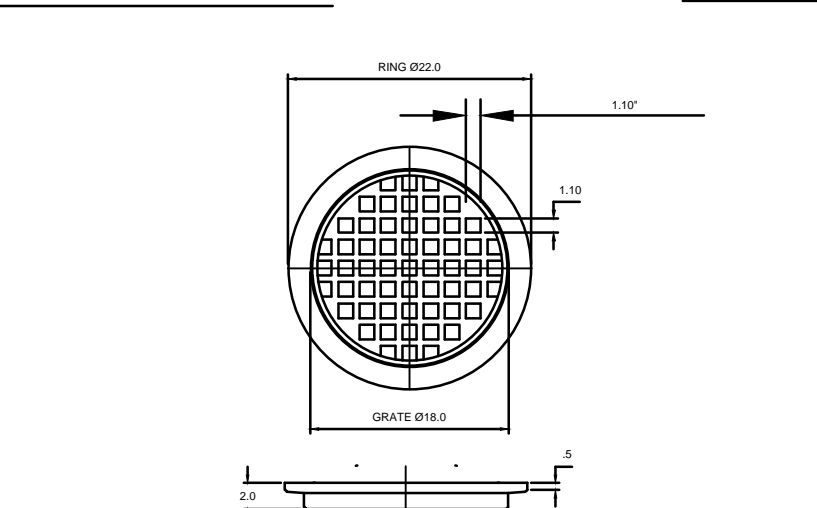


WHEN ARE DRAIN BASINS USED?



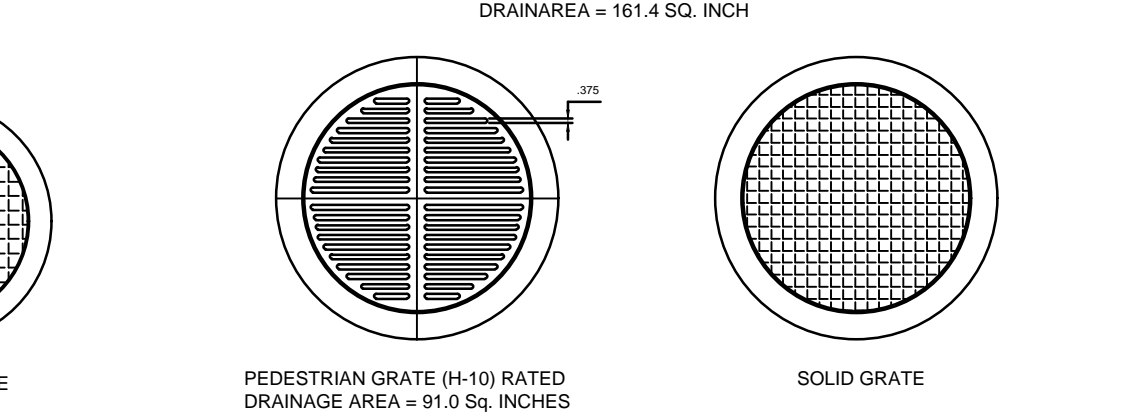
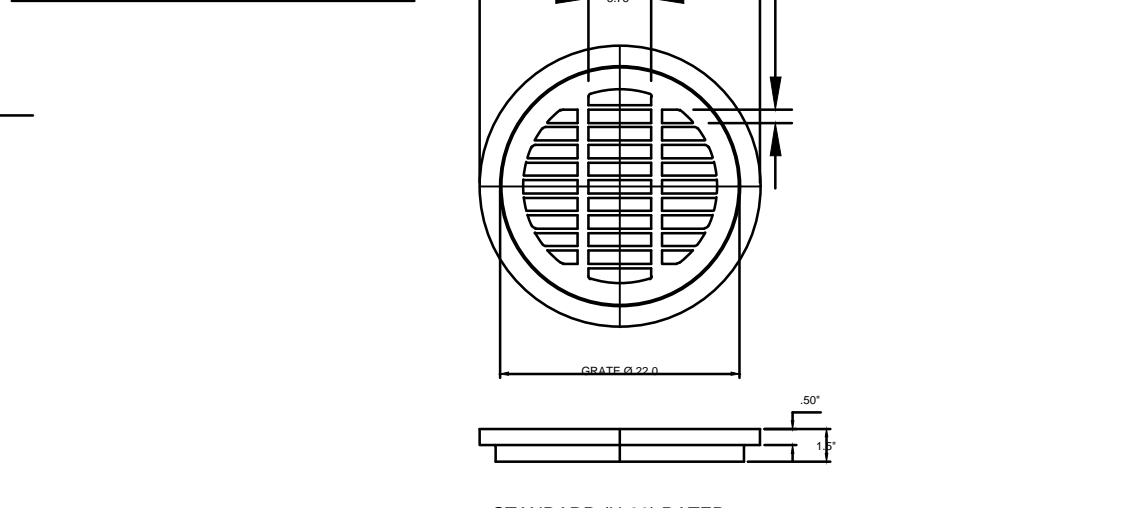
TYPICAL INSTALLATION DETAIL NYLOPLAST STD. DETAIL NO. 1

18" DUCTILE IRON GRATE



MATERIAL: DUCTILE IRON  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

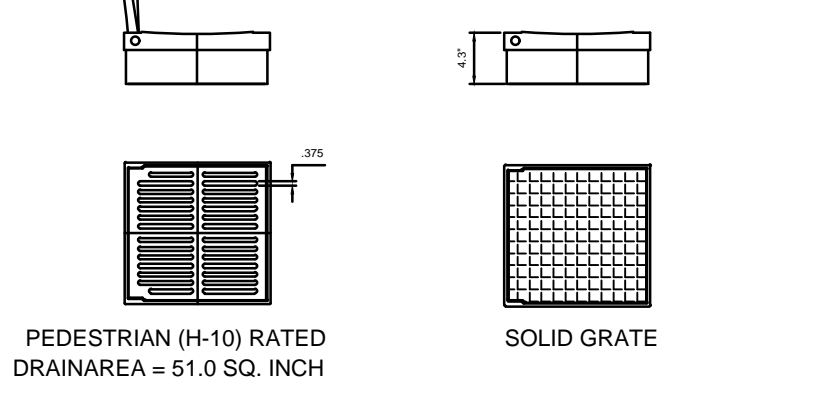
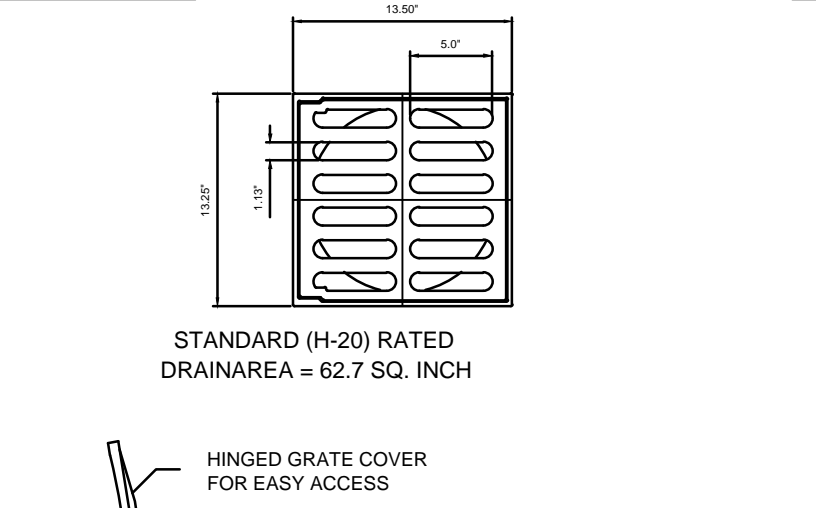
24" DUCTILE IRON GRATE



MATERIAL: DUCTILE IRON  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

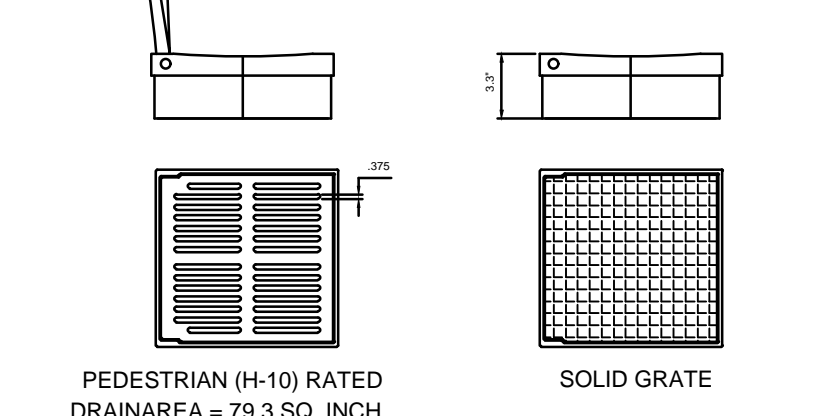
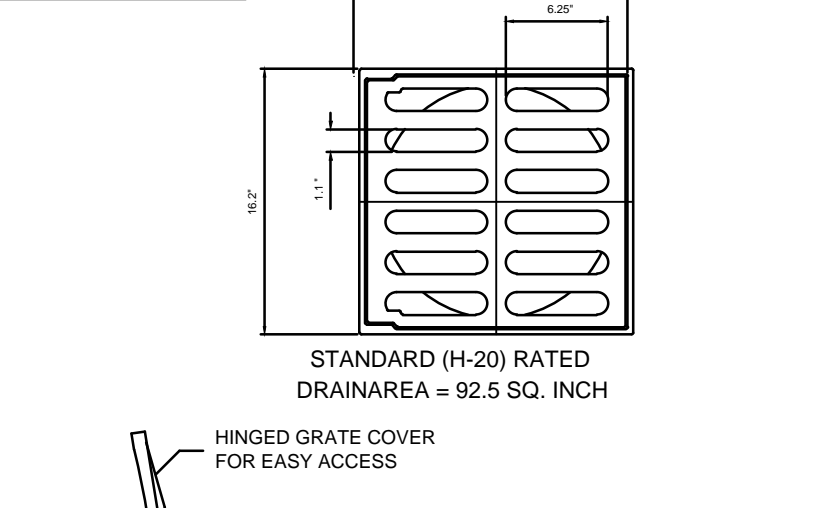
STANDARD GRATE DETAILS - 18" AND 24" NYLOPLAST STD. DETAIL NO. 4C

12" CAST IRON GRATE



MATERIAL: CAST IRON  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

15" CAST IRON GRATE

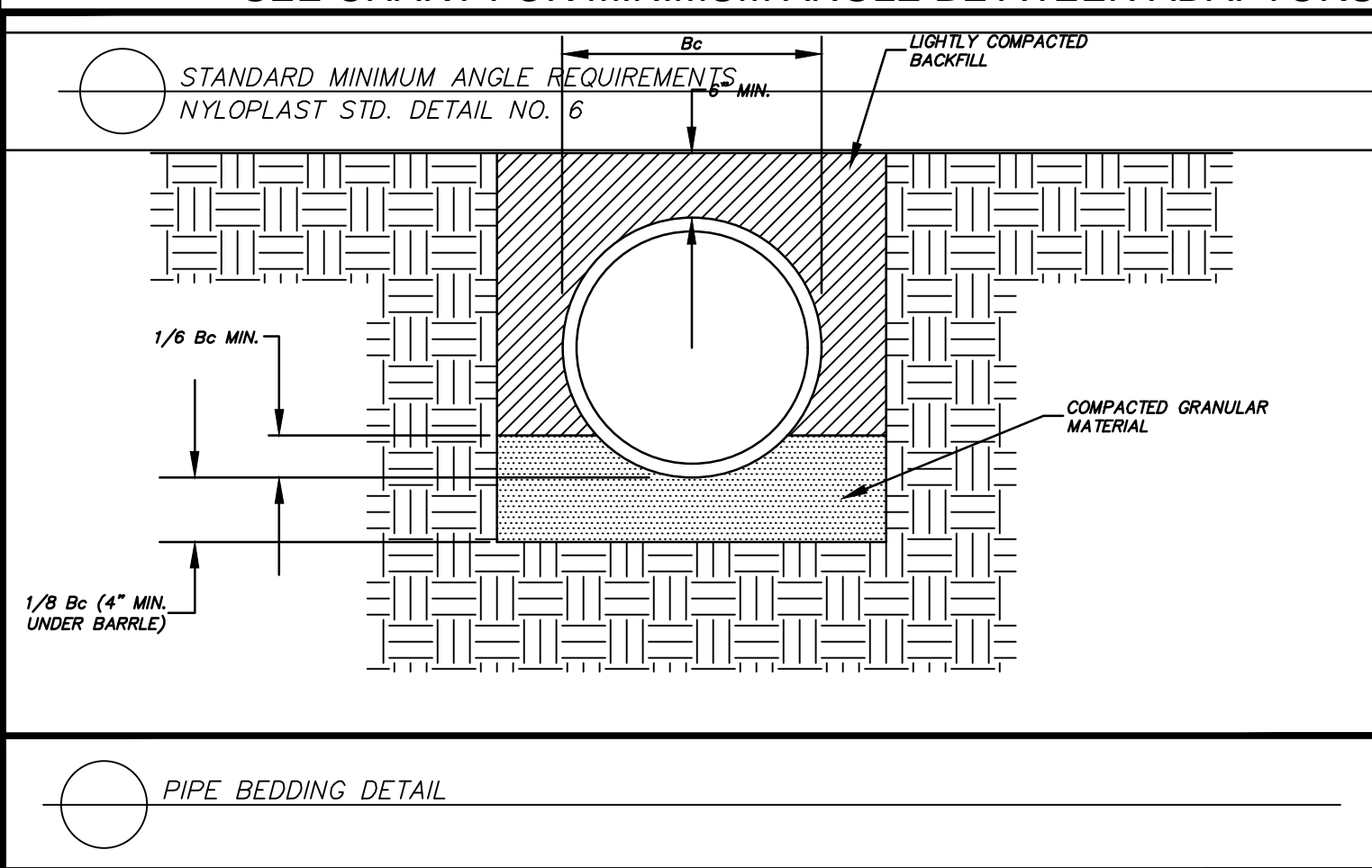


MATERIAL: CAST IRON  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

STANDARD GRATE DETAILS - 12" AND 15" NYLOPLAST STD. DETAIL NO. 4B

12" Drain Basin		15" Drain Basin		18" Drain Basin		24" Drain Basin	
Adaptor Sizes	Minimum Angle	Adaptor Sizes	Minimum Angle	Adaptor Sizes	Minimum Angle	Adaptor Sizes	Minimum Angle
4" - 4"	45	4" - 4"	40	4" - 4"	30	4" - 4"	25
4" - 6"	52.5	4" - 6"	45	4" - 6"	35	4" - 6"	27.5
4" - 8"	60	4" - 8"	52.5	4" - 8"	40	4" - 8"	32.5
4" - 10"	67.5	4" - 10"	57.5	4" - 10"	45	4" - 10"	35
4" - 12"	85	4" - 12"	65	4" - 12"	52.5	4" - 12"	42.5
6" - 6"	60	4" - 15"	85	4" - 15"	60	4" - 15"	47.5
6" - 8"	67.5	6" - 6"	50	4" - 18"	85	4" - 18"	57.5
6" - 10"	75	6" - 8"	57.5	6" - 6"	40	4" - 24"	80
6" - 12"	95	6" - 10"	62.5	6" - 8"	45	6" - 6"	30
8" - 8"	75	6" - 12"	70	6" - 10"	50	6" - 8"	35
8" - 10"	82.5	8" - 8"	90	6" - 12"	57.5	6" - 10"	37.5
8" - 12"	100	8" - 10"	65	6" - 15"	65	6" - 12"	45
10" - 10"	90	8" - 12"	70	6" - 18"	90	6" - 15"	50
10" - 12"	110	8" - 15"	77.5	8" - 8"	50	6" - 18"	60
12" - 12"	180	10" - 10"	95	8" - 10"	55	6" - 24"	85
		10" - 12"	82.5	8" - 12"	62.5	8" - 8"	40
		10" - 15"	100	8" - 15"	70	8" - 10"	42.5
				10" - 10"	60	8" - 12"	50
				10" - 12"	67.5	8" - 15"	55
				10" - 15"	75	8" - 18"	65
				10" - 18"	100	8" - 24"	90
				12" - 12"	75	10" - 10"	45
				12" - 15"	82.5	10" - 12"	52.5
				12" - 18"	105	10" - 15"	57.5
				15" - 15"	90	10" - 18"	67.5
				15" - 18"	115	10" - 24"	95
				18" - 18"	180		

\* SEE CHART FOR MINIMUM ANGLE BETWEEN ADAPTORS



PIPE BEDDING DETAIL

ALL NYLOPLAST DETAILS PROVIDED BY:

INC. / 3130 VERONA AVENUE, BUFORD, GEORGIA 30518

STEVE BOLTON (770) 932-2443 (770) 932-2490 fax

PREPARED BY

**Kimley»Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ATLANTA, GA 30305  
PHONE (770) 619-4280  
WWW.KIMLEY-HORN.COM

PROJECT

**GT-RP HALCYON**  
309 EAST PACES FERRY ROAD, SUITE #25  
ATLANTA, GA 30305  
PHONE: 404.655.5954

DATE

05/22/2020

BY

DMZ

REVISIONS

1 REVISED PER COUNTY COMMENTS

ISSUANCE AND REVISION DESCRIPTIONS

REGISTERED PROFESSIONAL ENGINEER

STATE OF GEORGIA  
No. PE044139  
BREK M. ZITTAUER

GSWCC NO. (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

KHA

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

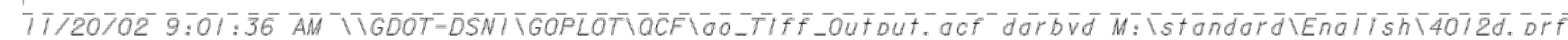
TITLE

**CONSTRUCTION DETAILS**

SHEET NUMBER

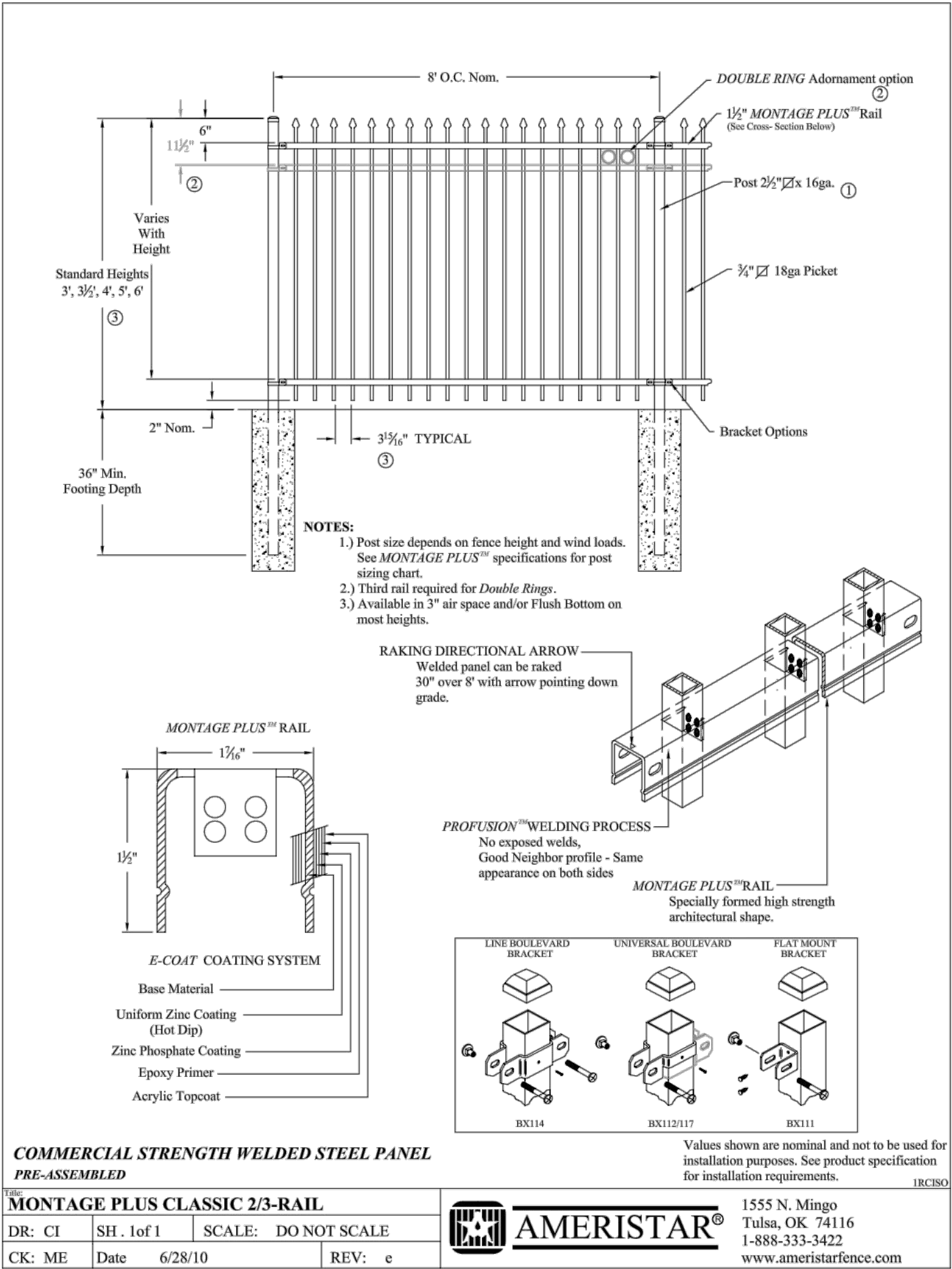
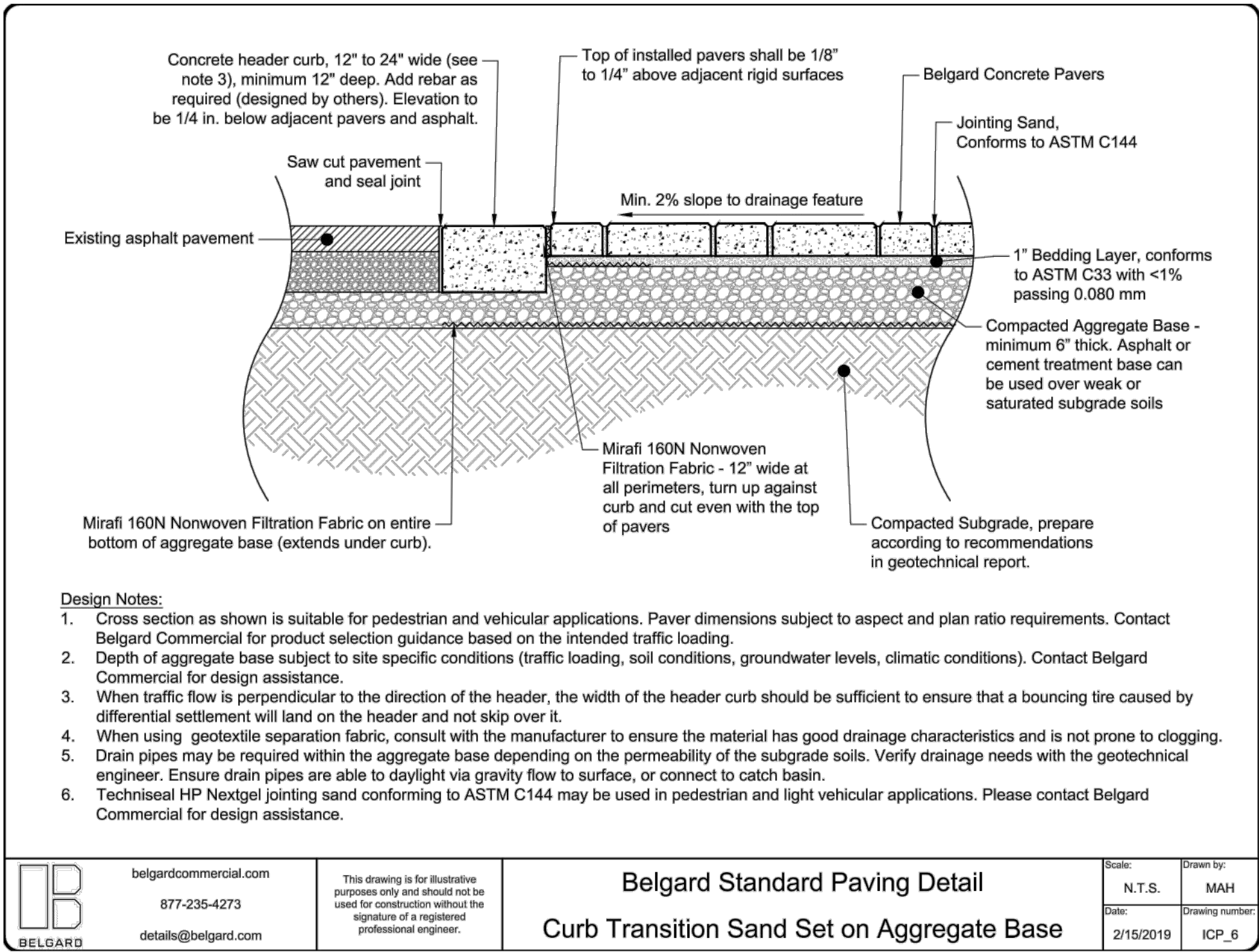
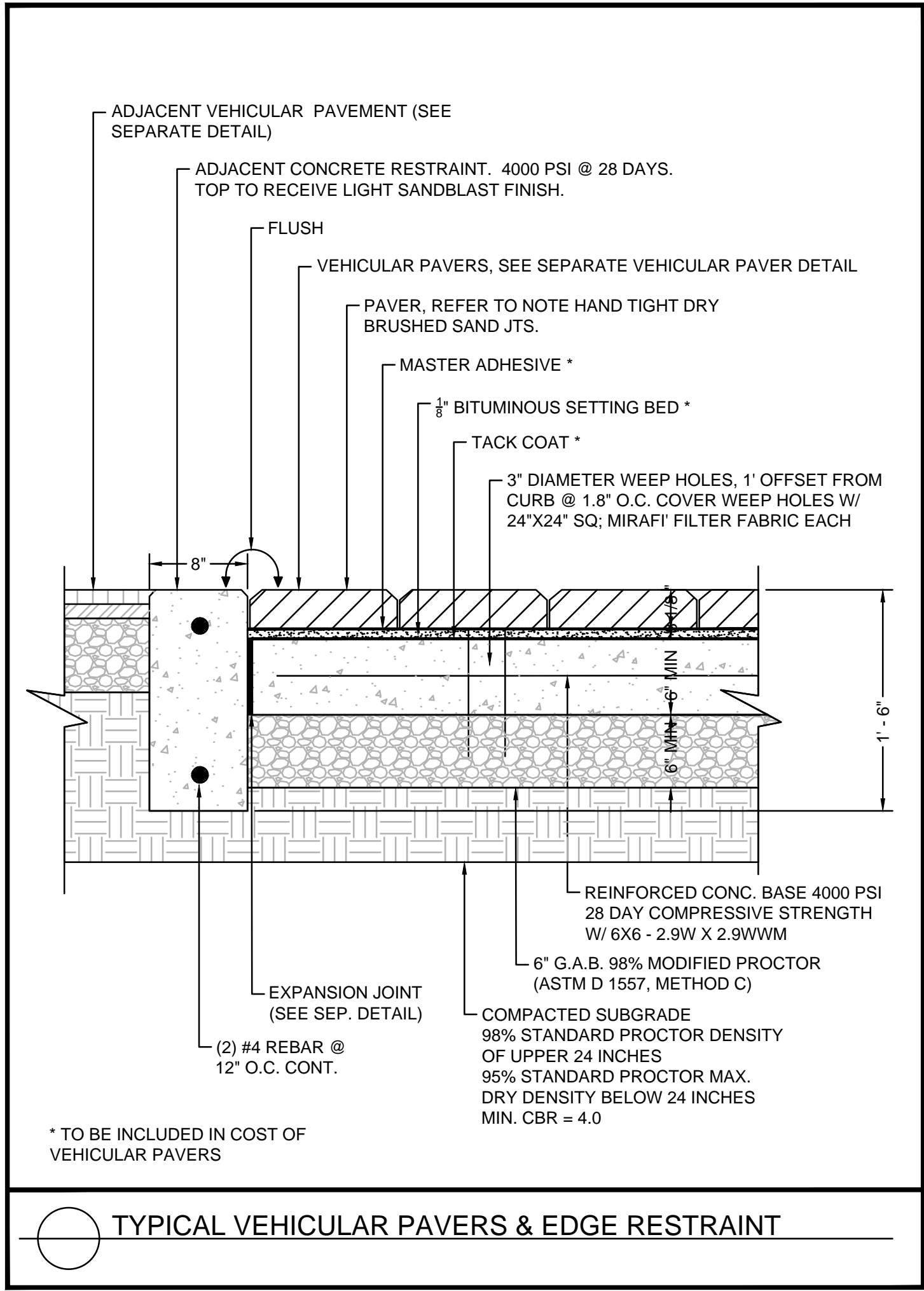
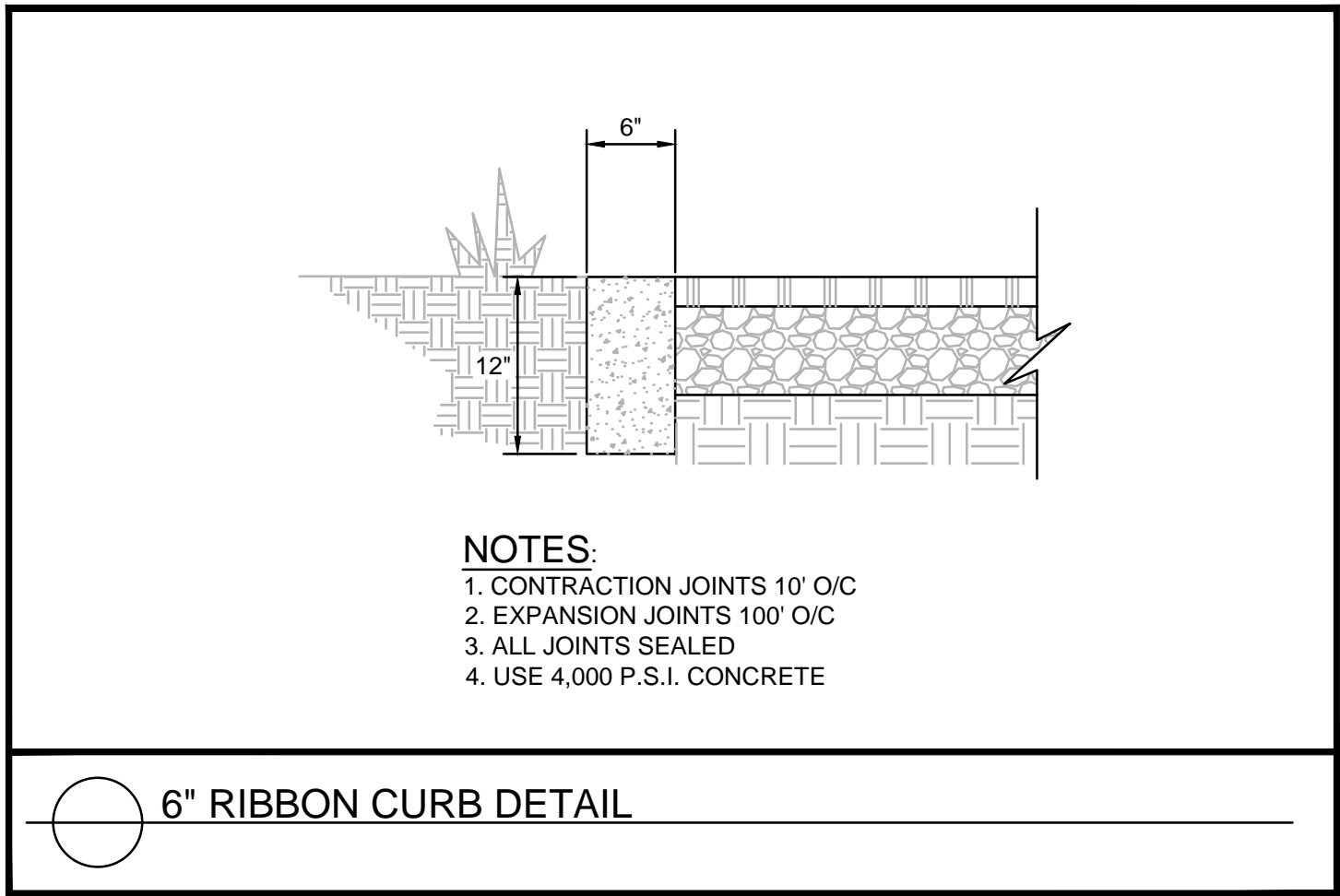
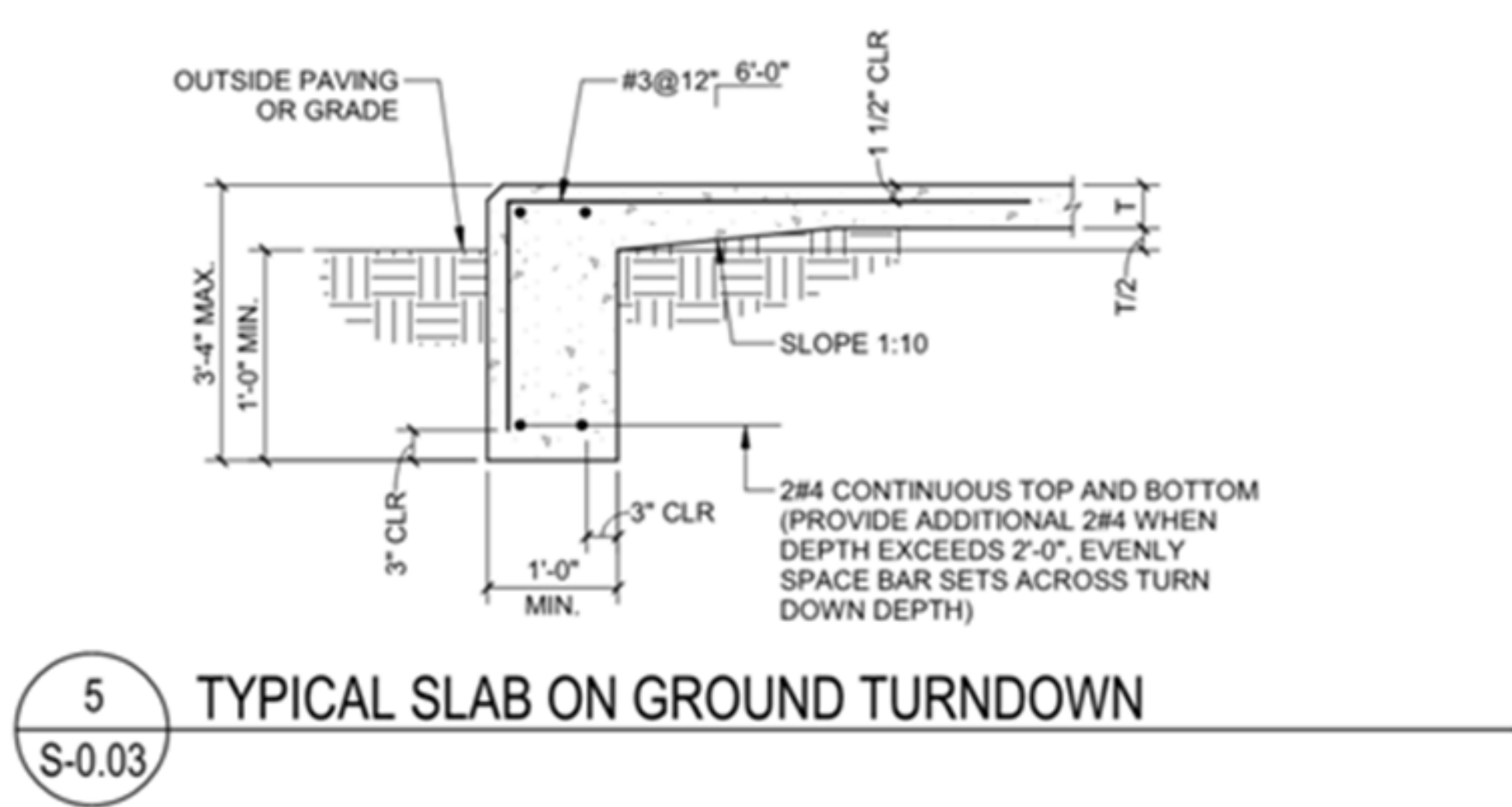
**C6-08**







Drawing name: K:\ALP\_PRJ\013623001\_Halcyon - Village District\CAD\PlanSheets\C6-00 - CONSTRUCTION DETAILS.dwg May 22, 2020 12:40pm by: Charles White



REVISED PER COUNTY COMMENTS	DATE	BY
1	05/22/2020	DMZ
No	ISSUANCE AND REVISION DESCRIPTIONS	

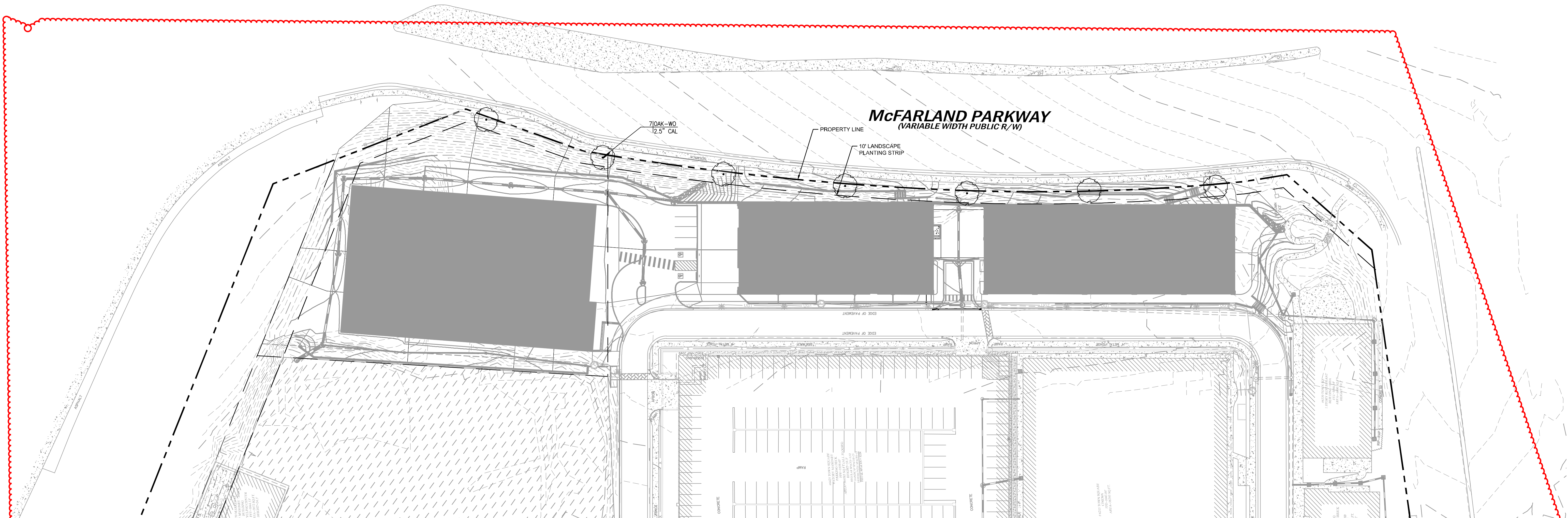


GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	KHA
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001






~~WILLOW OAK~~



## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HEIGHT	SPRD	CONT.	REMARKS
	OAK-WO	7	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL	12-14' HT	6-7' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD

TREE PROTECTION & REPLACEMENT NOTES:

TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO OR CONCURRENT WITH ANY CLEARING, GRUBBING OR GRADING. CALL THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT FOR AN INSPECTION.

TREE PROTECTION SHALL BE ENFORCED ACCORDING TO THE FORSYTH COUNTY TREE PRESERVATION AND REPLACEMENT ORDINANCE.

THE DENSITY REQUIREMENTS SHOWN ON THE TREE PROTECTION AND/OR REPLACEMENT PLAN MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE FINAL PLAT. CALL THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT FOR AN INSPECTION.

WITH THE EXCEPTION OF SINGLE FAMILY RESIDENTIAL DEVELOPMENTS, MAINTENANCE INSPECTION FOR TREES WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE FINAL SITE INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR SCHEDULING THIS INSPECTION.

ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

