

TOWN SQUARE
FORSYTH COUNTY

Sheet List Table	
Sheet Number	Sheet Title
C0-00	COVER SHEET
--	SURVEY (SHEET 1 OF 2)
--	SURVEY (SHEET 2 OF 2)
C0-01	GENERAL NOTES
C0-10	ZONING INFORMATION
C0-80	EXISTING CONDITIONS PLAN
C1-00	DEMOLITION PLAN
C2-00	SITE PLAN
C2-01	DETAILED SITE PLAN
C2-02	DETAILED SITE PLAN
C2-30	FIRE PROTECTION PLAN
C3-00	OVERALL GRADING AND DRAINAGE PLAN
C3-01	DETAILED GRADING AND DRAINAGE PLAN
C3-02	DETAILED GRADING AND DRAINAGE PLAN
C3-10	GRADING INSETS
C3-50	STORM SEWER PROFILES
C4-00	UTILITY PLAN
C4-10	UTILITY INSETS
C5-00	EROSION CONTROL NOTES
C5-01	EROSION CONTROL NOTES
C5-02	EROSION CONTROL NOTES
C5-03	EROSION CONTROL NOTES
C5-04	EROSION CONTROL NOTES
C5-10	EROSION CONTROL PLAN PHASE 1
C5-20	EROSION CONTROL PLAN PHASE 2
C5-30	EROSION CONTROL PLAN PHASE 3
C5-80	EROSION CONTROL DETAILS
C5-81	EROSION CONTROL DETAILS
C5-82	EROSION CONTROL DETAILS
C6-00	CONSTRUCTION DETAILS
C6-01	CONSTRUCTION DETAILS
C6-02	CONSTRUCTION DETAILS
C6-03	CONSTRUCTION DETAILS
C6-04	CONSTRUCTION DETAILS
C6-05	CONSTRUCTION DETAILS
C6-06	CONSTRUCTION DETAILS
C6-07	CONSTRUCTION DETAILS
C6-08	CONSTRUCTION DETAILS



PROJECT CONTACTS

 **GSWCC** GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

DEREK M. ZITTRAUER
Level II Certified Design Professional

CERTIFICATION NUMBER 0000076500
ISSUED: 03/10/2019 **EXPIRES:** 03/10/2022

PROJECT NARRATIVE:

HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, AND 1400 IS A PROPOSED MULTI-BUILDING DEVELOPMENT WITH VARIED USES. THIS PROJECT IS A PART OF THE OVERALL HALCYON MASTER PLANNED DEVELOPMENT.

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF SURFACE PARKING, STORMWATER CONVEYANCE, AND ALL ASSOCIATED UTILITIES. THE DISTURBED AREA ON SITE IS 12.69 ACRES, AND THE TOTAL DISTURBED AREA IS 2.33 INCLUDING PUBLIC ROW.

EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

NOTES:

1. ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
2. IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE **CONTRACTOR** MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
3. THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

FORSYTH COUNTY NOTES

CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

ALL STRUCTURES WILL COMPLY WITH THE FIRE SEPARATION DISTANCE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION FROM THE REQUIRED FIRE SEPARATION DISTANCES.

ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

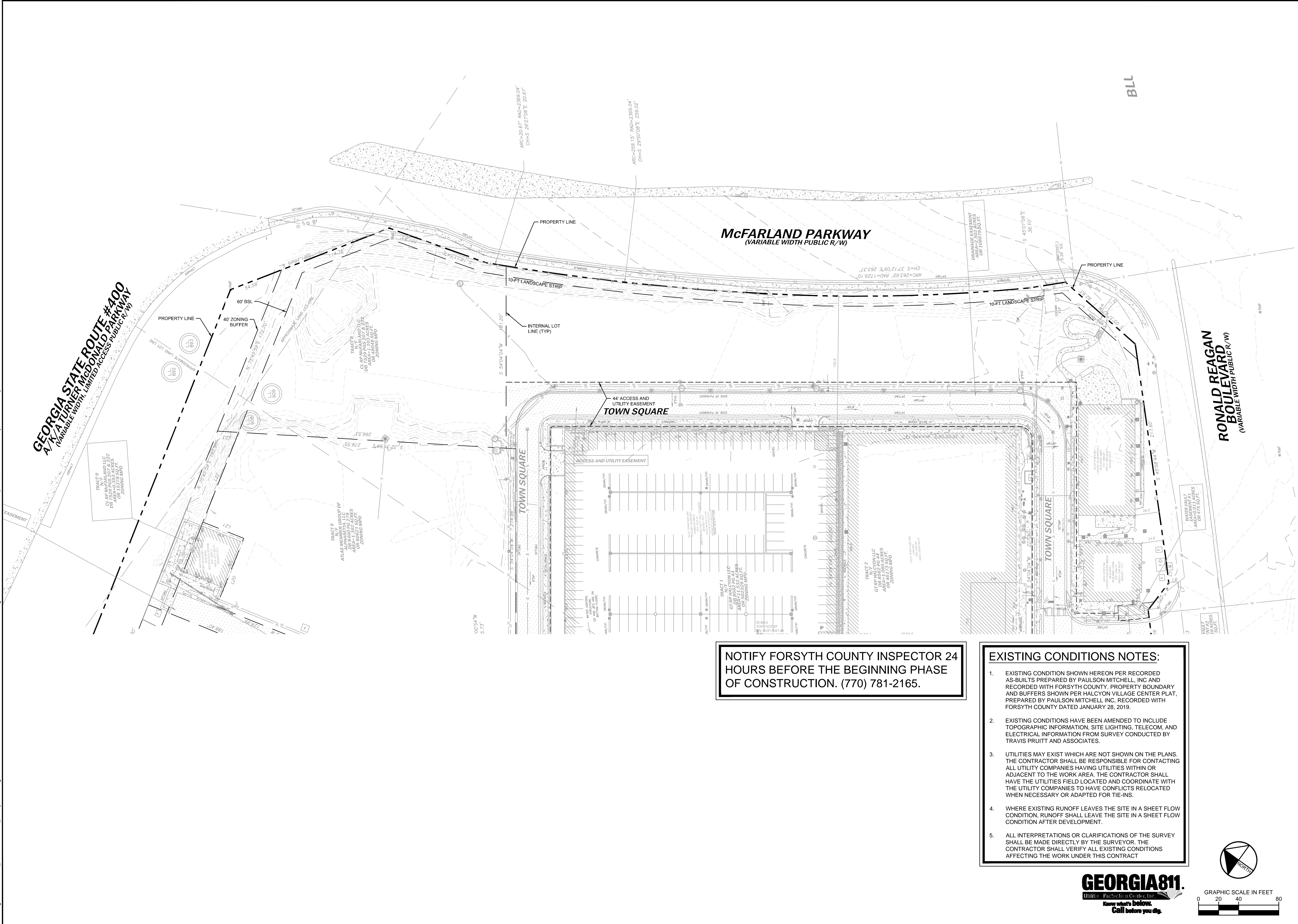
REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF AN AS-BUILT.

AS-BUILT REQUIRED FOR C.O.'S ON COMMERCIAL PROJECTS - PRIOR TO FINAL BUILDING CERTIFICATE OF OCCUPANCY.

UDC CHAPTER 21, ARTICLE II-V, OVERLAY DISTRICT(S) ARE NOT APPLICABLE FOR THIS PROJECT.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION.
(770) 781-2165.

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).



PREPARED FOR

GT-RP HALCYON

309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

PROJECT

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

PREPARED BY

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ATLANTA, GA 30338
PHONE: (770) 819-4280
WWW.KIMLEY-HORN.COM

ISSUANCE AND REVISION DESCRIPTIONS

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

REGISTERED PROFESSIONAL ENGINEER

GEORGIA
No. PE044139
BREK M. ZITTAUER

GSWCC NO.
(LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

DMZ

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EXISTING
CONDITIONS
PLAN

SHEET NUMBER

C0-80

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

NOTE: CONTRACTOR TO COORDINATE EXISTING GAS, ELECTRICAL, AND COMMUNICATIONS RELOCATIONS WITH RESPECTIVE UTILITY PROVIDERS

Drawing name: K:\ALP_PRJ\013623001_Halcyon - Village District\CAD\PlanSheets\C1-00 - DEMOLITION PLAN.dwg C1-00 DEMOLITION PLAN Apr 24, 2020 10:14am by: casie.connolly

GEORGIA STATE ROUTE #400
A/K/A TURNER McDONALD PARKWAY
(VARIABLE WIDTH LIMITED ACCESS PUBLIC R/W)

RONALD REAGAN
BOULEVARD
(VARIABLE WIDTH PUBLIC R/W)

MCFARLAND PARKWAY
(VARIABLE WIDTH PUBLIC R/W)

TOWN SQUARE

TOWN SQUARE

NOTES:

EXISTING CONDITION SHOWN HEREON PER RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND RECORDED WITH FORSYTH COUNTY. PROPERTY BOUNDARY AND BUFFERS SHOWN PER HALCYON VILLAGE CENTER PLAT, PREPARED BY PAULSON MITCHELL, INC. RECORDED WITH FORSYTH COUNTY DATED JANUARY 28, 2019.

EXISTING CONDITIONS HAVE BEEN AMENDED TO INCLUDE TOPOGRAPHIC INFORMATION, SITE LIGHTING, TELECOM, AND ELECTRICAL INFORMATION FROM SURVEY CONDUCTED BY TRAVIS PRUITT AND ASSOCIATES.

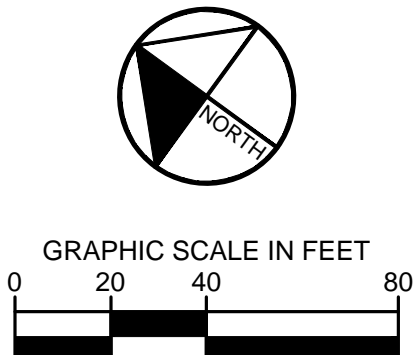
DEMOLITION NOTES:

- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- EXISTING SOIL SERIES IS LbB, CbB, CcC2 & CgB2 FOR ENTIRE DISTURBED AREA.
- TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
- CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
- CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 2H:1V.
- THE PROJECT SITE **DOES NOT** LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13117C226F DATED 03/04/2013.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.

DEMOLITION LEGEND:

- REMOVE EXISTING OBJECT
- REMOVE EXISTING STRUCTURE
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING GRAVEL
- REMOVE EXISTING UTILITIES, FENCING, CURB & GUTTER, & WALLS

GEORGIA811
Home Protection Center, Inc.
Know what's below.
Call before you dig.



GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5854

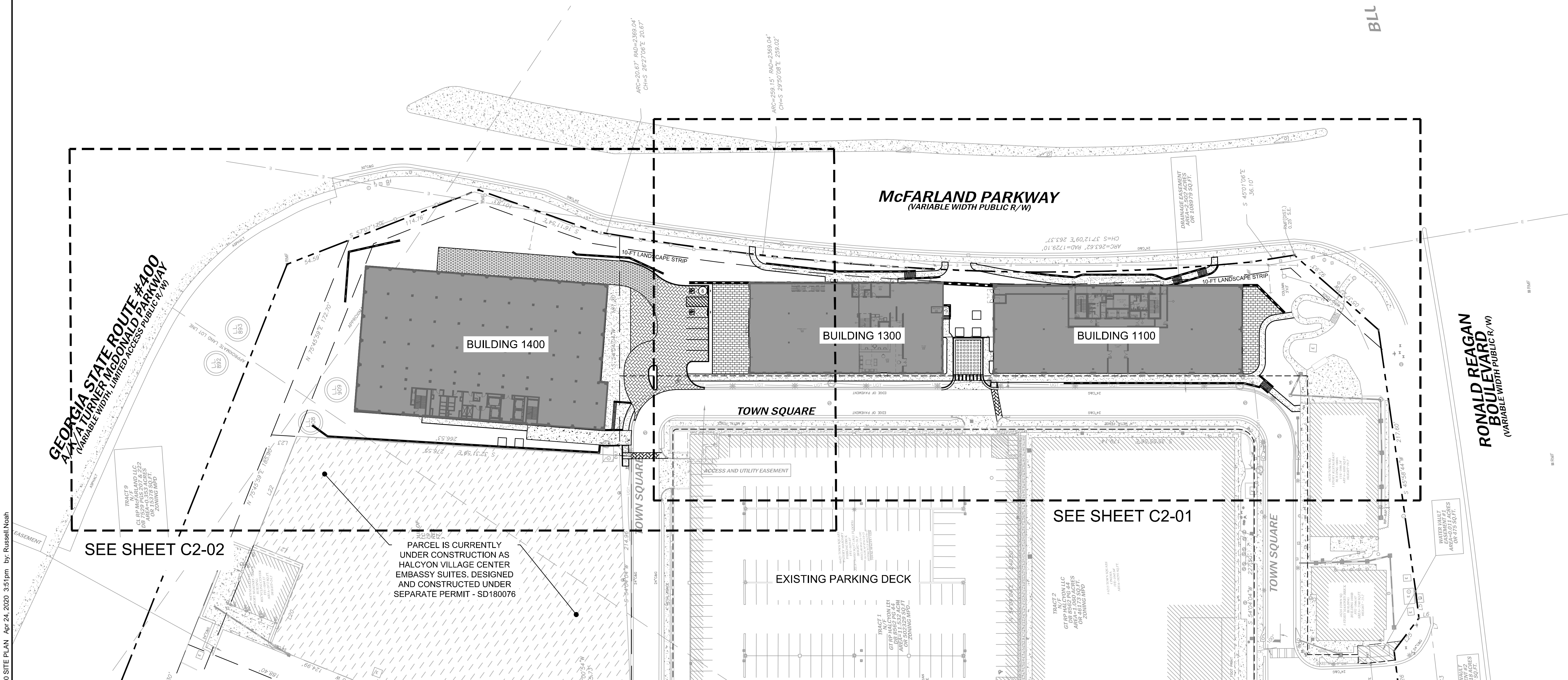
HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001
TITLE
DEMOLITION PLAN
SHEET NUMBER
C1-00

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE (770) 819-4283
WWW.KIMLEY-HORN.COM

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.



SITE NOTES:

SITE AREA:	12.69 ACRES
DISTURBED AREA:	2.33 ACRES
ZONING:	MPD (MASTER PLANNED DISTRICT)
PROPERTY PARCEL:	043-084
RE-ZONING CASE #:	ZA3728 W/ CONDITIONS
PROPOSED USE:	MIXED USE
BUILDING SETBACK:	60' ALONG GA 400 ROW
UNDISTURBED BUFFER:	40' ALONG GA 400 ROW
LANDSCAPE BUFFER:	10' ALONG MCFARLAND PKWY
MIN. YARD SETBACK:	ZERO LOT LINE

<u>PROPOSED LAND USES & DENSITIES:</u>	
BUILDING 1100 (MIXED USE)	61,000 SF
BUILDING 1300 (RETAIL)	23,000 SF
BUILDING 1400 (OFFICE)	128,000 SF



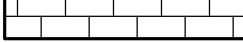

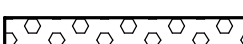


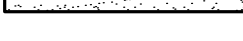

PARKING SUMMARY:

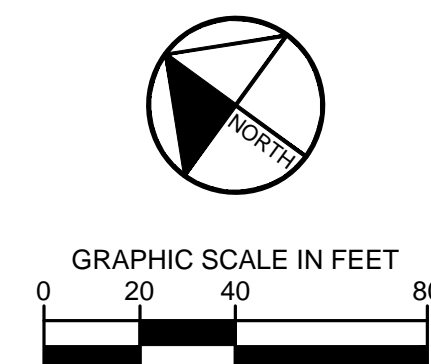
SHARED PARKING WITH HALCYON DEVELOPMENT

SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/15/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE PLAN LEGEND:

-  PROPERTY LINE
 10 FT LANDSCAPE STRIP LINE
 NON-VEHICULAR RATED PAVERS
 VEHICULAR RATED DECORATIVE PAVERS
 FIRE ACCESS RATED PERVIOUS SURFACE TREATMENT
 VEHICULAR RATED GRASS PAVERS
 STANDARD DUTY CONCRETE SIDEWALK
 HEAVY DUTY CONCRETE PAVEMENT
 PARKING COUNT



FOR

GT-RP HALCYON
3309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

PROJECT

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

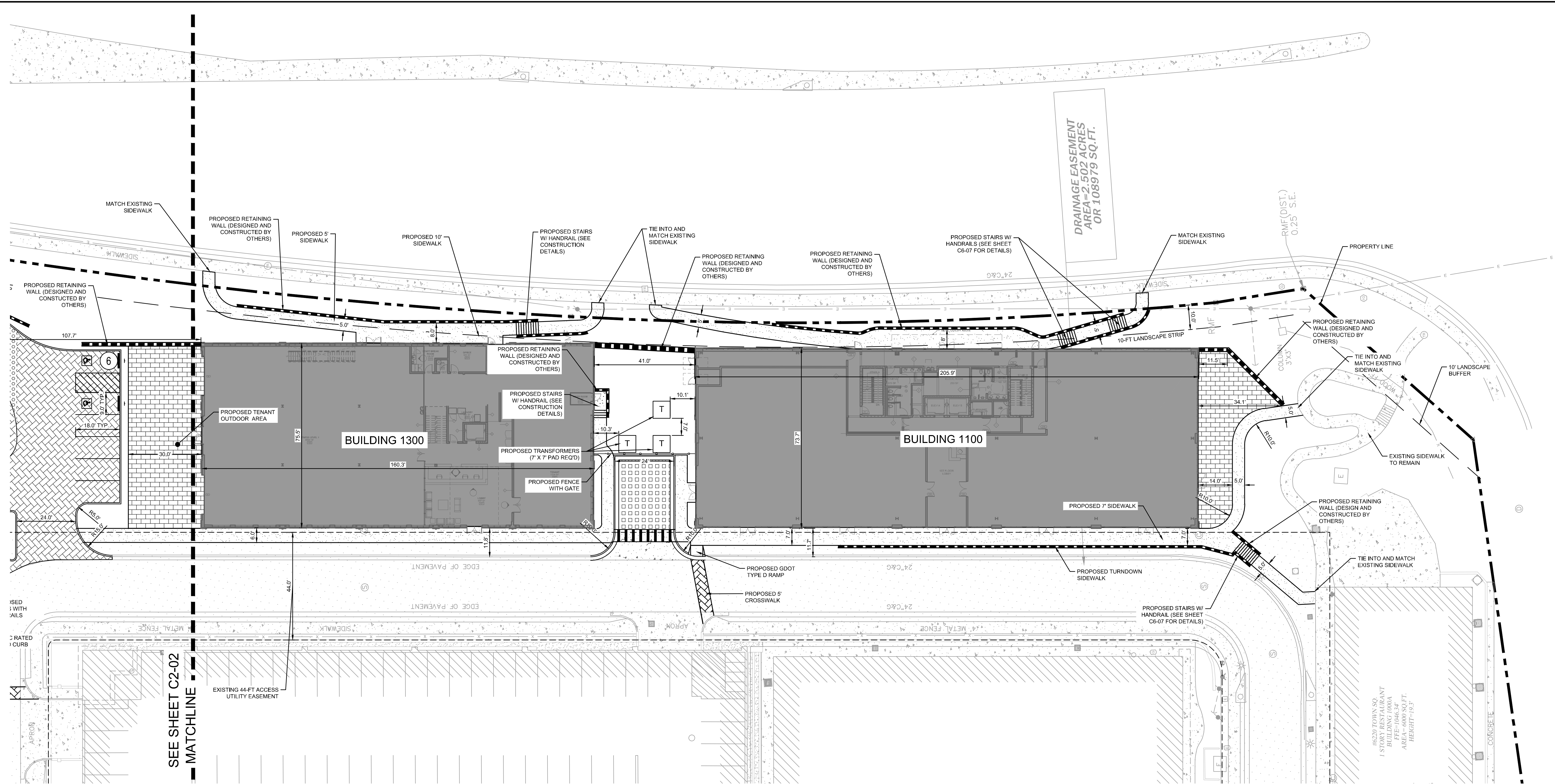


GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	01362300

SITE PLAN

SHEET NUMBER
C2-00

Kimley»»Horn
© 2009 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE (770) 619-4280
WWW.KIMLEY-HORN.COM



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

SITE NOTES:

SITE AREA:	12.69 ACRES
DISTURBED AREA:	2.33 ACRES
ZONING:	MPD (MASTER PLANNED DISTRICT)
PROPERTY PARCEL:	043-084
RE-ZONING CASE #:	ZA3728 W/ CONDITIONS
PROPOSED USE:	MIXED USE
BUILDING SETBACK:	60' ALONG GA 400 ROW
UNDISTURBED BUFFER:	40' ALONG GA 400 ROW
LANDSCAPE BUFFER:	10' ALONG MCFARLAND PKWY
MIN. YARD SETBACK:	ZERO LOT LINE

PROPOSED LAND USES & DENSITIES:

BUILDING 1100 (MIXED USE)	61,000 SF
BUILDING 1300 (RETAIL)	23,000 SF
BUILDING 1400 (OFFICE)	128,000 SF

PARKING SUMMARY:

SHARED PARKING WITH HALCYON DEVELOPMENT

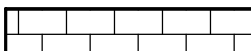
SITE NOTES:


1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/15/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

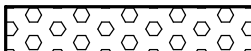
SITE PLAN LEGEND:


— — — — — PROPERTY LINE


— — — — — 10 FT LANDSCAPE STRIP LINE

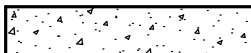
 NON-VEHICULAR RATED PAVERS


 VEHICULAR RATED DECORATIVE PAVERS

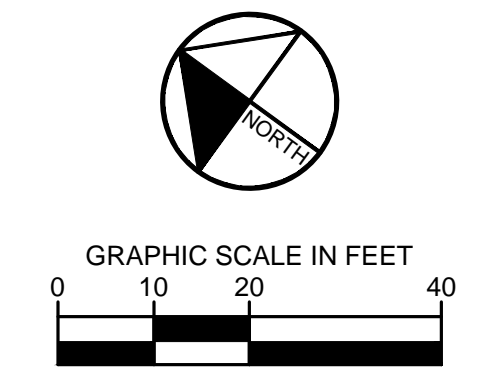
 FIRE ACCESS RATED PERVIOUS SURFACE TREATMENT

 VEHICULAR RATED GRASS PAVERS

 STANDARD DUTY CONCRETE SIDEWALK

 HEAVY DUTY CONCRETE PAVEMENT

 PARKING COUNT



GEORGIA STATE ROUTE #400
(VARIABLE WIDTH, LIMITED ACCESS PUBLIC R/W)

TRACT 9
N/F
CL RP MCFARLAND LLC
DB 7529 PGS 207 & 222
AREA=0.353 ACRES
OR 15378 SQ.FT.
ZONING MPD

NOTIFY FORSYTH COUNTY INSPECTOR 24
HOURS BEFORE THE BEGINNING PHASE
OF CONSTRUCTION. (770) 781-2165.

SITE NOTES:

SITE AREA: 12.69 ACRES
DISTURBED AREA: 2.33 ACRES
ZONING: MPD (MASTER PLANNED DISTRICT)

PROPERTY PARCEL: 043-084
RE-ZONING CASE #: ZA3728 W/ CONDITIONS
PROPOSED USE: MIXED USE

BUILDING SETBACK: 60' ALONG GA 400 ROW
UNDISTURBED BUFFER: 40' ALONG GA 400 ROW
LANDSCAPE BUFFER: 10' ALONG MCFARLAND PKWY
MIN. YARD SETBACK: ZERO LOT LINE

PROPOSED LAND USES & DENSITIES:

BUILDING 1100 (MIXED USE)	61,000 SF
BUILDING 1300 (RETAIL)	23,000 SF
BUILDING 1400 (OFFICE)	128,000 SF

PARKING SUMMARY:
SHARED PARKING WITH HALCYON DEVELOPMENT

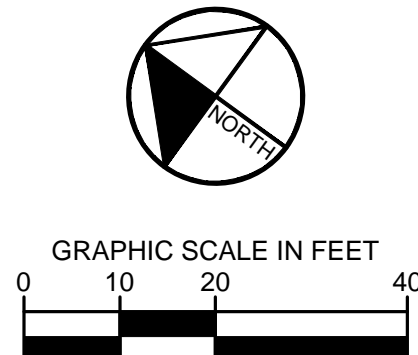
SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY AKA STUDIO, P.C., DATED 04/16/2020 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE PLAN LEGEND:

- PROPERTY LINE
- 10 FT LANDSCAPE STRIP LINE
- NON-VEHICULAR RATED PAVERS
- VEHICULAR RATED DECORATIVE PAVERS
- FIRE ACCESS RATED PVIOUS SURFACE TREATMENT
- VEHICULAR RATED GRASS PAVERS
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PARKING COUNT

GEORGIA811.
Utility Protection Center, Inc.
Know what's below.
Call before you dig.



GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5854

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

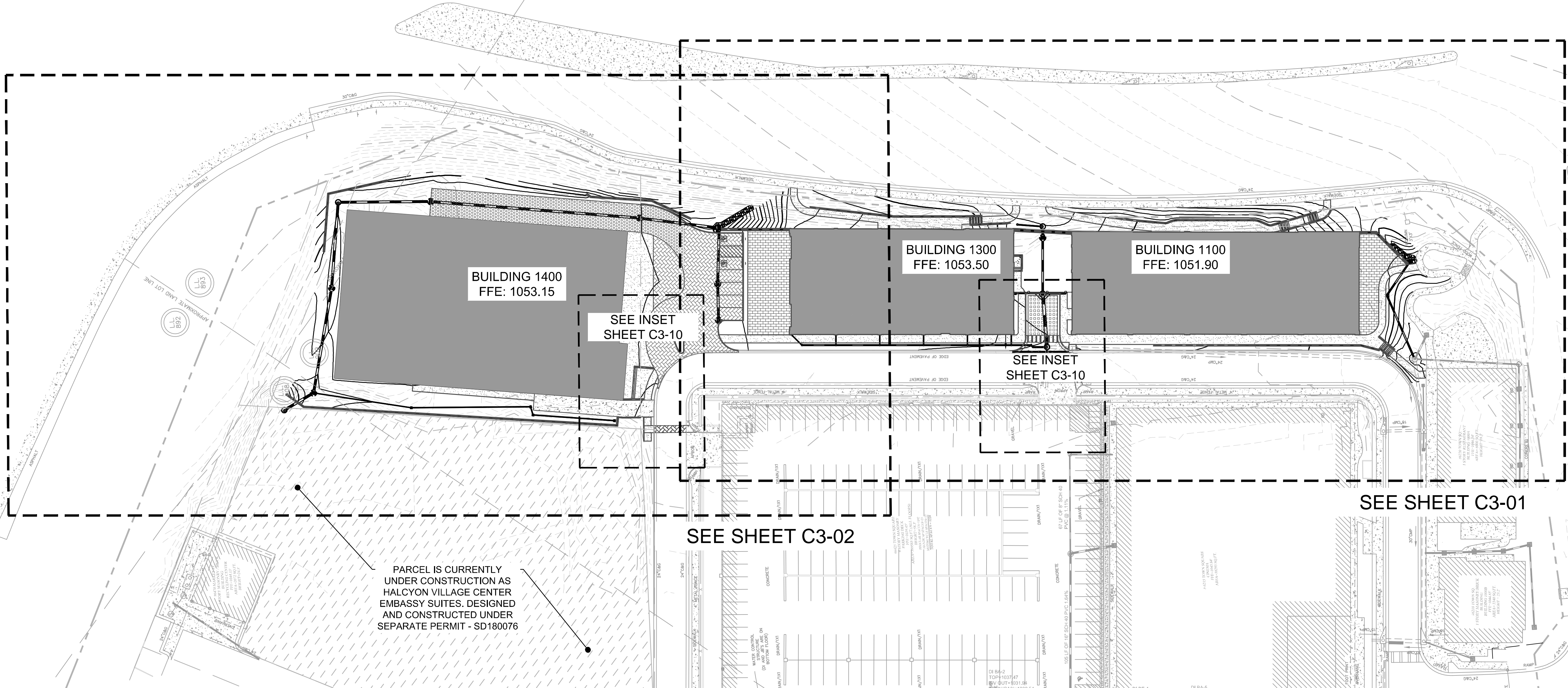
DETAILED SITE PLAN

SHEET NUMBER
C2-02

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ATLANTA, GA 30338
PHONE: (770) 819-4281
WWW.KIMLEY-HORN.COM

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

Drawing name: K:\A\PRJ\013623001_Halcyon - Village District\CAD\PlanSheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C3-00 OVERALL Apr 24, 2020 3:52pm by: Russell Noah



GRADING & DRAINAGE NOTES:

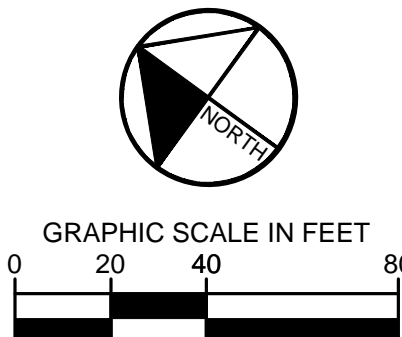
- SITE AREA: 12.69 ACRES
DISTURBED AREA: 2.33 ACRES
- CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
- ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
- ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- NO GRADED SLOPE SHALL EXCEED 2H:1V
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

STORM DRAINAGE LEGEND:

- | | | |
|------|--|--|
| JB | | JUNCTION BOX (48" PRECAST) |
| CI | | HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) |
| GI | | GRATE INLET (GDOT 10191A, TYPE A) |
| SWCB | | SINGLE WING CATCH BASIN (GDOT 1033D) |
| DWCB | | DOUBLE WING CATCH BASIN (GDOT 1034D) |
| YD | | YARD DRAIN (NDS CATCH BASIN OR COMPARABLE) |
| CO | | CLEAN OUT |
| TD | | TRENCH DRAIN (DURATRENCH) |
| | | PROPOSED ROOF DRAIN PIPE |
| | | PROPOSED STORM PIPE |

GRADING LEGEND:

- | | |
|--|-------------------------------------|
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | PROPOSED SPOT GRADE |
| | PROPOSED TOP GRADE AT WALL |
| | PROPOSED BOTTOM GRADE AT WALL |
| | PROPOSED TOP OF STAIR GRADE |
| | PROPOSED BOTTOM OF STAIR GRADE |
| | PROPOSED HIGH POINT GRADE |
| | PROPOSED LOW POINT GRADE |
| | PROPOSED TOP OF CURB GRADE |
| | PROPOSED BOTTOM OF CURB GRADE |
| | MATCH EXISTING GRADE |
| | EXISTING GRADE (FOR REFERENCE ONLY) |
| | DRAINAGE FLOW ARROW |



GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
ALABAMA PROJECT NO. 00009
PHONE: (770) 819-4281
WWW.KIMLEY-HORN.COM

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

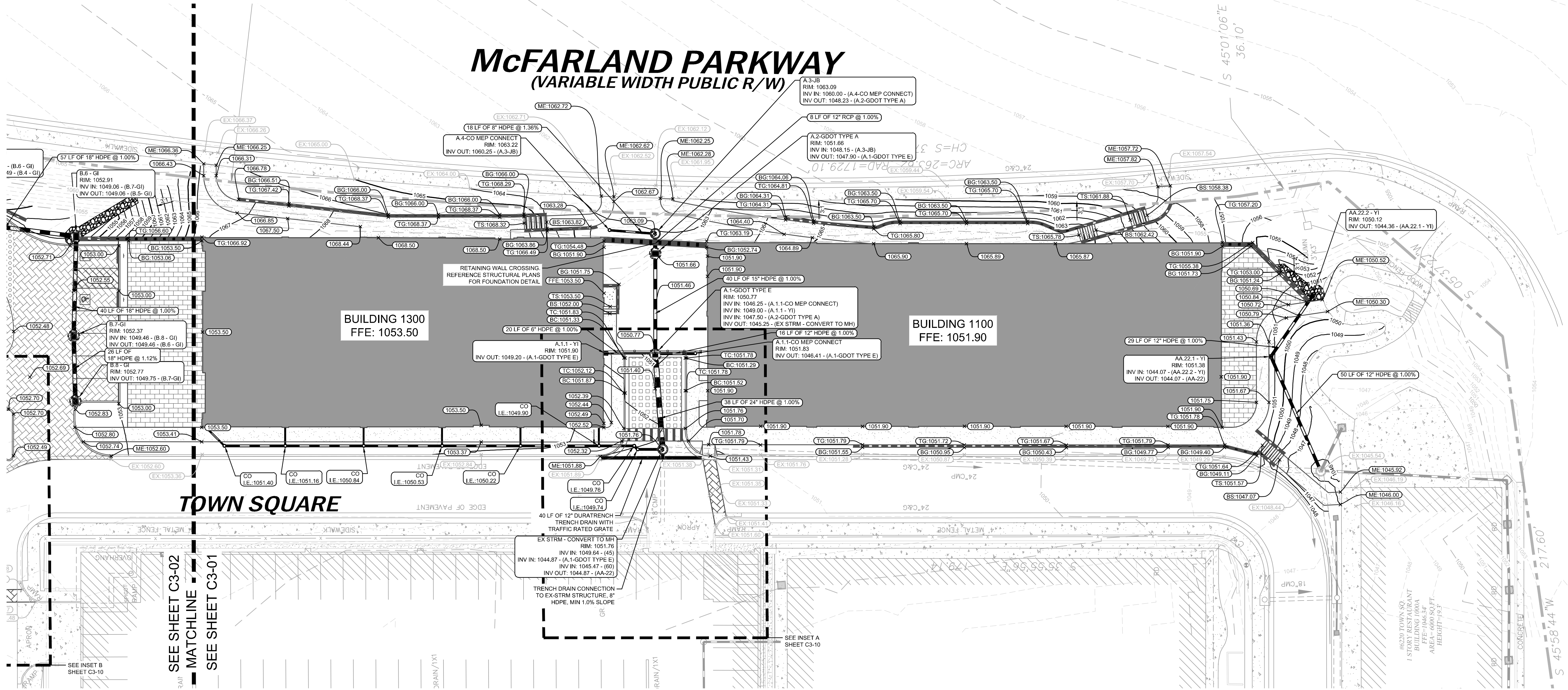


GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

TITLE **OVERALL GRADING AND DRAINAGE PLAN**
SHEET NUMBER **C3-00**

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

McFARLAND PARKWAY (VARIABLE WIDTH PUBLIC R/W)



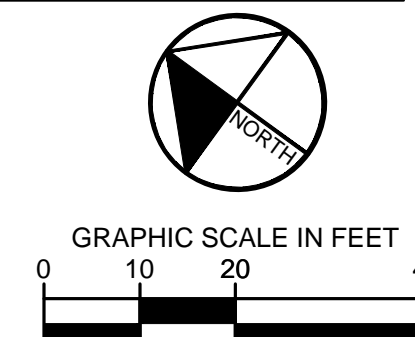
STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (48" PRECAST)
- CI HOODED GRATE CURB INLET (GDOT 1019A, TYPE E)
- GI GRATE INLET (GDOT 10191A, TYPE A)
- SWCB SINGLE WING CATCH BASIN (GDOT 1033D)
- DWCB DOUBLE WING CATCH BASIN (GDOT 1034D)
- YD YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CO CLEAN OUT
- TD TRENCH DRAIN (DURATRENCH)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE

GRADING LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED TOP GRADE AT WALL
- PROPOSED BOTTOM GRADE AT WALL
- PROPOSED TOP OF STAIR GRADE
- PROPOSED BOTTOM OF STAIR GRADE
- PROPOSED HIGH POINT GRADE
- PROPOSED LOW POINT GRADE
- PROPOSED TOP OF CURB GRADE
- PROPOSED BOTTOM OF CURB GRADE
- MATCH EXISTING GRADE
- EXISTING GRADE (FOR REFERENCE ONLY)
- DRAINAGE FLOW ARROW

GEORGIA811
Utility Protection Center, Inc.
Know what's below.
Call before you dig.



Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (770) 619-4281
WWW.KIMLEY-HORN.COM

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5854

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

TITLE **DETAILED GRADING AND DRAINAGE PLAN**
SHEET NUMBER **C3-01**

FLORIDA STATE ROUTE #400
1/4 TURNER McDONALD PARKWAY
(VARIABLE WIDTH, LIMITED ACCESS PUBLIC R/W)

PROPOSED CONNECTION TO EXISTING
STRUCTURE A-5 TO BE INSTALLED AS A
PART OF EMBASSY SUITES
CONSTRUCTION. CONTRACTOR TO FIELD
VERIFY EXISTING INVERT AND NOTIFY
KIMLEY-HORN OF ANY CONFLICT.

APPROXIMATE BG: 1044.14
CONTRACTOR TO
COORDINATE WALL WITH
EMBASSY SUITES
CONSTRUCTION

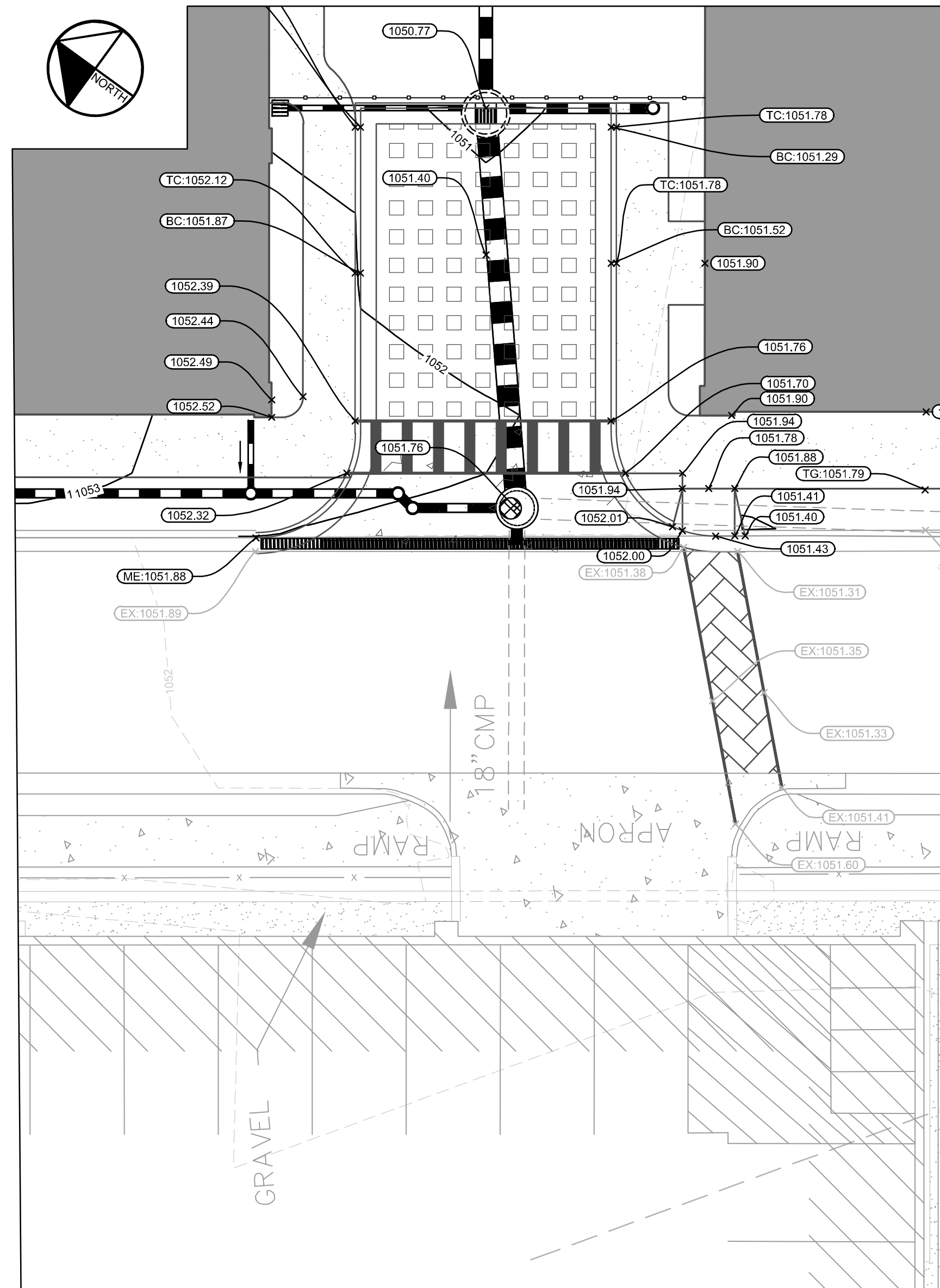
B.1.2 - YI
RIM: 1052.68
INV IN: 1049.85 - (B.1.3 - YI)
INV OUT: 1049.85 - (B.1.1 - YI)

GRAPHIC SCALE IN FEET

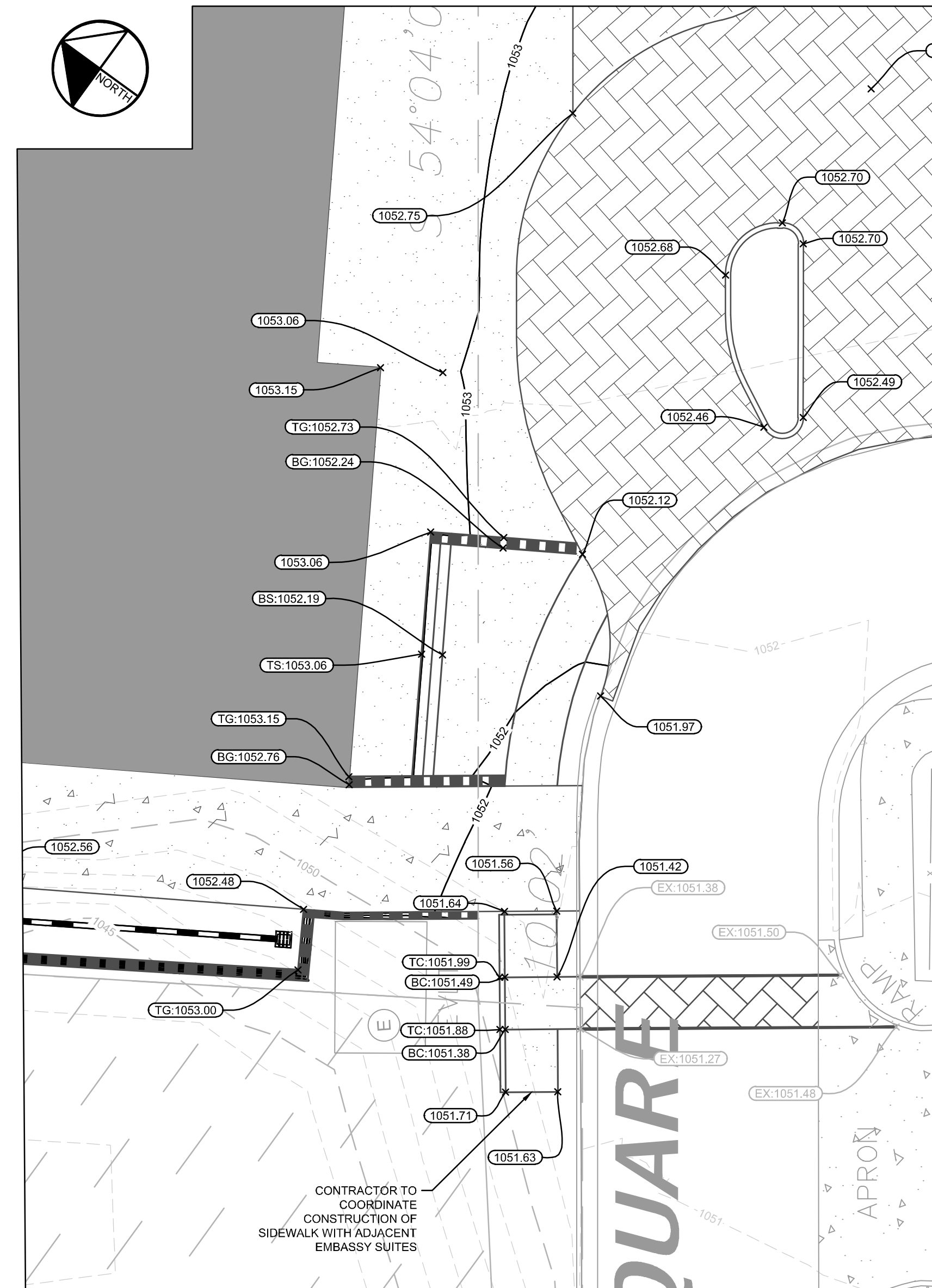
0 10 20 40

TITLE	DETAILED GRADING AND DRAINAGE PLAN
SHEET NUMBER	C3-02

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.










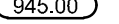

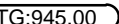

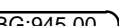





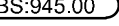

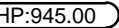
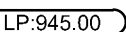


INSET A
SCALE: 1" = 10'













INSET B
SCALE: 1" = 10'

GRADING LEGEND:

- | | | |
|---|---|-------------------------------------|
|  | 950 | EXISTING MAJOR CONTOUR |
|  | 948 | EXISTING MINOR CONTOUR |
|  | 945 | PROPOSED MAJOR CONTOUR |
|  | 944 | PROPOSED MINOR CONTOUR |
|  |  | PROPOSED SPOT GRADE |
|  |  | PROPOSED TOP GRADE AT WALL |
|  |  | PROPOSED BOTTOM GRADE AT WALL |
|  |  | PROPOSED TOP OF STAIR GRADE |
|  |  | PROPOSED BOTTOM OF STAIR GRADE |
|  |  | PROPOSED HIGH POINT GRADE |
|  |  | PROPOSED LOW POINT GRADE |
|  |  | PROPOSED TOP OF CURB GRADE |
|  |  | PROPOSED BOTTOM OF CURB GRADE |
| | | MATCH EXISTING GRADE |
| | | EXISTING GRADE (FOR REFERENCE ONLY) |
|  | | DRAINAGE FLOW ARROW |

STORM DRAINAGE LEGEND:

- | | | |
|------|---|--|
| JB |  | JUNCTION BOX (48" PRECAST) |
| CI |  | HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) |
| GI |  | GRATE INLET (GDOT 1019A, TYPE A) |
| SWCB |  | SINGLE WING CATCH BASIN (GDOT 1033D) |
| DWCB |  | DOUBLE WING CATCH BASIN (GDOT 1034D) |
| YD |  | YARD DRAIN (NDS CATCH BASIN OR COMPARABLE) |
| CO |  | CLEAN OUT |
| TD |  | TRENCH DRAIN (DURATRENCH) |
| |  | PROPOSED ROOF DRAIN PIPE |
| |  | PROPOSED STORM PIPE |

Drawing name: K:\ALP_PRJ\013623001_ Halcyon - Village District\CAD\PlanSheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C3-10 GRADING INSETS Apr 24, 2020 10:16am by: casie.connolly

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE (770) 619-4280
WWW.KIMLEY-HORN.COM

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

[illegible]

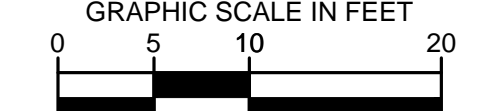
HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



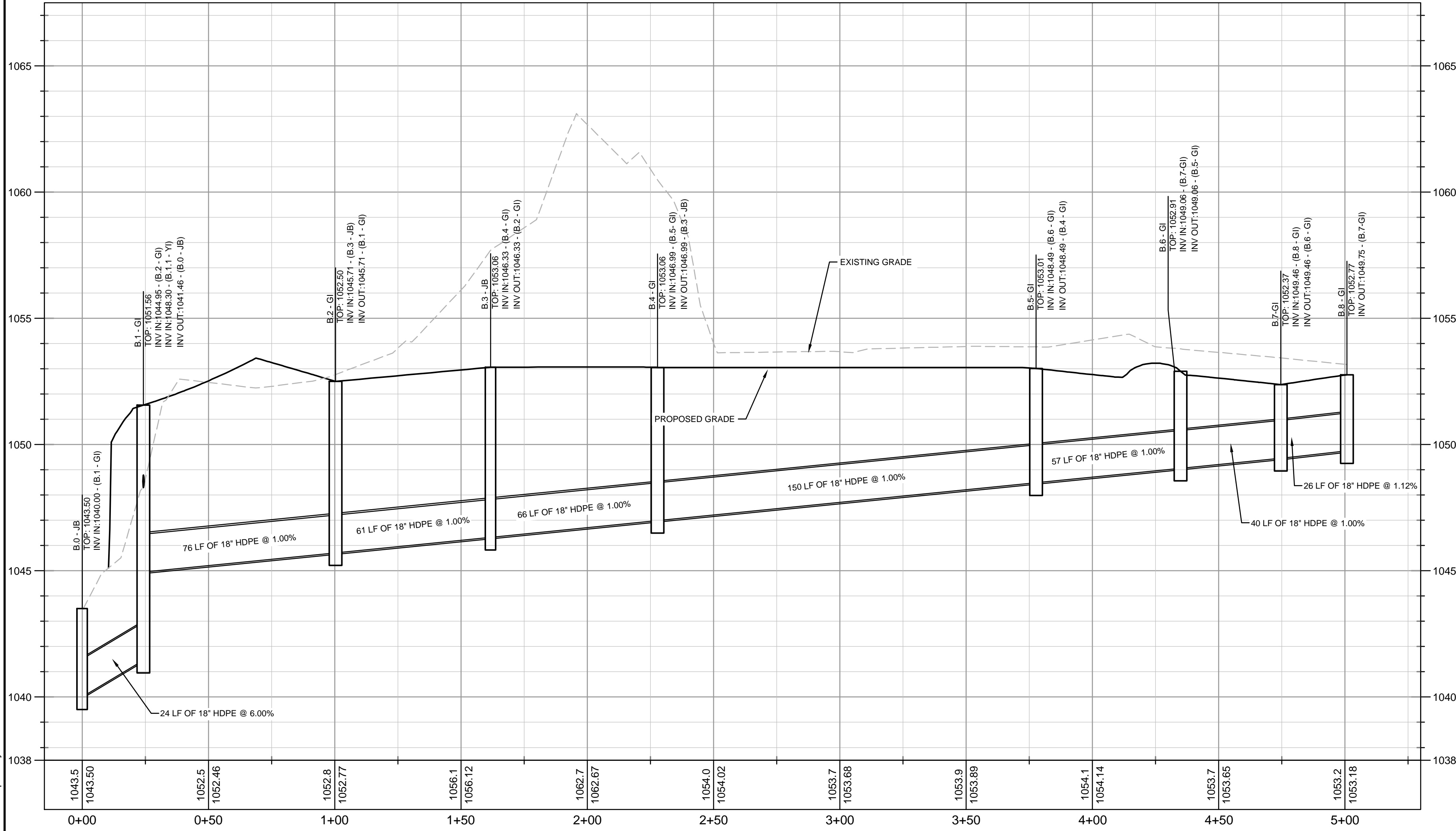
GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001

GRADING INSETS

SHEET NUMBER
C3-10

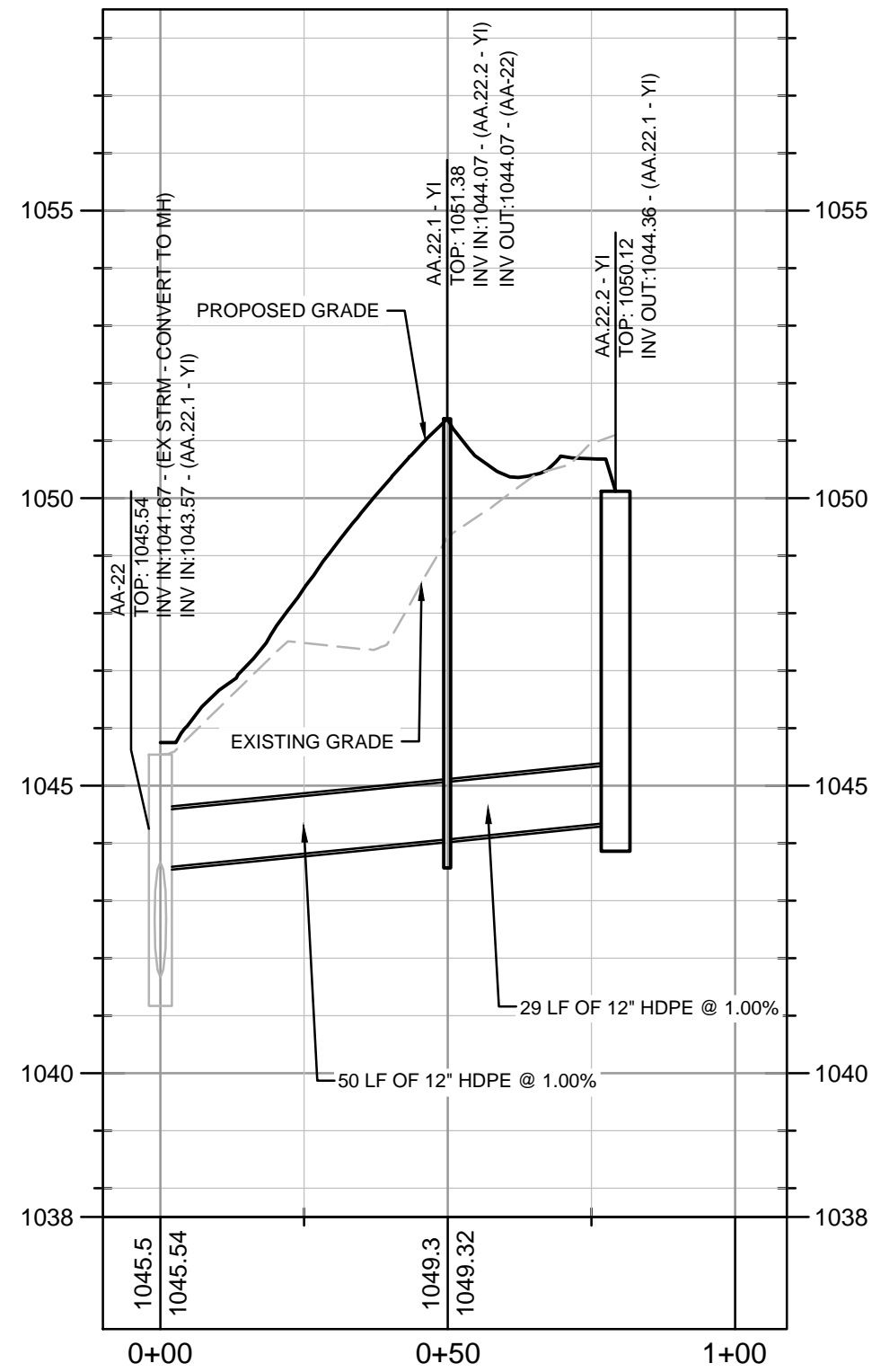


Drawing name: K:\ALP_PRJ\013623001_Halcyon - Village District\CAD\PlanSheets\C3-50 - STORM SEWER PROFILES.dwg C3-50 - STORM SEWER PROFILES Apr 24, 2020 3:54pm by Russell Noah



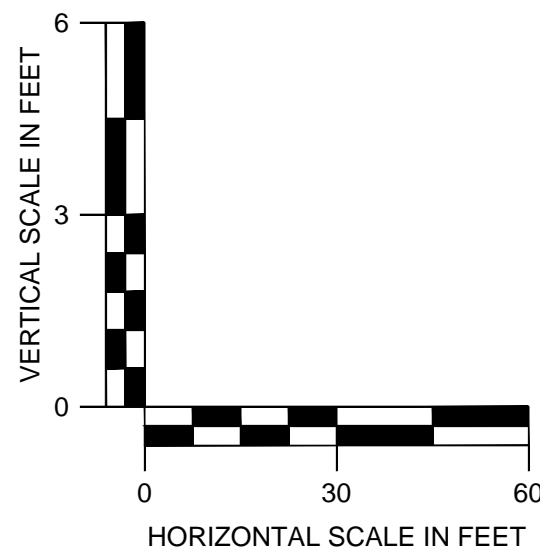
PROFILE VIEW

B.0 TO B.8
1" = 30' HORIZ.
1" = 3' VERT.

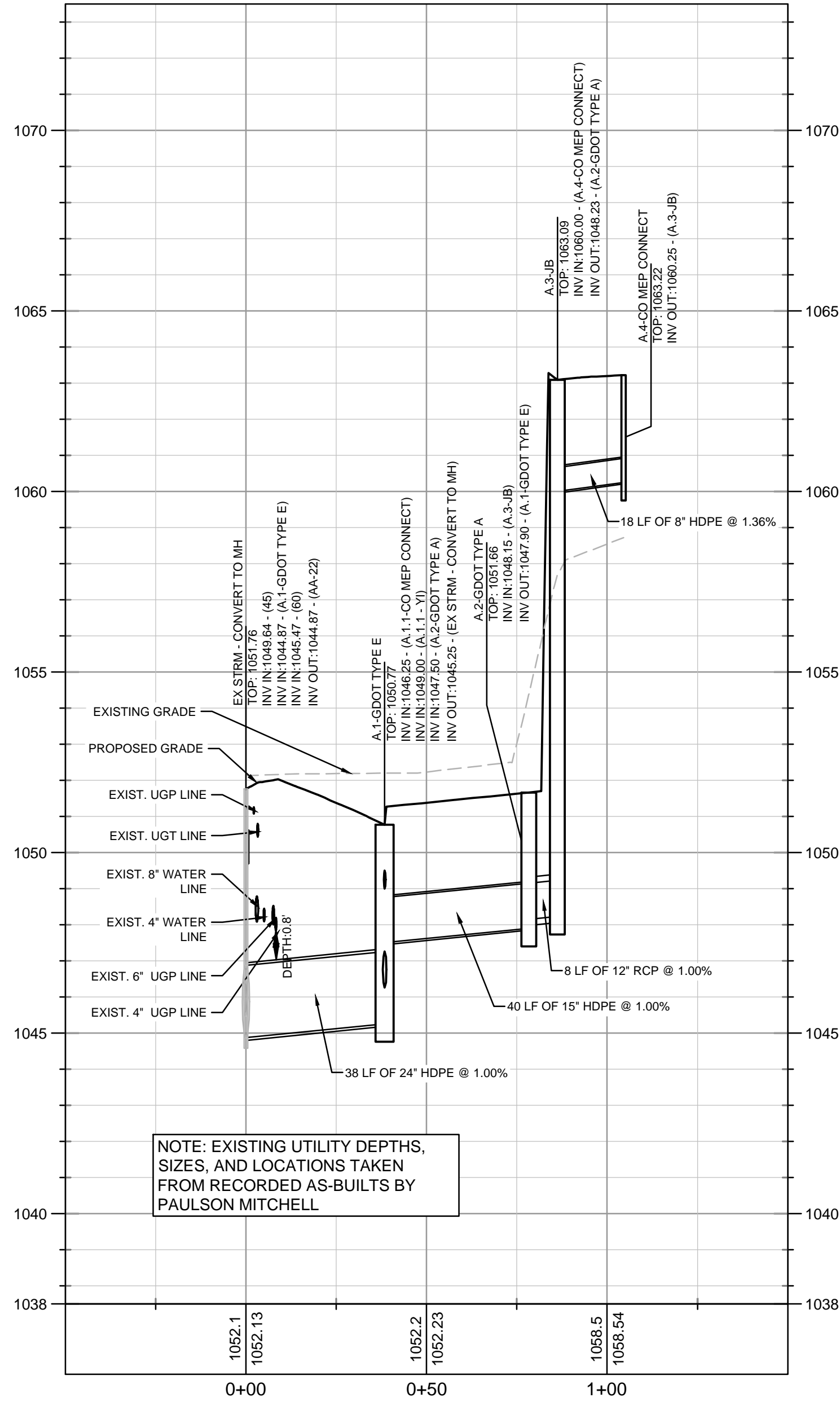


PROFILE VIEW

EX AA.22 TO AA.22.2
1" = 30' HORIZ.
1" = 3' VERT.



GEORGIA811.
Utilities Protection Center, Inc.
Know what's below.
Call before you dig.



PROFILE VIEW

EX STRM TO A.4
1" = 30' HORIZ.
1" = 3' VERT.

PROFILE LINE LEGEND:

- PROPOSED GRADE LINE
- EXISTING GRADE LINE
- 25-YR HYDRAULIC GRADE LINE
- 100-YR HYDRAULIC GRADE LINE

RCP PIPE CLASSIFICATION CHART:

1-15' CLASS III
15'-20' CLASS IV
20'-30' CLASS V

ALL CONCRETE PIPE SHALL BE A MINIMUM CLASS III WITH 12" MINIMUM COVER. REFERENCE GDOT DETAIL 1030D FOR ADDITIONAL GUIDANCE.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

HDPE SHALL BE INSTALLED PER GDOT SPECIAL PROVISION, SECTION 550.

STORM DRAINAGE PROFILE NOTES:

- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- ALL STORM PIPE SHALL HAVE BEDDING PER BEDDING DETAILS IN CONSTRUCTION DETAIL SHEETS.
- ALL STORM PIPING TO BE RCP UNLESS OTHERWISE NOTED. SEE CHART FOR PIPE CLASS.
- RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL REFERENCE GRADING PLAN FOR STRUCTURE THROAT / RIM ELEVATIONS.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- ALL STORM JOINTS TO BE WATER TIGHT.

PREPARED FOR

PREPARED BY

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5954

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ATLANTA, GA 30338
PHONE: (770) 819-4280
WWW.KIMLEY-HORN.COM

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

TITLE
STORM SEWER PROFILES

SHEET NUMBER
C3-50

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

CONSTRUCTION NOTES:

1. NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
2. FCDWS SPECS (DIVISION IV, SEC 5.02) - PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 04/24/2020

SIGNATURE: 

DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 04/24/2020

SIGNATURE: 

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

UTILITY PLAN

SHEET NUMBER
C4-00

FORSYTH COUNTY WATER/SEWER NOTES:

1. NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
2. WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
3. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.
4. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES.
6. ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350.
7. WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.
8. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
9. SHORT SIDE SERVICES SHALL BE 3" COPPER.
10. LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH 3/4" WYES AT LOT CORNERS.
11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB.
12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27.
13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS.
14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
16. 300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
17. ALL VALVES SHALL BE GATE VALVES.
18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
19. NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
20. LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.
21. ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN.
23. SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.
24. NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON DSANITARY SEWER EASEMENTS.
25. SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.
26. NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
27. NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM.
28. 16" IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16" WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
29. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
30. SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
31. WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.
32. SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
33. PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
34. INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.

NOTE:
EXISTING UTILITY RIM, INVERTS, SIZES, AND LOCATIONS TAKEN FROM RECORDED AS-BUILTS FOR HALCYON VILLAGE CENTER PREPARED BY PAULSON MITCHELL AND RECORDED WITH FORSYTH COUNTY. TELECOM, ELECTRICAL, AND COMMUNICATIONS LINES TAKEN FROM SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

- THE CLEANOUTS IN PAVEMENT SHALL USE FORSYTH COUNTY DETAIL NUMBER 61.0.
- 3" AND LARGER TURBINE METERS REQUIRE STRAINERS BEFORE METER AND PRESSURE REDUCING VALVE AFTER BACKFLOW.
- MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C 1244.
- VACUUM TESTING WILL NEED TO BE COMPLETED BEFORE FINAL PLAT.

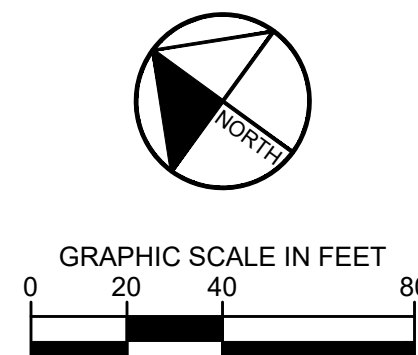
UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

UTILITY LEGEND:

- | | |
|---------|----------------------------------|
| — W — | PROPOSED WATER LINE |
| — UGP — | PROPOSED ELECTRIC LINE |
| — UST — | PROPOSED TELEPHONE LINE |
| — G — | PROPOSED NATURAL GAS LINE |
| — SS — | PROPOSED SANITARY SEWER PIPE |
| ○ | PROPOSED SANITARY SEWER CLEANOUT |
| ○ | SANITARY SEWER MANHOLE |
| ○ | SANITARY SEWER GREASE TRAP |
| ○ | WATER VALVE |
| ○ | FIRE DEPARTMENT CONNECTION (FDC) |
| ○ | FIRE HYDRANT |
| ○ | POST INDICATOR VALVE (PIV) |
| ○ | WATER MAIN TAPPING SLEEVE |
| ○ | WATER CONNECTIONS AND BENDS |

GEORGIA811
UNITE Protection Center, Inc.
Know what's below.
Call before you dig.



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

CONSTRUCTION NOTES:

1. NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
2. FCDWS SPECS (DIVISION IV, SEC 5.02) - PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

DESIGN ENGINEER CERTIFICATION:

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 04/24/2020

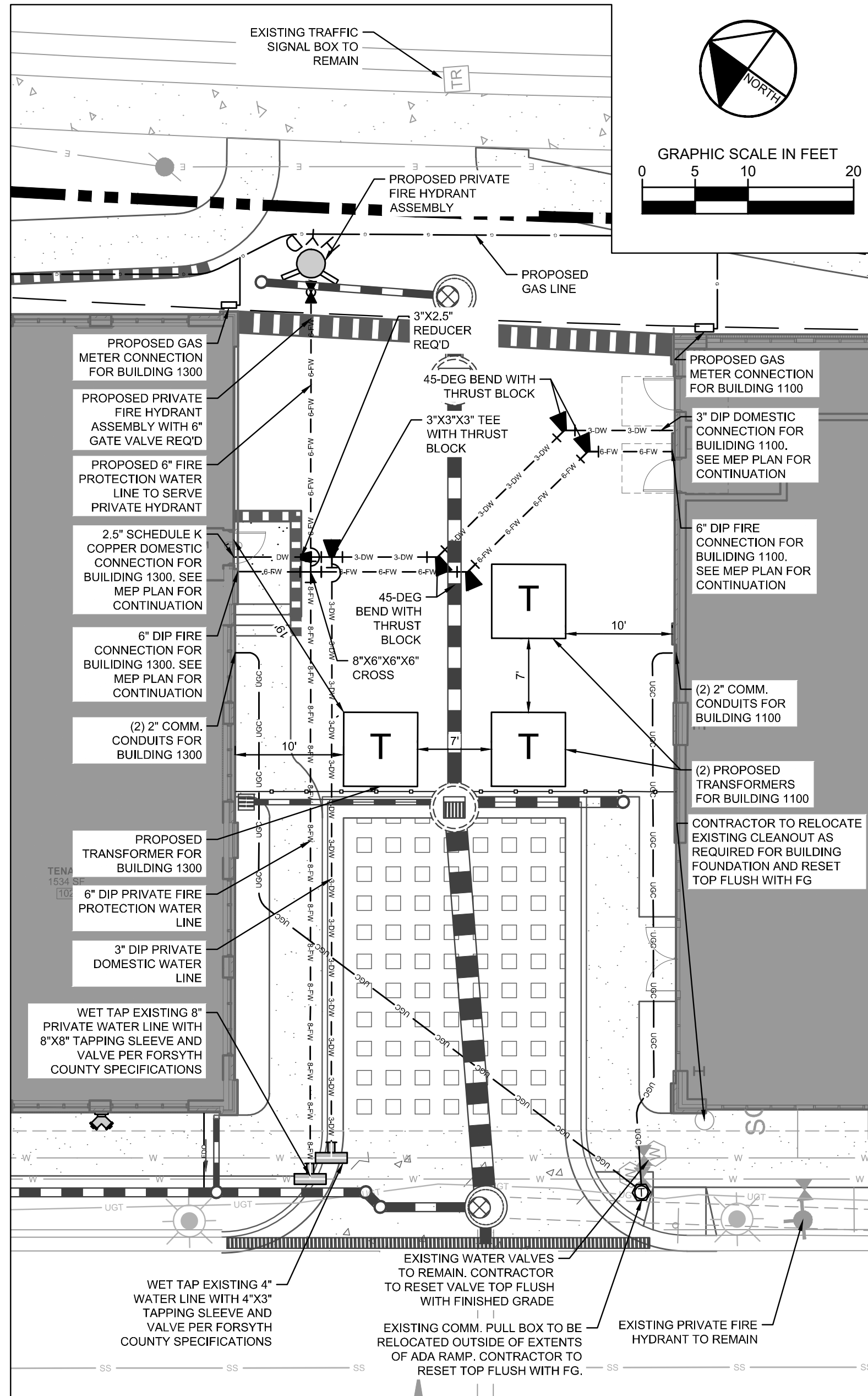
SIGNATURE: _____

DESIGN ENGINEER CERTIFICATION:

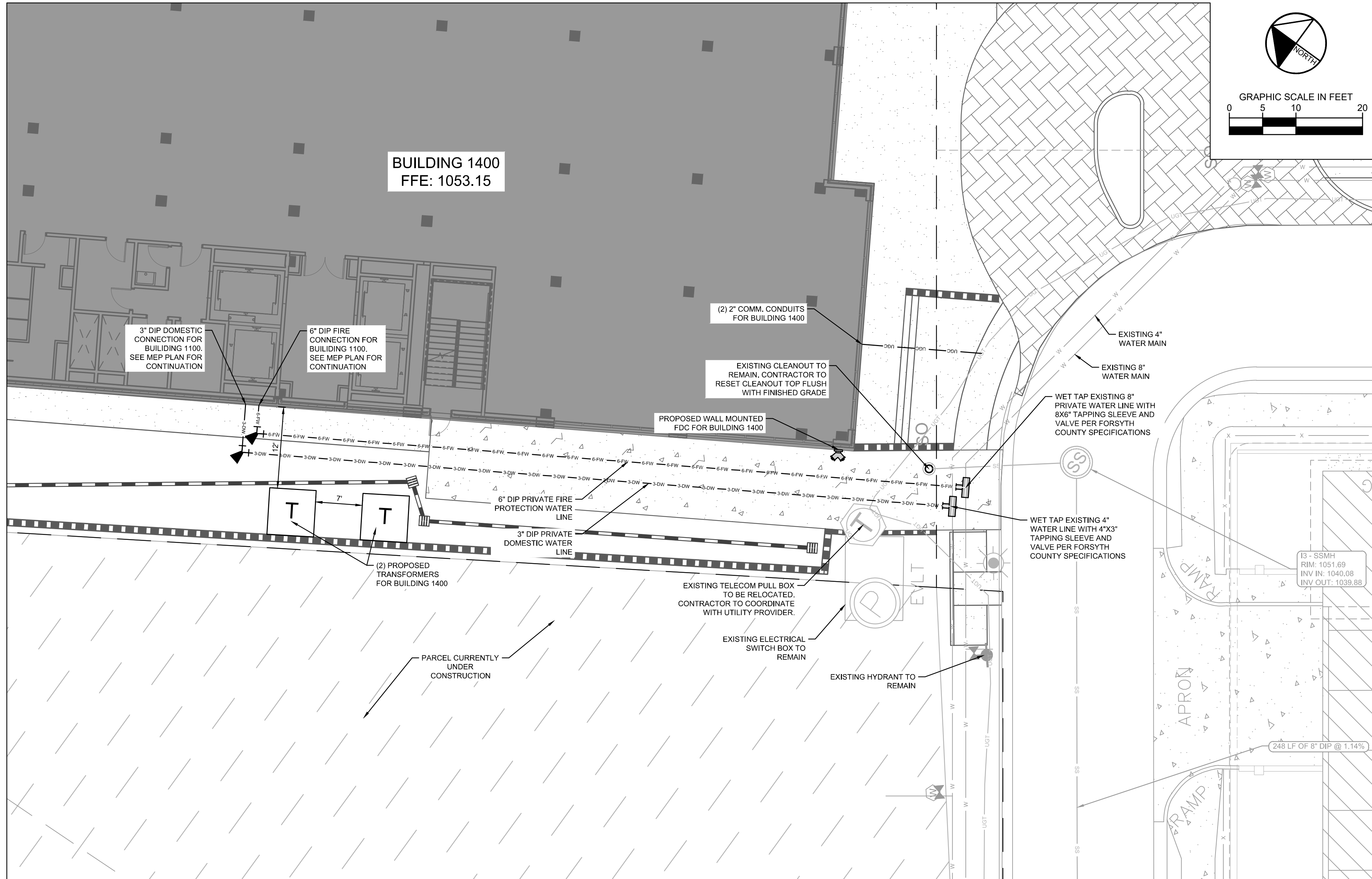
I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS."

DATE 04/24/2020

SIGNATURE: _____



INSET A



NOTE:
EXISTING UTILITY RIM, INVERTS, SIZES, AND LOCATIONS TAKEN FROM RECORDED AS-BUILTS FOR HALCYON VILLAGE CENTER PREPARED BY PAULSON MITCHELL AND RECORDED WITH FORSYTH COUNTY. TELECOM, ELECTRICAL, AND COMMUNICATIONS LINES TAKEN FROM SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

FORSYTH COUNTY WATER/SEWER NOTES:

1. NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
2. WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
3. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.
4. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, **BEFORE** INITIATING EXCAVATION ACTIVITIES.
6. ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350.
7. WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.
8. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
9. SHORT SIDE SERVICES SHALL BE 3" COPPER.
10. LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH 3" WYES AT LOT CORNERS.
11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB.
12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27.
13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS.
14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
16. 300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
17. ALL VALVES SHALL BE GATE VALVES.
18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
19. NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
20. LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.
21. ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN.
23. SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.
24. NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON SANITARY SEWER EASEMENTS.
25. SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.
26. NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
27. NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM.
28. 16" IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16" WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
29. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
30. SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
31. WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.
32. SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
33. PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
34. INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.

UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

UTILITY LEGEND:

— W —	PROPOSED WATER LINE
— UGP —	PROPOSED ELECTRIC LINE
— UST —	PROPOSED TELEPHONE LINE
— G —	PROPOSED NATURAL GAS LINE
— SS —	PROPOSED SANITARY SEWER PIPE
○	PROPOSED SANITARY SEWER CLEANOUT
⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER GREASE TRAP
⊙	WATER VALVE
⊙	FIRE DEPARTMENT CONNECTION (FDC)
⊙	FIRE HYDRANT
⊙	POST INDICATOR VALVE (PIV)
⊙	WATER MAIN TAPPING SLEEVE
⊙	WATER CONNECTIONS AND BENDS

GEORGIA811
UNITE Protection Center, Inc.
Know what's below.
Call before you dig.

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (770) 619-4280
WWW.KIMLEY-HORN.COM

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.655.5954

PREPARED FOR	DATE	BY
ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

TITLE

UTILITY INSETS

SHEET NUMBER
C4-10

Drawing name: K:\ALP_PRJ\013623001_Halcyon - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg C5-00 EROSION CONTROL NOTES Apr 24, 2020 1:59pm by: Russel Noah

2



GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

DEREK M. ZITTRAUER

Level II Certified Design Professional

CERTIFICATION NUMBER

0000076500

ISSUED: 03/10/2019

EXPIRES: 03/10/2022

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST									
COMMON DEVELOPMENT CONSTRUCTION PROJECTS (PRIMARY AND TERTIARY PERMITTEES)									
SWCD: REGION 2 (UPPER CHATTAHOOCHEE RIVER)									
Project Name: HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400					Address: TOWN SQUARE, ALPHARETTA, GA 30005				
City/County: FORSYTH COUNTY					Date on Plans: 04/24/2020				
Name & email of person filling out checklist: DEREK ZITTRAUER, P.E. (derek.zittrauer@kimley-horn.com)									
TO BE SHOWN ON ES&PC PLAN									
Plan		Included							
Page #		Y/N							
C5-00		Y		1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)					
C5-00-04, C5-10-30, C5-80-81		Y		2. Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed)					
N/A		N		3. Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist. (A copy of the written approval by EPD must be attached to the plan for the plan to be reviewed.)					
C0-00, C5-04, C5-10-30		Y		4. The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.					
C0-00, C5-04, C5-10-30		Y		5. Provide the name, address, email address, and phone number of primary permittee or tertiary permittee.					
C0-00, C5-10-30		Y		6. Note total and disturbed acreage of the project or phase under construction.					
C5-10-30		Y		7. Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.					
C0-00, C5-10-30		Y		8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.					
C5-03		Y		9. Description of the nature of construction activity.					
C0-00, C5-04		Y		10. Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.					
C5-03, C5-10-30		Y		11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.					
C5-01		Y		12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 23 of the permit.					
C5-01		Y		13. Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 22 of the permit.*					
C5-02, C5-10-30		Y		14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV A.5 page 27 of the permit.*					
C5-02, C5-10-30		Y		15. Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."					
N/A		N		16. Provide a description of any buffer encroachments and indicate where a buffer variance is required.					
C5-03, C5-10-30		Y		17. Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."					
C5-03, C5-10-30		Y		18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit."					
C5-03, C5-10-30		Y		19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."					
C5-03, C5-10-30		Y		20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."					
C5-03, C5-10-30		Y		21. Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."					
C5-01-04		Y		22. Indication that the applicable portion of the primary permittees ES&PC Plan is to be provided to each secondary permittee prior to the secondary conducting any construction activity and that each secondary shall sign the Plan or portion of the Plan applicable to their site. List the names and addresses of all secondary permittees.*					
N/A		N		23. Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of an Biota Impaired Stream Segment must comply with Part III.C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment."					
N/A		N		24. If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 23 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan."					
C5-10-30, C5-81		Y		25. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited."					
C5-02		Y		26. Provide BMPs for the remediation of all petroleum spills and leaks.					
C5-01		Y		27. Description of the practices to provide cover for building materials and building products on site."					
C5-04		Y		28. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed."					
C5-01		Y		29. Description of the practices that will be used to reduce the pollutants in storm water discharges."					
C5-04		Y		30. Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).					
C5-02		Y		31. Provide complete requirements of inspections and record keeping by the primary permittee."					
C5-03		Y		32. Provide complete requirements of sampling frequency and reporting of sampling results."					
C5-02		Y		33. Provide complete details for retention of records as per Part IV.F. of the permit.					
C5-03		Y		34. Description of analytical methods to be used to collect and analyze the samples from each location."					
N/A		N		35. Appendix B rationale for NTU values at all outfall sampling points where applicable."					
C5-10-30		Y		36. Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged."					
C5-10-30		Y		37. A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase.					
				38. Plan addresses BMPs for all phases of common development including individual building lots and out-parcels, etc. regardless of who owns or operates the individual sites. Include a typical and any situational lots applicable.					
C5-10-30		Y		39. Graphic scale and North arrow.					
C5-10-30		Y		40. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:					
				Map Scale	Ground Slope	Contour Intervals, ft.			
				1 inch = 100 ft or larger scale	Flat 0 - 2%	0.5 or 1			
					Rolling 2 - 8%	1 or 2			
					Steep 8% +	2.5 or 10			
N/A		N		41. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gswcc.org.					
N/A		N		42. Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion and Sediment Control in Georgia 2016 Edition."					
N/A		N		43. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.					
N/A		N		44. Delineation of on-site wetlands and all State waters located on and within 200 feet of the project site.					
C5-10-30		Y		45. Delineation and acreage of contributing drainage basins on the project site.					
SEE HYDRO		Y		46. Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions."					
C5-03		Y		47. An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.					
C5-80		Y		48. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.					
C5-10-30		Y		49. Soil series for the project site and their delineation.					
C5-10-30		Y		50. The limits of disturbance for each phase of construction.					
C5-10-30, C5-82		Y		51. Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by the professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the plan.					
C5-10-30, C5-04		Y		52. Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.					
C5-80-82		Y		53. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.					
C5-80		Y		54. Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.					
** This requirement of the Common Development permit is not applicable to Tertiary Permittees with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre. If applicable, the * checklist item would be N/A									
Effective January 1, 2020									

PREPARED BY

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (770) 619-4281
WWW.KIMLEY-HORN.COM


GT-RP HALCYON

309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5854

PROJECT

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

REGISTRATION



DEREK M. ZITTRAUER

GSWCC NO. (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

DMZ

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EROSION
CONTROL
NOTES

SHEET NUMBER

C5-00

Part IV. EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN

A SITE-SPECIFIC EROSION SEDIMENTATION AND POLLUTION CONTROL PLAN (PLAN) SHALL BE DESIGNED, INSTALLED AND MAINTAINED FOR THE ENTIRE CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT. THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY A DESIGN PROFESSIONAL AS DEFINED BY THIS PERMIT. ALL PERSONS INVOLVED IN PLAN PREPARATION SHALL HAVE COMPLETED THE APPROPRIATE CERTIFICATION COURSE, PURSUANT TO O.C.G.A. 12-2-19 (b), APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION. THE DESIGN PROFESSIONAL PREPARING THE PLAN MUST INCLUDE AND SIGN THE FOLLOWING CERTIFICATION IN THE PLAN.

12 I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

04/24/2020
DATE


DESIGN PROFESSIONAL'S SIGNATURE

(b) "I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

04/24/2020
DATE

DESIGN PROFESSIONAL'S SIGNATURE

03/10/2022
EXPIRATION DATE

0000076500
LEVEL II CERTIFICATION NUMBER

THE PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND O.C.G.A. 12-7-6, AS WELL AS THE FOLLOWING:

(j). EXCEPT AS PROVIDED IN PART IV (ii), BELOW, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION. THIS BUFFER SHALL BE MEASURED FROM THE POINT OF WRESTING, NOT AT LEAST AS A PROTECTIVE OF NATURAL RESOURCES AND THE ENVIRONMENT IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A DRAINAGE STRUCTURE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED, OR ALONG ANY OTHER STATE WATER, INCLUDING BUT NOT LIMITED TO LAKES, RIVERS, AND CREEKS, WHERE THERE IS EROSION OF THE SHORELINE ON LAKE OCONEE OR LAKE SINGLETON, THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (2) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER.
- (3) STREAM CROSSINGS FOR UTILITY LINES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.
- (4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED TO MINIMIZE THE NUMBER OF LAND DISTURBANCE CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION;
- (6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT;
- (7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND
- (8) MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE

(ii) NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS "TROUT STREAMS" OR "TROUT CREEKS" UNLESS THE PROJECT DIRECTOR HAS DETERMINED THAT SUCH ACTIVITIES ARE IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-8, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED; PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS "TROUT STREAMS" WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITTEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE TO THE BUFFER REQUIREMENT, BOARDS OF SUPERVISORS SHALL HAVE THE AUTHORITY TO GRANT SUCH TO EPTD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF

WATER DISCHARGED BY THE STREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY, AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (4) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (5) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER
- (6) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.
- (4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OF DISTURBED AREAS WITHIN THE BUFFER
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED TO MINIMIZE THE NUMBER OF CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION.
- (6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION THROUGH THE TOLL AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.
- (7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND
- (8) MAINTENANCE (EXCLUDING DREDGING, REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL IDENTIFY ALL POTENTIAL SOURCES OF POLLUTION WHICH MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE. IN ADDITION, THE PLAN SHALL DESCRIBE AND THE APPLICABLE PERMITTEE SHALL ENSURE THE IMPLEMENTATION OF PRACTICES WHICH WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT THE SITE AND TO ASSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE APPLICABLE PERMITTEE MUST IMPLEMENT AND MAINTAIN THE PROVISIONS OF THE PLAN REQUIRED UNDER THIS PART AS A CONDITION OF THIS PERMIT.

EXCEPT AS PROVIDED IN PART IV.A.2., A SINGLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY THE PRIMARY PERMITTEE FOR THE STAND ALONE CONSTRUCTION PROJECT.

A. DEADLINES FOR PLAN PREPARATION AND COMPLIANCE

3. EXCEPT AS PROVIDED IN PART IV.A.2., AND PART IV.A.6., THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE COMPLETED PRIOR TO SUBMITTING THE NOI AND PRIOR TO CONDUCTING ANY CONSTRUCTION ACTIVITY BY ANY PERMITTEE.
2. FOR CONSTRUCTION ACTIVITIES THAT BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT AND WERE SUBJECT TO THE REGULATIONS UNDER THE PREVIOUS PERMIT, THE PERMITTEE(S) SHALL CONTINUE TO OPERATE UNDER THE EXISTING PLAN.
3. FOR CONSTRUCTION ACTIVITIES THAT BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE SHALL BE REQUIRED TO PREPARE THE PLAN FOR THAT PHASE OF THE STAND ALONE DEVELOPMENT THAT CORRESPONDS WITH THE NOI BEING SUBMITTED AND THE PRIMARY PERMITTEE(S) SHALL IMPLEMENT THE PLAN ON OR BEFORE THE DAY CONSTRUCTION ACTIVITIES BEGIN.
4. ADDITIONAL PLAN SUBMITTALS.
- a. FOR ALL PROJECTS IDENTIFIED UNDER PART I.C.1.b., WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, IN A JURISDICTION WHERE THERE IS NO CERTIFIED LOCAL ISSUING AUTHORITY REGULATING THAT PROJECT, A SINGLE COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD WATERSHED PROTECTION BRANCH AND A SECOND COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD DISTRICT OFFICE PRIOR TO OR CONCURRENT WITH THE NOI SUBMITTAL. THE SECOND COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE. THE EPD WATERSHED PROTECTION BRANCH WILL REVIEW PLANS FOR DEFICIENCIES USING THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.
- b. FOR SITES THAT ARE EQUAL TO OR GREATER THAN 50 ACRES OF DISTURBED AREA, REGARDLESS OF THE EXISTENCE OF A CERTIFIED LOCAL ISSUING AUTHORITY IN THE JURISDICTION, ONE OF THE FOLLOWING SUBMISSIONS IS ALSO REQUIRED:
- (i). FOR ALL PROJECTS WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.
- (ii). FOR ALL PROJECTS WHICH BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN, IF AMENDED, SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF

THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.

c. FOR ALL PROJECTS WHERE THE CONSTRUCTION ACTIVITY AS INDICATED ON THE EXISTING NOI HAS CHANGED, THE AMENDED PLANS MUST BE SUBMITTED IN ACCORDANCE WITH PART IV.A.4.a. IN ADDITION, THE PERMITTEE MUST FILE A CHANGE OF INFORMATION NOI IN ACCORDANCE WITH PART II.

5. FOR COMMON DEVELOPMENTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF EROSION CONTROL MEASURES AND BARRIERS. THE DESIGN PROFESSIONAL OR BMPs WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED. THIS REQUIREMENT IS NOT APPLICABLE TO TERTIARY PERMITTEES HOLDING A PERMIT FOR A TYPICAL INDIVIDUAL LOT(S), IF THE TOTAL LAND DISTURBANCE WITHIN THE CONSTRUCTION SITE IS LESS THAN FIVE (5) ACRES AND THE TOTAL LAND DISTURBANCE WITHIN EACH INDIVIDUAL LOT IS LESS THAN ONE (1) ACRE.
6. FOR STORM- OR EMERGENCY-RELATED REPAIR WORK, THE PERMITTEE SHALL IMPLEMENT APPROPRIATE BMPs AND CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE EVERY SEVEN (7) CALENDARED TERTIARY PERMITTEES HOLDING A PERMIT FOR A STORM THAT IS 0.5 INCHES OR GREATER. IF THE STORM- OR EMERGENCY-RELATED REPAIR WORK WILL NOT BE COMPLETED WITHIN SIXTY (60) DAYS OF COMMENCEMENT OF CONSTRUCTION ACTIVITY, A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO EPD AND THE PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT ON THE SIXTY-FIRST (61ST) DAY.

B. SIGNATURE AND PLAN REVIEW

- THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE SIGNED IN ACCORDANCE WITH PART IV., AND BE RETAINED ON THE SITE (OR, IF NOT POSSIBLE, AT A READILY ACCESSIBLE LOCATION) WHICH GENERATES THE STORM WATER DISCHARGE IN ACCORDANCE WITH PART IV. F. OF THIS PERMIT. THE PRIMARY PERMITTEE SHALL ENSURE, AS PROVIDED FOR ELSEWHERE IN THIS PERMIT, THAT EACH SECONDARY PERMITTEE IS PROVIDED WITH A COPY OF THE PLAN AND THAT THE SECONDARY PERMITTEE UNDERSTANDS THEIR ROLE IN IMPLEMENTING THE PLAN. THE SECONDARY PERMITTEE SHALL SIGN THE PLAN OR THE PORTION OF THE PLAN APPLICABLE TO THEIR SITE IN ACCORDANCE WITH PART V. G.1. AND THE PLAN OR APPLICABLE PORTION THEREOF SHALL BE RETAINED ON THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
2. THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) SHALL MAKE PLANS AVAILABLE UPON REQUEST TO THE EPD: TO DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. A SECONDARY SHALL MAKE THE PLAN OR PORTION OF THE PLAN APPLICABLE TO THEIR SITE AVAILABLE UPON REQUEST TO THE EPD; TO THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. THE PLAN MUST BE SUBMITTED TO EPD OR TO THE LOCAL GOVERNMENT WITHIN THREE BUSINESS DAYS OF SUCH NOTIFICATION OR WITHIN AN ALTERNATE TIME FRAME ESTABLISHED BY EPD.
3. EPD MAY NOTIFY THE PRIMARY, SECONDARY OR TERTIARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PART. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE PRIMARY OR TERTIARY PERMITTEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, EPD MAY NOTIFY THE SECONDARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PERMIT. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE SECONDARY PERMITTEE SHALL IMPLEMENT THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION AFTER THE EFFECTIVE DATE OF THIS PERMIT, WHEN EPD NOTIFIES A SECONDARY PERMITTEE OF ANY PLAN DEFICIENCIES, THE SECONDARY PERMITTEE MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF THE DEFICIENCIES. THE PRIMARY PERMITTEE MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENCIES BY THE END OF THE DAY OF NOTIFICATION. IF THE SECONDARY PERMITTEE REQUESTS WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ANY AND ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEES MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE.

C. KEEPING PLANS CURRENT.

THE PRIMARY, SECONDARY OR TERTIARY PERMITTEES, AS APPLICABLE, SHALL AMEND THEIR PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT (I.E., THOSE BMPs WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND RETURN FREQUENCY OF STORMS) OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART IV D.3. OF THIS PERMIT. AMENDMENTS TO THE PLAN MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT. SECONDARY PERMITTEES MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF BECOMING AWARE OF ANY SUSPECTED BMP DESIGNED DEFICIENCIES WHICH ARE NOT EFFECTIVE IN CONTROLLING THE DISCHARGE OF POLLUTANTS FROM THE SECONDARY PERMITTEE'S SITE. THE PRIMARY PERMITTEE MUST EVALUATE THE DEFICIENT BMP WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. IF DEFICIENCIES ARE FOUND TO EXIST MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPs WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEE(S) MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS AFFECTING THEIR SITE(S) WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE. NOTWITHSTANDING THE FOREGOING, THE PRIMARY OR TERTIARY PERMITTEE REMAINS RESPONSIBLE FOR INSURING THAT THE PLAN, AS APPROPRIATE, MEETS THE REQUIREMENTS OF THIS PERMIT.

D. CONTENTS OF PLAN.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, AS WELL AS THE FOLLOWING:

1. CHECKLIST.
EACH PLAN SHALL INCLUDE A COMPLETED EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND AMENDMENTS TO THE APPLICABLE CHECKLIST AS APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION UP UNTIL THE DATE OF THE NOI SUBMITTAL. THE APPLICABLE CHECKLISTS ARE AVAILABLE ON THE EPD WEBSITE, WWW.GAEPD.ORG.
2. SITE DESCRIPTION.
EACH SITE-SPECIFIC PLAN SHALL PROVIDE A DESCRIPTION OF POLLUTANT SOURCES AND OTHER INFORMATION AS INDICATED:
- a. A DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY;
 - b. A DETAILED DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE (I.E., INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER BMPs, CLEARING AND GRUBBING ACTIVITIES,

EXCAVATION ACTIVITIES, GRADING ACTIVITIES, INFRASTRUCTURE ACTIVITIES, IMMEDIATE AND FINAL STABILIZATION ACTIVITIES);

c. ESTIMATES OF THE TOTAL AREA OF THE SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES;

d. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO THE CONSTRUCTION ACTIVITIES AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE;

e. A SITE-SPECIFIC MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF SOIL DISTURBANCE, AN OUTLINE OF AREAS WHICH ARE NOT TO BE DISTURBED, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER; AND

f. IDENTIFY THE RECEIVING WATER(S) AND AREAL EXTENT OF WETLAND ACREAGE AT THE SITE:

g. FOR PLANS PREPARED BY A PRIMARY PERMITTEE FOR A COMMON DEVELOPMENT, A LIST OF THE NAMES AND ADDRESSES OF ALL SECONDARY PERMITTEES MUST BE INCLUDED IN THE PLAN AND BE AMENDED AS APPROPRIATE. THESE AMENDMENTS ARE NOT SUBJECT TO THE DESIGN PROFESSIONAL CERTIFICATION REQUIREMENTS SPECIFIED IN PART IV.C.

3. CONTROLS

EACH PLAN SHALL INCLUDE A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND THE PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs, THE PERMITTEE MAY COMBINE ALL OF THE BMPs INTO A SINGLE PHASE PLAN. THE PLAN WILL INCLUDE APPROPRIATE STAGING AND ACCESS REQUIREMENTS FOR CONSTRUCTION EQUIPMENT. PLANS SUBMITTED AFTER THE EFFECTIVE DATE OF THIS PERMIT SHALL LIMIT THE AMOUNT OF DISTURBED AREA TO NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE APPROPRIATE EPD DISTRICT OFFICE ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. EPD WILL APPROVE OR DISAPPROVE SUCH REQUESTS WITHIN 35 DAYS OF RECEIPT. FAILURE OF EPD TO ACT WITHIN 35 DAYS SHALL BE CONSIDERED AN APPROVAL OF SUCH REQUESTS. IF THE EPD DISTRICT OFFICE APPROVES A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE BEST MANAGEMENT PRACTICES LISTED IN PART III.C.2. OF THIS PERMIT.

THE PLAN WILL CLEARLY DESCRIBE FOR EACH MAJOR ACTIVITY IDENTIFIED IN PART IV.D.2.b. APPROPRIATE CONTROL MEASURES AND THE TIMING DURING THE CONSTRUCTION PROCESS THAT THE MEASURES WILL BE IMPLEMENTED. THE PRIMARY PERMITTEE IS ENCOURAGED TO UTILIZE THE DOCUMENT, DEVELOPING YOUR STORMWATER POLLUTION PREVENTION PLAN: A GUIDE FOR CONSTRUCTION SITES, EPA 833-R-060-04, MAY 2007 ([WWW.EPA.GOV/NPDES/PUBS/SW_SWPPP_GUIDE.PDF](http://www.epa.gov/npdes/PUBS/SW_SWPPP_GUIDE.PDF)), WHEN PREPARING THE PLAN. THE DESCRIPTION AND IMPLEMENTATION OF CONTROLS SHALL ADDRESS THE FOLLOWING MINIMUM COMPONENTS:

a. EROSION AND SEDIMENT CONTROLS.

(1). STABILIZATION MEASURES. A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION MEASURES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE MEASURES. SITE PLANS SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED AND THAT DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION MEASURES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED SHALL BE INCLUDED IN THE PLAN, EXCEPT AS PROVIDED IN PARAGRAPHS IV.D.3.(a),(1) (a) and (b). BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(a). WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(b). WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

(2) **STRUCTURAL PRACTICES.** A DESCRIPTION OF STRUCTURAL PRACTICES TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE TO THE DEGREE ATTAINABLE. SUCH PRACTICES MAY INCLUDE SILT FENCES, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINAGE, FLOW DIVERSION, LEVEL TERRAIN, STORM DRAIN IN, PROTECTIVE OUTLET, PERMANENT OR TEMPORARY REINFORCED CONCRETE RETAINING SYSTEMS, GABIONS, AND TEMPORARY OR PERMANENT SEDIMENT BASINS. STRUCTURAL PRACTICES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA.

(3). SEDIMENT BASINS. FOR COMMON DRAINAGE LOCATIONS AT A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED UNTIL FINAL STABILIZATION OF THE SITE. THE 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERRIDE FINAL STABILIZATION. THIS REQUIREMENT DOES NOT APPLY TO TEMPORARY SEDIMENT BASINS IN THE AREA AND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHERE A TEMPORARY SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE ARE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, SEDIMENT TRAPS, SILT FENCES, WOOD MULCH BERMS OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDE SLOPE AND DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA. WHEN THE SEDIMENT FILLS TO A VOLUME AT MOST OF 22 CUBIC YARDS PER ACRE FOR EACH ACRE OF DRAINAGE AREA, THE SEDIMENT SHALL BE REMOVED TO RESTORE THE ORIGINAL DESIGN VOLUME. THIS SEDIMENT MUST BE PROPERLY DISPOSED. SEDIMENT BASINS MAY NOT BE FEASIBLE AT CERTAIN LOCATIONS. IF A SEDIMENT BASIN IS NOT FEASIBLE, THE DECISION(S) MUST BE WRITTEN WHEN A SEDIMENT BASIN CANNOT BE USED AND/OR WHEN 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED IS NOT ATTAINABLE AND A WRITTEN JUSTIFICATION EXPLAINING THE DECISION(S) MUST BE INCLUDED IN THE PLAN, PERENNIAL AND INTERMITTENT WATERS OF THE STATE SHALL NOT BE USED FOR TEMPORARY OR PERMANENT SEDIMENT DETENTION.

WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE TEMPORARY BMPs AND MUST BE REMOVED PRIOR TO SUBMITTING A NOTICE OF TERMINATION. FOR CONSTRUCTION ACTIVITIES WHERE THE NOI WAS SUBMITTED PRIOR TO JANUARY 1, 2014, THIS REQUIREMENT OF THE PERMIT IS NOT APPLICABLE.

[illegible]

Drawing name: K:\ALP_P\PJ013623001_Halcyon - Village District\CAD\PlanSheets\C5-00 - EROSION CONTROL NOTES.dwg C5-03 EROSION CONTROL NOTES 1 Apr 24, 2020 2:01 pm by Russell Noah

E. REPORTING

1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.
2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
 - b. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
 - c. THE DATE(S) ANALYSES WERE PERFORMED;
 - d. THE TIME(S) ANALYSES WERE INITIATED;
 - e. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
 - f. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
 - g. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;
 - h. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND
 - i. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.

F. RETENTION OF RECORDS

1. THE PRIMARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
 - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
 - c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
 - d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
 - e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;
 - f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
 - g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.
2. EACH SECONDARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
 - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT OR THE APPLICABLE PORTION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN FOR THEIR ACTIVITIES AT THE CONSTRUCTION SITE REQUIRED BY THIS PERMIT;
 - c. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.B. OF THIS PERMIT; AND
 - d. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT.
3. EACH TERTIARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
 - b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
 - c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
 - d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
 - e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.C. OF THIS PERMIT;
 - f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
 - g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.C.(2). OF THIS PERMIT.
4. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITEE.

PROJECT DESCRIPTION

PROJECT SUMMARY AND NATURE OF CONSTRUCTION ACTIVITY:
THE EXISTING PROJECT SITE IS PART OF AN OVERALL MASTER DEVELOPED SITE NAMED THE HALCYON VILLAGE. CLEARING AND GRUBBING AND MASS GRADING HAS BEEN PERFORMED BY THE MASTER DEVELOPER AND A PAD GRADED AND FULLY STABILIZED SITE HAS BEEN PROVIDED FOR THE PROPOSED DEVELOPMENT. UTILITIES HAVE BEEN STUBBED AROUND THE FRONTAGE OF THE PROPERTY ALONG THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT.
THE PROPOSED PROJECT IS A MIXED-USE, OFFICE DEVELOPMENT. IT WILL CONTAIN OFFICE BUILDINGS, 1 MIXED-USE BUILDING, AND 1 RETAIL BUILDING. THE PROJECT ALSO INCLUDES THE CONSTRUCTION SURFACE PARKING, STORMWATER CONVEYANCE AND WATER QUALITY, AND ALL ASSOCIATED UTILITIES. THE TOTAL AREA ON SITE IS 12.69 ACRES, AND THE TOTAL DISTURBED AREA IS 2.33 ACRES INCLUDING PUBLIC ROW.
THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK.
PRE DEVELOPED RUNOFF COEFFICIENT: 0.50
POST DEVELOPED RUNOFF COEFFICIENT: 0.80
(WATER QUALITY AND DETENTION FOR THIS SITE IS BEING PROVIDED BY THE MASTER DEVELOPER FOR MORE INFORMATION, REFERENCE THE HYDROLOGY REPORT BY PAULSON MITCHELL, INC. PREPARED FOR ROCAPOINT PARTNERS, LLC.
ANY SEDIMENT THAT ENCROACHES INTO THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT SHALL BE SWEPT.
POST-CONSTRUCTION MEASURES FOR CONTROLLING POLLUTANTS IN STORMWATER AND STORMWATER DISCHARGES WILL BE CONTROLLED POST-CONSTRUCTION BY THE MASTER DETENTION FACILITY FOR THE MASTER DEVELOPMENT WITH DESIGN OUTLET CONTROL STRUCTURE.

EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES

1. **COMPREHENSIVE:**
- A. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENT AND PERIMETER CONTROL BMPS AND WITHIN 7 DAYS AFTER INSTALLATION.
 - B. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
 - C. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 - D. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
 - E. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 - F. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - G. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - H. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY CODES GOVERNING EROSION AND SEDIMENTATION CONTROL. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - I. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, CURRENT EDITION, AND FORSYTH COUNTY STANDARDS.
 - J. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - K. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
 - L. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT, OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.
 - M. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
 - N. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION.
 - O. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY DEMOLITION.
 - P. SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, CURRENT EDITION, THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY STANDARDS.
 - Q. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
2. **DURING CONSTRUCTION:**
- A. ON SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
 - B. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.
 - C. **ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.**
 - D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORMWATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST MEET THE TURBIDITY REQUIREMENTS OUTLINED IN THE SITE SPECIFIC EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN UNTIL IT MEETS THE TURBIDITY REQUIREMENTS. ONCE THE TURBIDITY REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM. AS A MINIMUM TURBIDITY TESTS SHOULD BE PERFORMED AS DESCRIBED IN THE PERMIT. THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORMWATER DISCHARGES UNDER THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES (DNR) ENVIRONMENTAL PROTECTION DIVISION (EPD) GENERAL PERMIT NO. GAR 100003. AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
3. **SOIL CLEANUP AND CONTROL PRACTICES REGARDING PETROLEUM SPILLS AND LEAKS**
- A. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDE, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
 - C. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
 - D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.
 - E. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
 - F. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

- G. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
 - H. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.
 - I. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ON SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY A LICENSED PROFESSIONAL.
4. **PRODUCT SPECIFIC PRACTICES**
- A. PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS, AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHOD WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
 - B. PAINTS, FINISHES, AND SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCTS, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND STANDARDS.
 - C. CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.
 - D. FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.
 - E. BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.
5. **WASTE MATERIALS**
- A. NO WASTE WILL BE DISPOSED OF INTO STORMWATER INLETS OR WATERS OF THE STATE.
 - B. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM ONCE WEEK OR MORE OFTEN NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.
 - C. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
6. **HAZARDOUS WASTES**
- A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOBSITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
 - B. THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOBSITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.


7. **SANITARY WASTES**
- A. A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE (1) TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.
 - B. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPS MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIFICALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, SHEET C5-20, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
 - C. SANITARY SEWER WILL BE PROVIDED BY **FORSYTH COUNTY** AT THE COMPLETION OF THIS PROJECT.
8. **BUILDING MATERIALS**
- A. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (e.g. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER. OR SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).
9. **OFFSITE VEHICLE TRACKING**
- B.

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEETS C5-10-30, C5-80 FOR CONSTRUCTION EXIT LOCATIONS AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

2

	Georgia Soil and Water Conservation Commission
DEREK M. ZITTRAUER Level II Certified Design Professional	
CERTIFICATION NUMBER	0000076500
ISSUED: 03/10/2019	EXPIRES: 03/10/2022

PREPARED BY



© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALBUQUERQUE, NM 87123
PHONE: (770) 619-4281
WWW.KIMLEY-HORN.COM

PROJECT

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 625
ATLANTA, GA 30305
PHONE: 404.855.5854

PROJECT

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

REGISTERED PROFESSIONAL ENGINEER

NO. PE044139
D. ZITTRAUER

GSWCC NO. (LEVEL II)

0000076500

DRAWN BY

KHA

DESIGNED BY

DMZ

REVIEWED BY

DMZ

DATE

04/24/2020

PROJECT NO.

013623001

TITLE

EROSION CONTROL NOTES

SHEET NUMBER

C5-03

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.





VEGETATIVE MEASURES:

STRUCTURAL MEASURES:

The image shows the logo for the Georgia Soil and Water Conservation Commission (GSWCC). The logo features a stylized black and white graphic of a person's head and shoulders, with the letters 'GSWCC' in a bold, sans-serif font to the right. Below the logo, the text 'GEORGIA SOIL AND WATER CONSERVATION COMMISSION' is written in a smaller, all-caps font. Below this, the name 'DEREK M. ZITTRAUER' is printed in a large, bold, sans-serif font, underlined. Underneath the name, the text 'Level II Certified Design Professional' is printed in a bold, sans-serif font. At the bottom, there are two lines of text: 'CERTIFICATION NUMBER' followed by '0000076500' and 'ISSUED: 03/10/2019' followed by 'EXPIRES: 03/10/2022'. The dates are underlined.

STRUCTURAL MEASURES (continued):

EROSION CONTROL LINETYPES / SYMBOLS

	TREE PROTECTION FENCE
	SOIL TYPE DELINEATION
	FLOW ARROW
	LIMITS OF DISTURBANCE

Site Disturbing Activities:

CONSTRUCTION WILL BEGIN WITH PLACEMENT OF PERIMETER SILT PROTECTION BARRIERS, INLET PROTECTION, TIRE WASH, CONCRETE WASH AREA, SEDIMENT TRAPS WITH DIVERSIONS, AND CONSTRUCTION ENTRANCES. 7 DAY LETTER TO BE PROVIDED TO FORSYTH COUNTY. AFTER THESE EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN INSTALLED, INSTALLATION OF ADDITIONAL EXCAVATED SEDIMENT TRAPS WITH DIVERSION, PRELIMINARY GRADING WILL COMMENCE IN AREAS THAT ARE TO BE DISTURBED. THE SITE WILL THEN BE GRADED AND UTILITIES WILL BE TRENCHED. RETAINING WALLS ARE THEN ERRECTED AND ONCE BROUGHT TO FINAL GRADE, THE DRIVES WILL BE PAVED WHILE ALL OTHER EXPOSED AREAS WILL BE STABILIZED WITH VEGETATION, SIDEWALKS OR STRUCTURES.

SOIL DISTURBING ACTIVITIES INCLUDE

- * INSTALLING A STABILIZED CONSTRUCTION ERT. PERIMETER SLIP FENCE, TIRE WASH AREA, CONCRETE WASH OUT AREA, SEDIMENT TRAPS WITH DIVERSION, AND INLET PROTECTION.
- * **SUBMIT 7 DAY LETTER TO BE PROVIDED TO FORSYTH COUNTY.**
- * **INSTALL ADDITIONAL TEMPORARY EXCAVATED SEDIMENT TRAPS & DIVERSIONS, AND OTHER EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY.**
- * PRELIMINARY SITE GRADING.
- * EXCAVATION AND INSTALLATION OF THE FOUNDATION.
- * GRADING, EXCAVATION AND INSTALLATION OF UTILITIES.
- * CONSTRUCTION OF RETAINING WALLS.
- * BUILDING CONSTRUCTION.
- * THE GRADING OF THE SITE.
- * PREPARATION FOR FINAL PLANTING AND SEEDING.
- * COMPLETION OF ON-SITE STABILIZATION.
- * REMOVAL OF SEDIMENT CONTROL MEASURES.

SEQUENCE OF MAJOR ACTIVITIES

SEE SPECIFIC SEQUENCE OF CONSTRUCTION NOTES AND THE CONSTRUCTION SCHEDULE
(ON THIS SHEET) SHOWN ON SHEET C5-10 THROUGH C5-30.

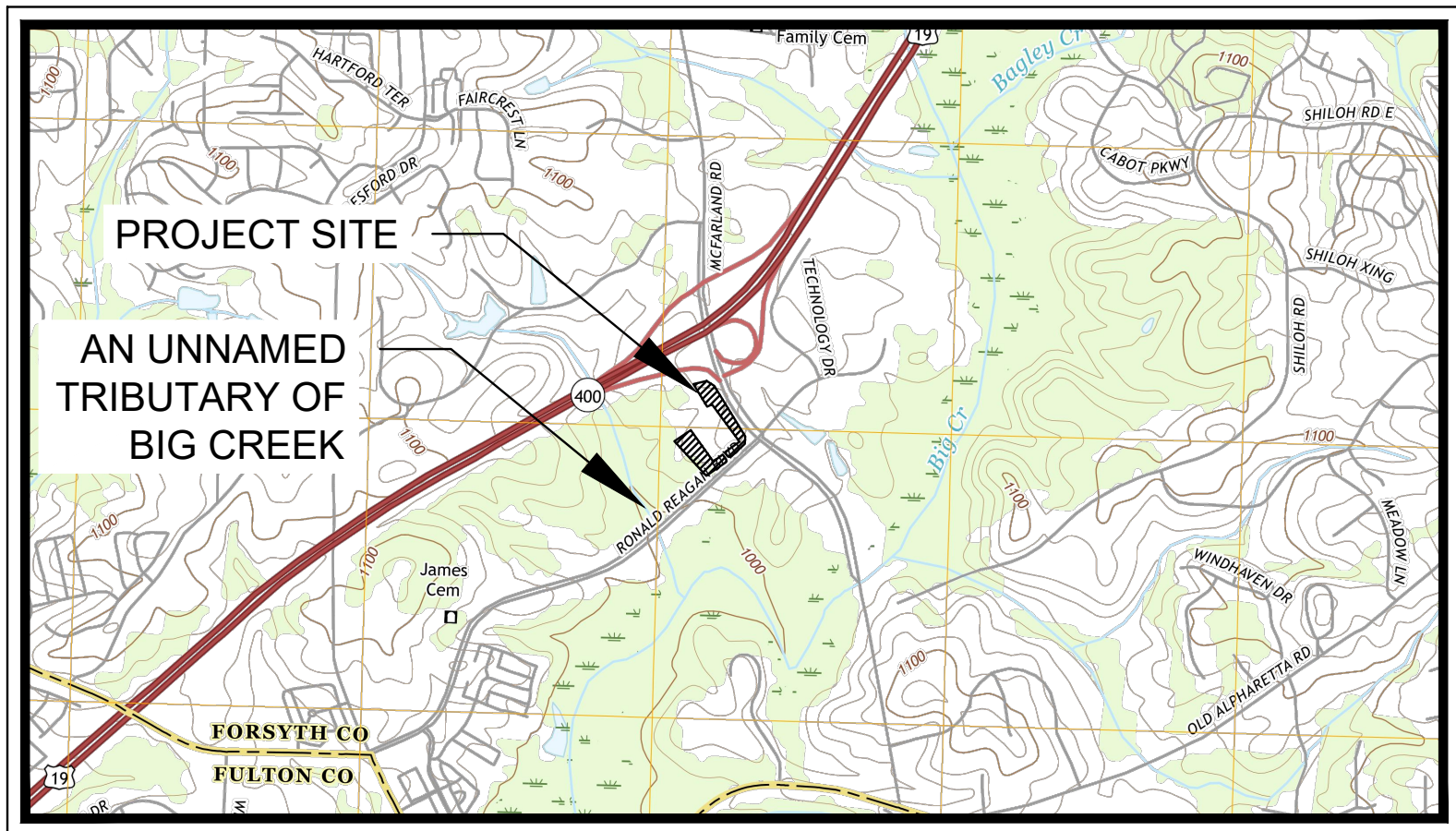
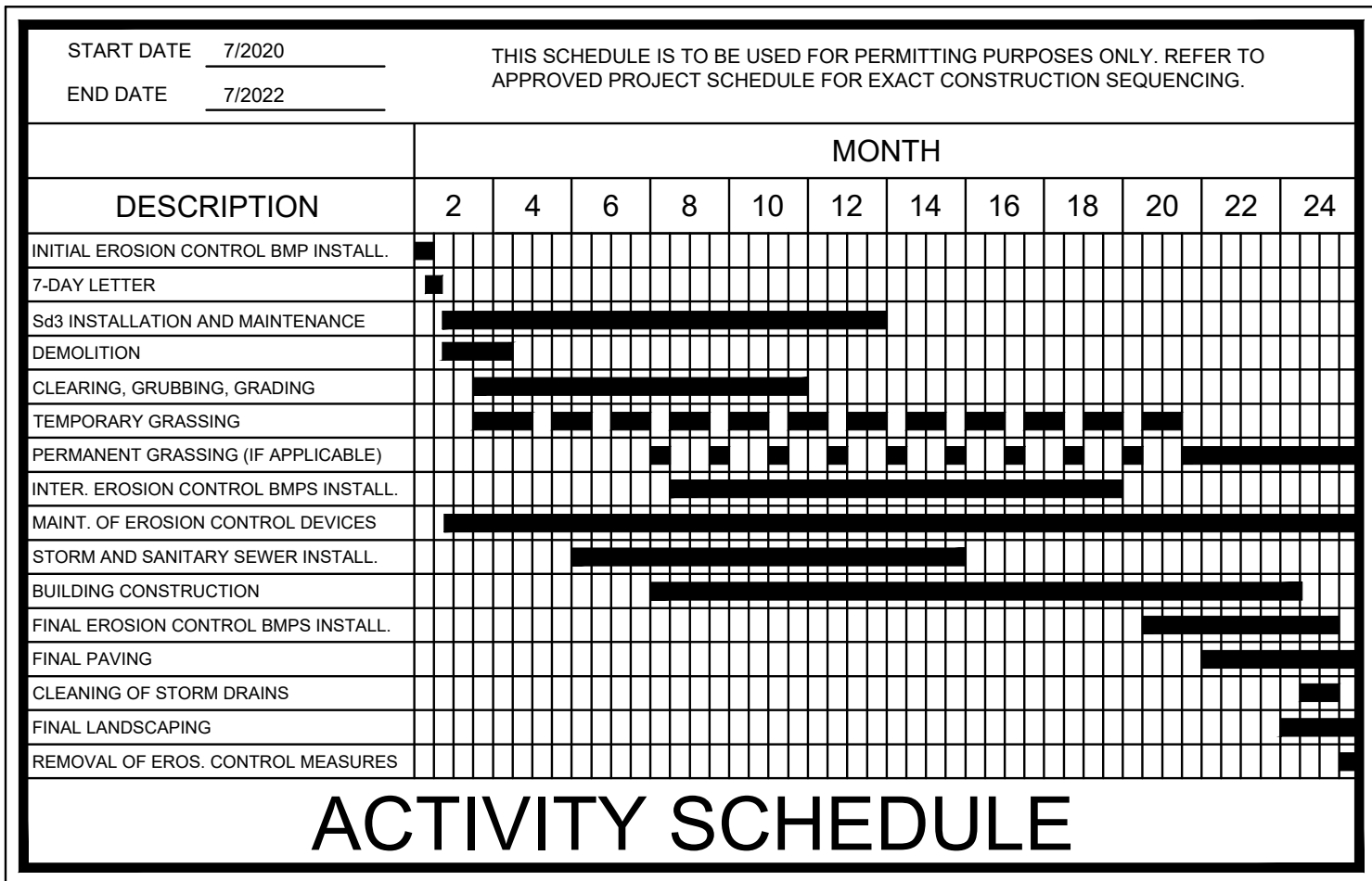
Site Disturbance Breakdown:

TOTAL SITE AREA = 12.69 ACRES

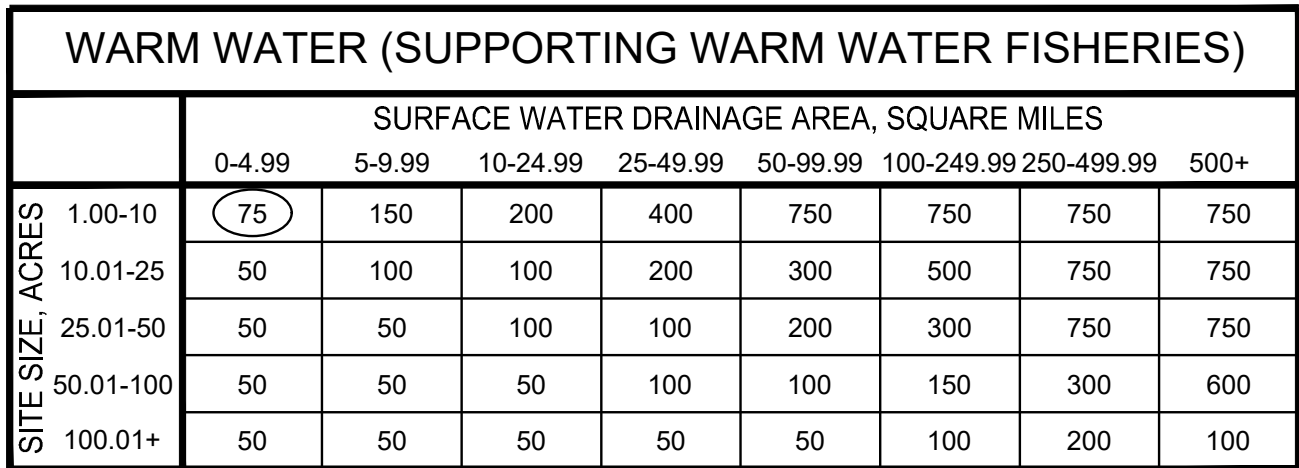
INITIAL PHASE DISTURBED AREA = 2.33 ACRES

INTERMEDIATE PHASE DISTURBED AREA = 2.33 ACRES

FINAL PHASE DISTURBED AREA = 2.33 ACRES



U.S.G.S. TOPOGRAPHIC MAP
DULUTH, GA QUAD MAP

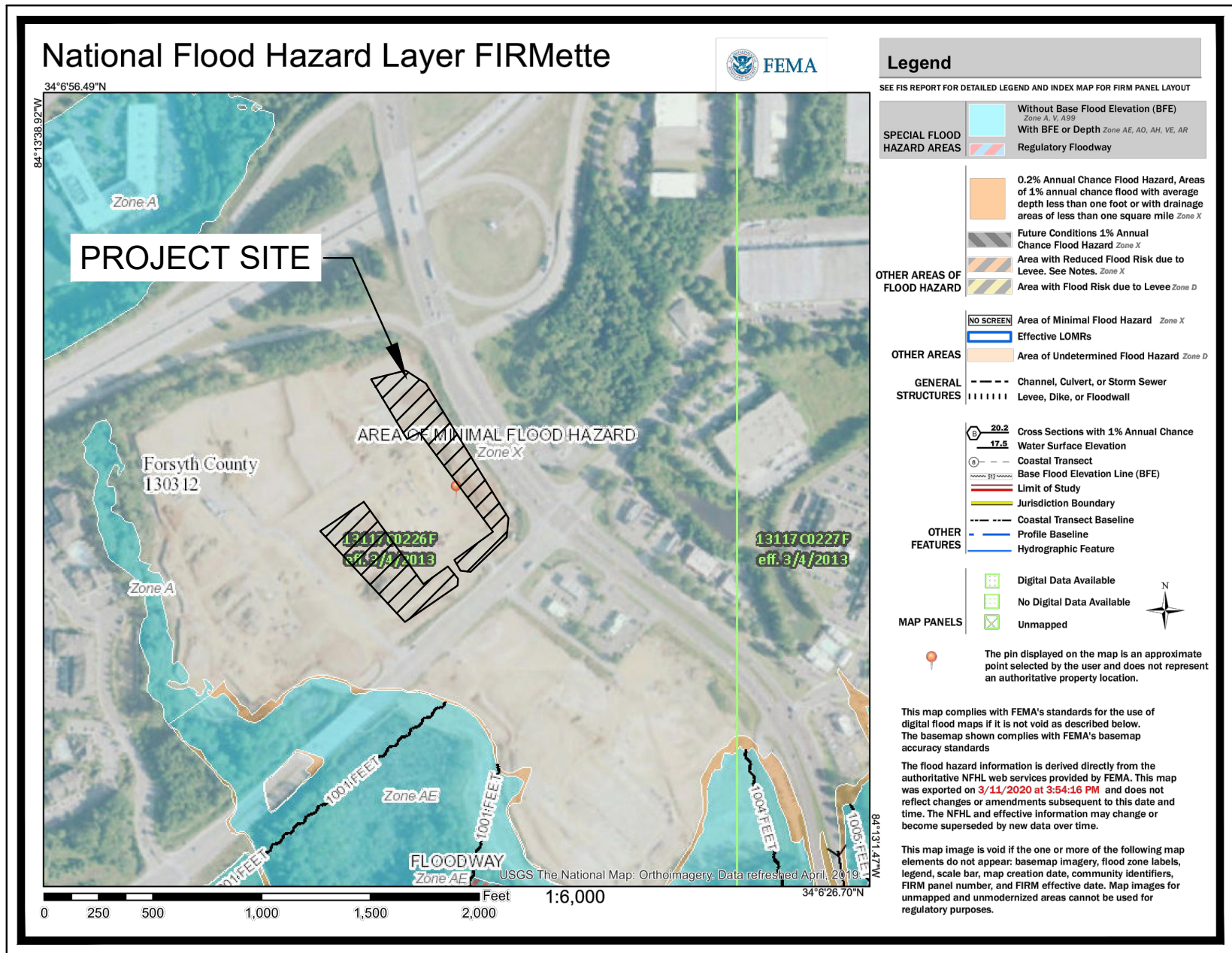


APPENDIX B

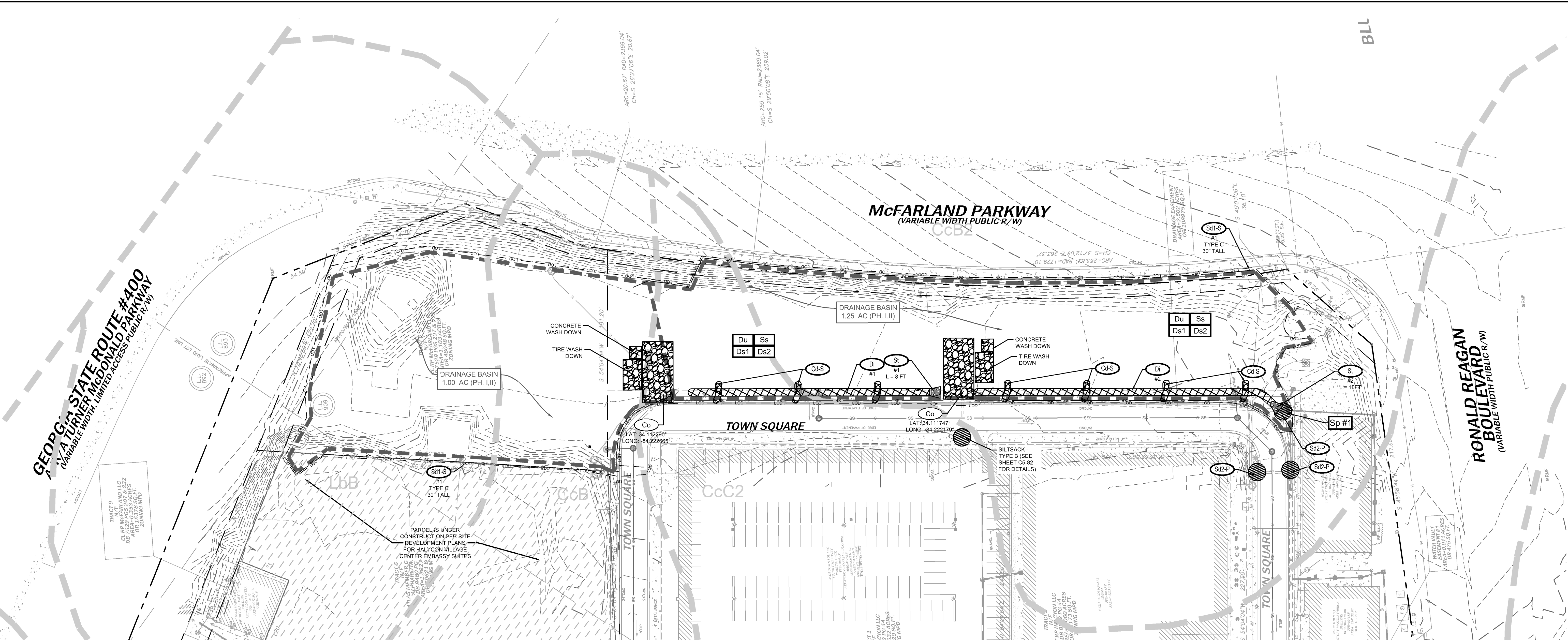
NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLE



VICINITY MAP



FEMA MAP



NOTIFY FORSYTH COUNTY
INSPECTOR 24 HOURS BEFORE
THE BEGINNING PHASE OF
CONSTRUCTION. (770) 781-2165.

SAMPLING NOTES:

1. OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
2. CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 75 NTU AT THE SAMPLE POINT AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 1.00 - 10 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA).
3. SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
4. SEE SHEETS C5-01 - C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

EROSION CONTROL PH. I SEQUENCING:

1. INSTALL CONSTRUCTION EXIT, TIRE WASH DOWN & FUEL STORAGE AREAS.
2. INSTALL PERIMETER EROSION CONTROL DEVICES.
3. SCHEDULE INSPECTION WITH PROJECT DESIGN PROFESSIONAL PRIOR TO BEGINNING DEMOLITION ACTIVITIES.

SITE AREA SUMMARY:
TOTAL SITE AREA = 12.69 ACRES
TOTAL DISTURBED AREA = 2.33 ACRES

24-HOUR CONTACT:
NAME: PATRICK LEONARD
COMPANY: ROCAPPOINT PARTNERS
NUMBER: 404.855.5854

PRIMARY PERMITTEE:
NAME: PATRICK LEONARD
COMPANY: GT-RP HALCYON
ADDRESS: 309 EAST PACES FERRY ROAD
SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854
EMAIL: patrick.leonard@rocapoint.com

EROSION CONTROL LEGEND:

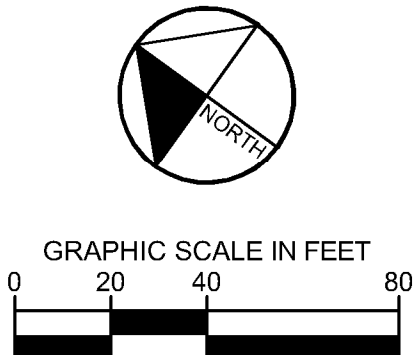
	SILT FENCE - TYPE S	
	CONSTRUCTION EXIT	
	INLET SEDIMENT TRAP: CURB INLET PROTECTION	
	INLET SEDIMENT TRAP: FILTER FABRIC	
	INLET SEDIMENT TRAP: SILT SAVER	
	EXCAVATED INLET SEDIMENT TRAP: BAFFLE BOX	
	STORM DRAIN OUTLET PROTECTION	
	DIVERSION	
	CHECK DAM	
	RETAINING WALL	
	DISTURBED AREA STABILIZATION (MULCHING)	
	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
	DUST CONTROL	
	SLOPE STABILIZATION	
	SAMPLING POINT	
	TREE PROTECTION FENCE	
	LIMITS OF DISTURBANCE	
	SOIL TYPE DELINEATION	
	DRAINAGE BASIN DELINEATION	

EROSION CONTROL NOTES:

1. CONTRACTOR IS TO ADHERE TO THE FORSYTH COUNTY EROSION AND SEDIMENT CONTROL REGULATIONS, AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL" FOR GEORGIA.
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT OUTFLOW.
4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
5. ALL OPEN DRAINAGE SWALES SHALL BE GRASSSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
8. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED.
9. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
10. MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1, FILL AREAS - 2:1.
11. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
12. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
13. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
14. FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED.
15. THE CONTRACTOR SHALL KEEP AND MAINTAIN ONSITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES.
16. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT.
17. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.
18. SEE DETAILS FOR D2 AND D3 SEEDING AND MULCHING REQUIREMENTS.
19. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
20. PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION.
21. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
22. WETLANDS DO NOT EXIST ON SITE.
23. SITE DOES NOT LIE WITHIN 200 FEET OF A JURISDICTIONAL STREAM.
24. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
25. AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
26. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&P PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
27. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
28. THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT IS NOT WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND DOES NOT DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM SEGMENT.
29. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
30. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
31. INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR - 100003.
32. NO ALTERNATE BMPs WERE USED IN THIS PROJECT.

GSWCC Georgia Soil and Water Conservation Commission
DEREK M. ZITTRAUER
Level II Certified Design Professional
CERTIFICATION NUMBER: 0000076500
ISSUED: 03/10/2019 EXPIRES: 03/10/2022

GEORGIA811
Utility Protection Center, Inc.
Know what's below.
Call before you dig.



PREPARED BY
Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30005
PHONE: (770) 819-4281
WWW.KIMLEY-HORN.COM

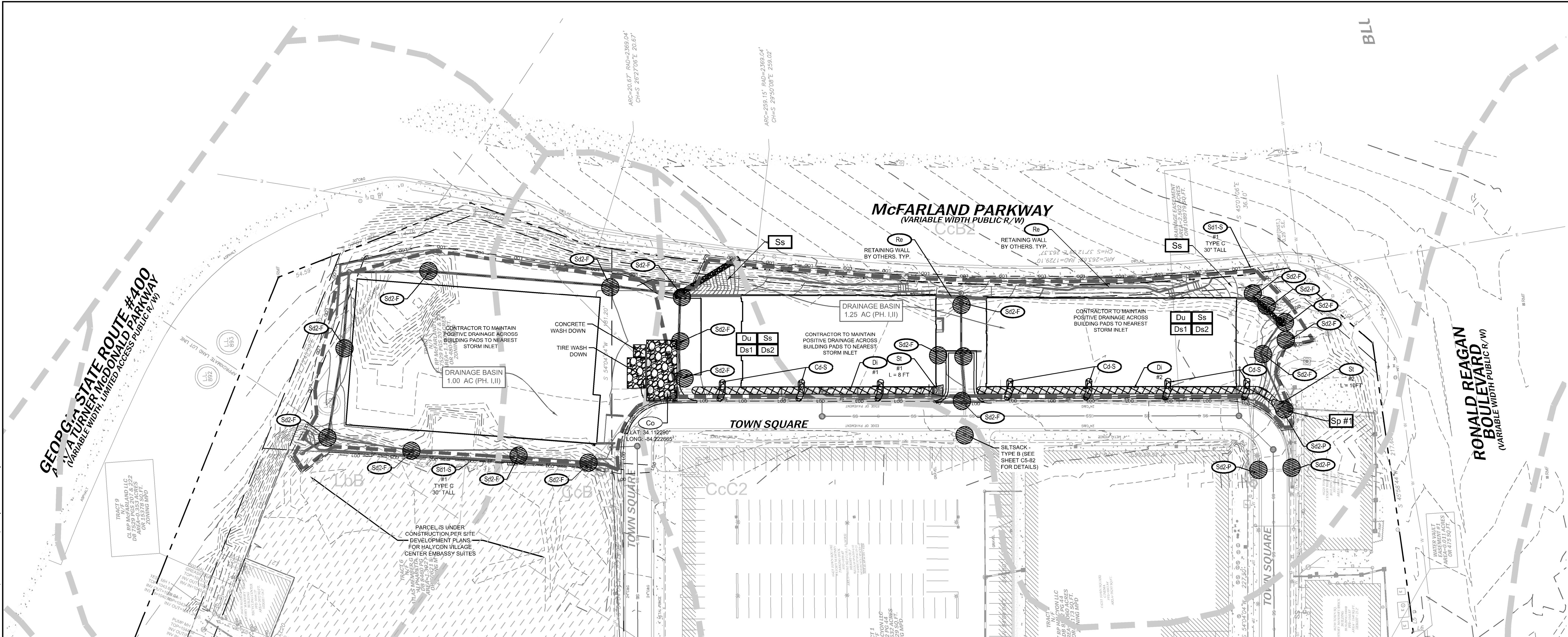
GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT
HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

REGISTERED
No. PE044139
PROFESSIONAL
ENGINEER
DEREK M. ZITTRAUER

GSWCC NO.
(LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001
TITLE
**EROSION
CONTROL PLAN
PHASE 1**
SHEET NUMBER
C5-10



NOTIFY FORSYTH COUNTY
INSPECTOR 24 HOURS BEFORE
THE BEGINNING PHASE OF
CONSTRUCTION. (770) 781-2165.

SAMPLING NOTES:

- OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
- CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 25.01 - 50 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA).
- SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- SEE SHEETS C5-01 - C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

EROSION CONTROL PH. 2 SEQUENCING:

- INSPECT AND MAINTAIN ALL EXISTING BMPs.
- BEGIN TO TIE OFF SITE CONVEYANCE LINES INTO THE NEW TRUNK LINE & REMOVE THE OLD CONVEYANCE PIPE. INSTALL INLET/OUTLET EROSION PROTECTION.
- BEGIN CUT/FILL ACTIVITIES. CONTRACTOR TO COORDINATE AND SCHEDULE REMOVAL OF UNSUITABLE FILL MATERIAL DURING THIS PHASE.
- INSTALL REMAINING SITE UTILITIES.
- ONCE C&G HAS BEEN POURED ADJACENT TO Sd2-Fs, THE Sd2-Ps TO BE REPLACED BY Sd2-Ps (SEE SHEET C5-30 FOR Sd2-P LOCATIONS).

SITE AREA SUMMARY:

TOTAL SITE AREA = 12.69 ACRES
TOTAL DISTURBED AREA = 2.33 ACRES
PHASE DISTURBED AREA = XX.X ACRES

24-HOUR CONTACT:

NAME: PATRICK LEONARD
COMPANY: ROCAPPOINT PARTNERS
ADDRESS: 309 EAST PACES FERRY ROAD
SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854
EMAIL: patrick.leonard@rocapoint.com

PRIMARY PERMITTEE:

NAME: PATRICK LEONARD
COMPANY: GT-RP HALCYON
ADDRESS: 309 EAST PACES FERRY ROAD
SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854
EMAIL: patrick.leonard@rocapoint.com

EROSION CONTROL LEGEND:		
	SILT FENCE - TYPE S	SF
	CONSTRUCTION EXIT	
	INLET SEDIMENT TRAP: CURB INLET PROTECTION	
	INLET SEDIMENT TRAP: FILTER FABRIC	
	INLET SEDIMENT TRAP: SILT SAVER	
	EXCAVATED INLET SEDIMENT TRAP: BAFFLE BOX	
	STORM DRAIN OUTLET PROTECTION	
	DIVERSION	
	CHECK DAM	
	RETAINING WALL	
	DISTURBED AREA STABILIZATION (MULCHING)	
	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
	DUST CONTROL	
	SLOPE STABILIZATION	
	SAMPLING POINT	
	TREE PROTECTION FENCE	10'
	LIMITS OF DISTURBANCE	LOD LOD LOD
	SOIL TYPE DELINEATION	
	DRAINAGE BASIN DELINEATION	

EROSION CONTROL NOTES:

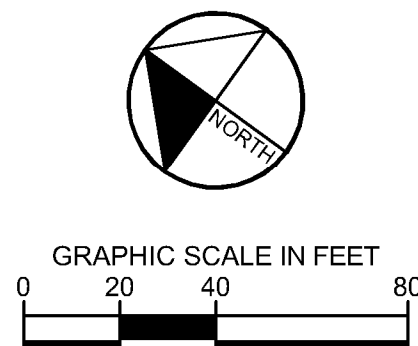
- CONTRACTOR IS TO ADHERE TO THE FORSYTH COUNTY EROSION AND SEDIMENT CONTROL REGULATIONS, AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL FOR GEORGIA.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED.
- THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
- MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1, FILL AREAS - 2:1.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
- FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN ONSITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT.
- ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.
- SEE DETAILS FOR Ds2 AND Ds3 SEEDING AND MULCHING REQUIREMENTS.
- STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
- PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION.
- THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
- WETLANDS DO NOT EXIST ON SITE.
- THIS SITE DOES NOT LIE WITHIN 200 FEET OF A JURISDICTIONAL STREAM.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT IS NOT WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND DOES NOT DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM SEGMENT.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
- INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAs 100003.
- NO ALTERNATE BMPs WERE USED IN THIS PROJECT.

GSWCC Georgia Soil and Water Conservation Commission

DEREK M. ZITTRAUER
Level II Certified Design Professional

CERTIFICATION NUMBER 0000076500
ISSUED: 03/10/2019 EXPIRES: 03/10/2022

GEORGIA811
Utility Protection Center, Inc.
Know what's below.
Call before you dig.



PREPARED BY: **Kimley»Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30005
PHONE: (770) 819-4281
WWW.KIMLEY-HORN.COM

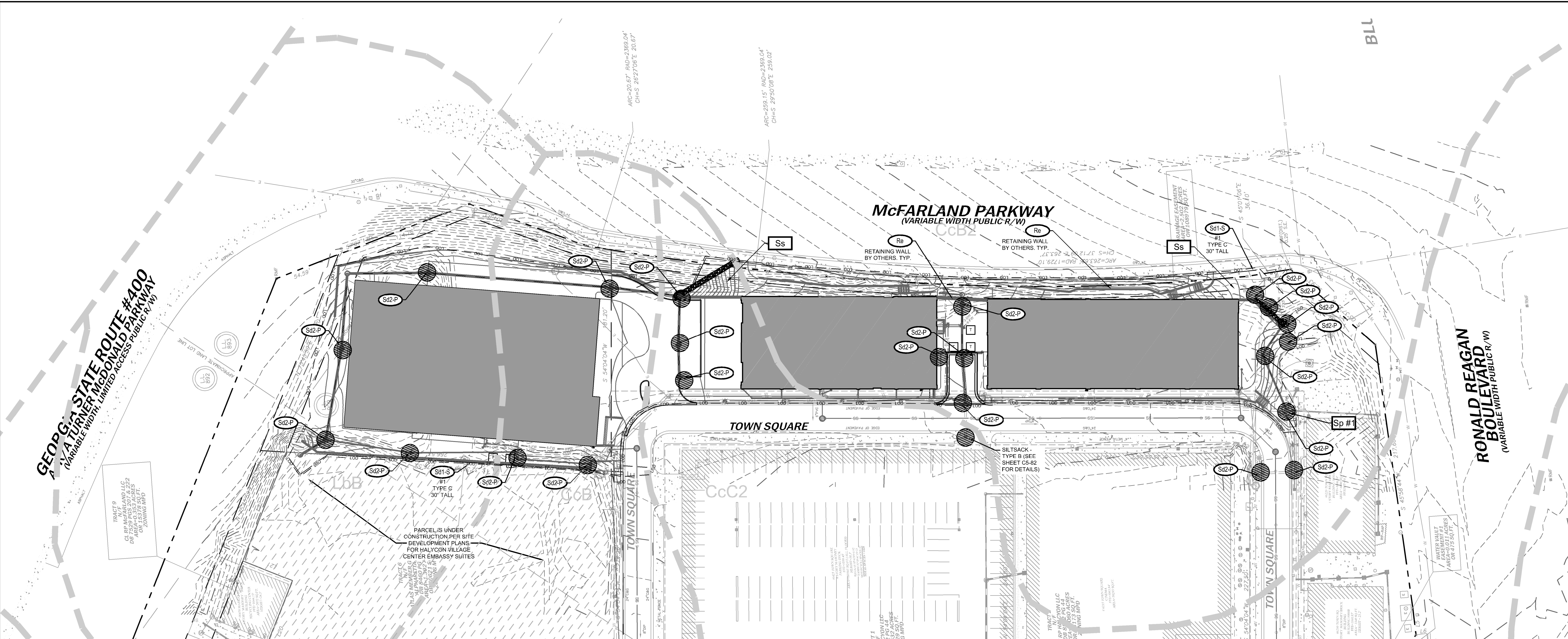
GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE

REGISTERED PROFESSIONAL ENGINEER
No. PE044139
Derek M. ZITTRAUER

GSWCC NO. (LEVEL II) 0000076500
DRAWN BY: KHA
DESIGNED BY: DMZ
REVIEWED BY: DMZ
DATE: 04/24/2020
PROJECT NO: 013623001
TITLE: **EROSION CONTROL PLAN PHASE 2**
SHEET NUMBER: **C5-20**



NOTIFY FORSYTH COUNTY
INSPECTOR 24 HOURS BEFORE
THE BEGINNING PHASE OF
CONSTRUCTION. (770) 781-2165.

SAMPLING NOTES:

1. OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
2. CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT. AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 25.01 - 50 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA.
3. SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
4. SEE SHEETS C5-01 - C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

SITE AREA SUMMARY:

TOTAL SITE AREA = 12.69 ACRES
TOTAL DISTURBED AREA = 2.33 ACRES

24-HOUR CONTACT:

NAME: PATRICK LEONARD
COMPANY: ROCAPOINT PARTNERS
NUMBER: 404.855.5854

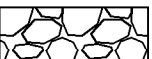






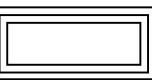




PRIMARY PERMITTEE:

NAME: PATRICK LEONARD
COMPANY: GT-RP HALCYON
ADDRESS: 309 EAST PACES FERRY ROAD
SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854
EMAIL: patrick.leonard@rocapoint.com

EROSION CONTROL PH. 3 SEQUENCING:

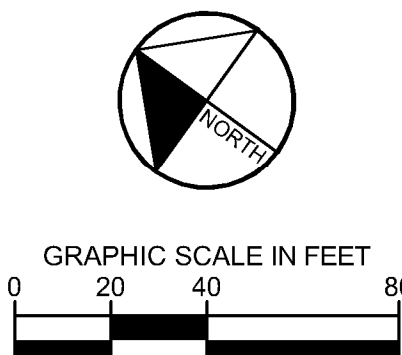
1. POUR FOUNDATIONS AND INSTALL FINAL SLOPE STABILIZATION.
2. INSTALL ASPHALT AND CONCRETE DRIVE AISLES AND ROADWAYS. INSTALL STORM INLET PROTECTION MEASURES.
3. REMOVE ALL TEMPORARY BMP'S.

EROSION CONTROL LEGEND:

SD1-S	SILT FENCE - TYPE S	
Co	CONSTRUCTION EXIT	
Sd2-P	INLET SEDIMENT TRAP: CURB INLET PROTECTION	
Sd2-F	INLET SEDIMENT TRAP: FILTER FABRIC	
Sd2-SS	INLET SEDIMENT TRAP: SILT SAVER	
Sd2-B	EXCAVATED INLET SEDIMENT TRAP-BAFFLE BOX	
St	STORM DRAIN OUTLET PROTECTION	
Di	DIVERSION	
Cd	CHECK DAM	
Re	RETAINING WALL	
Ds1	DISTURBED AREA STABILIZATION (MULCHING)	
Ds2	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	
Ds3	DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	
Du	DUST CONTROL	
Ss	SLOPE STABILIZATION	
Sp	SAMPLING POINT	
Tr	TREE PROTECTION FENCE	
LOD	LIMITS OF DISTURBANCE	
	SOIL TYPE DELINEATION	
	DRAINAGE BASIN DELINEATION	

EROSION CONTROL NOTES:

1. CONTRACTOR IS TO ADHERE TO THE FORTSTYTH COUNTY EROSION AND SEDIMENT CONTROL REGULATIONS, AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL" FOR GEORGIA.
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT EROSION AT THE EROSION SOURCE.
4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
5. ALL OPEN DRAINAGE SWALES SHALL BE GRASSSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
8. THE SILES SHALL MEET THE REQUIREMENTS OF SECTION 17-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. CURRENT EDITION AND BE WIRE REINFORCED.
9. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
10. EXISTING EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1 FILL AREAS - 2:1.
11. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
12. ALL CUT AND FILL SLOPES SHALL BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR COMPLETION.
13. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
14. FAILURE TO INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET. AS
15. THE CONTRACTOR SHALL KEEP AND MAINTAIN ON SITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES.
16. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT.
17. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GRASS (CRISCO) OR EQUIVALENT. IN ADDITION TO GRASSING/HYDROSEEDING.
18. SEE DETAILS FOR DO#2 AND DO#3 SEEDINGS AND MULCHING REQUIREMENTS.
19. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
20. FAILURE TO INSTALL AND MAINTAIN ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ON SITE DURING ALL PHASES OF CONSTRUCTION.
21. THE PROJECT LOCATION IS WITHIN A FLOOD HAZARD AREA AND HAS BEEN ASSESS AS DEFINED BY THE F.E.M.A "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PLAN NUMBER 131/17C226P. DATED 03/04/2013.
22. WETLANDS DO NOT EXIST ON SITE.
23. SITE DOES NOT LIE WITHIN 200 FEET OF JURISDICTIONAL STREAM.
24. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
25. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC SIGNIFICANCE SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL.
26. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
27. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
28. THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT IS NOT WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND DOES NOT DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM SEGMENT.
29. **NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STRAND BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.**
30. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
31. INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS ON SITE TO BE KEPT IN COMPLIANCE WITH THE GAP. NO ALTERNATE BMPs WERE USED IN THIS PROJECT.



PROJECT



GSWCC NO. 0000070500

DRAWN BY KHA

DESIGNED BY DMZ

REVIEWED BY: DMZ

PROJECT NO.	013623001
-------------	-----------

TITLE
**EROSION
CONTROL PLAN
PHASE 3**

SHEET NUMBER
C5-30

MATERIAL	DEPTH
DRY STRAW OR HAY	2" TO 4"
WOOD WASTE (SAWDUST, BARK, CHIPS)	2" TO 3"
CUTBACK ASPHALT (SLOW CURING)	1200 GAL. / ACRE (1/4 GAL. / SQ.YD.)
BLACK POLYETHYLENE FILM	COMPLETELY COVER AREA; HOLD IN PLACE WITH SOIL ON OUTER EDGE

Ds1 MULCHING

FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION				
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	N TOP DRESSING RATE (LBS./ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	-
	SECOND	10-10-10	400	30
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50
	SECOND	10-10-10	400	-
GROUND COVERS	FIRST	10-10-10	1300	-
	SECOND	10-10-10	1300	-
PINE SEEDLINGS	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	-
SHRUB LESPEDEZA	FIRST	0-10-10	700	-
	MAINTENANCE	0-10-10	700	-
TEMPORARY GROUND COVER CROPS SEEDED ALONE	FIRST	10-10-10	500	30
	SECOND	6-12-12	1500	50-100
WARM SEASON GRASSES	FIRST	6-12-12	800	50-100
	MAINTENANCE	10-10-10	400	30
WARM SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	30
	SECOND	0-10-10	1000	-

Ds3 PERMANENT SEEDING

APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1-2 TONS PER ACRE

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS					
SPECIES	RATES PER 1,000 SQ. FT.	RATES PER ACRE	PLANTING DATES BY REGION		
			M-L	P	C
BARLEY	3.3 LBS.	3 BU.	9/1-10/31	9/15-11/15	10/1-12/31
OATS	2.9 LBS.	4 BU.	9/15-11/15	9/15-11/15	9/15-11/15
TRITCALE	3.3 LBS.	3 BU.	-	-	10/15-12/15
RYEGRASS, ANNUAL	0.9 LBS.	40 LBS.	8/15-11/15	9/1-12/15	9/15-12/31
RYE LESPEDEZA, ANNUAL	0.6 LBS.	0.5 BU.	8/15-10/31	9/15-11/30	10/1-12/31
WEEDING LOVEGRASS	0.9 LBS.	40 LBS.	3/1-3/31	3/1-3/31	2/1-2/28
SUDANGRASS	1.4 LBS.	60 LBS.	4/1-5/31	4/1-5/31	3/1-5/31
MILLET, BROWNTOP	0.9 LBS.	40 LBS.	4/1-8/31	4/1-8/31	3/1-7/31
MILLET, PEARL	1.1 LBS.	50 LBS.	4/15-6/15	4/15-6/30	4/15-6/30
WHEAT	4.1 LBS.	3 BU.	5/15-7/15	5/1-7/31	4/15-8/15

1. TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL CROWN OUT PERENNIALS IF PLANTED TOO HEAVILY.

2. REDUCE SEEDING RATES BY 50% WHEN DRILLED.

3. UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.

4. SEEDING RATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS.

M-L REPRESENTS THE MOUNTAIN, BLUE RIDGE, AND RIDGES & VALLEYS MLRAS.

P REPRESENTS THE SOUTHERN PIEDMONT REGION MLRA.

C REPRESENTS THE SOUTHERN COASTAL PLAIN, SAND HILLS, BLACK LANDS, AND ATLANTIC COAST FLATWOODS MLRAS.

FERTILIZER REQUIREMENTS FOR TEMPORARY VEGETATION				
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	N TOP DRESSING RATE (LBS./ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	10-10-10	400	30
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50
	SECOND	10-10-10	1000	-
TEMPORARY COVER CROPS	FIRST	10-10-10	500	30
	SECOND	6-12-12	1500	50-100
SEEDED ALONE	FIRST	6-12-12	800	50-100
	SECOND	10-10-10	400	30

Ds2 TEMPORARY SEEDING

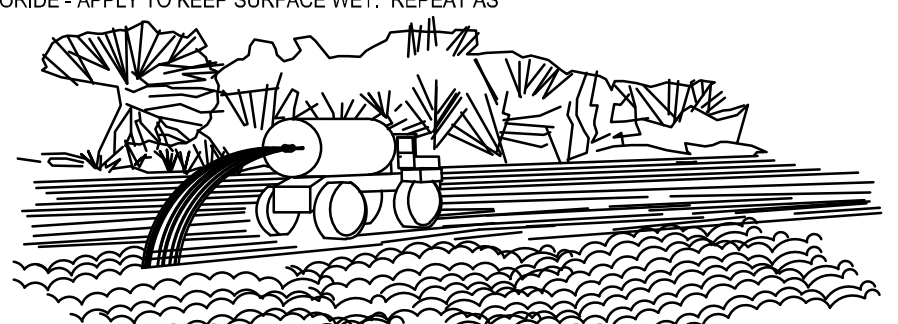
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER						
TYPES OF SPECIES	RATES PER ACRE	RATES PER 1,000 SF	PLANTING DATES BY REGION			REMARKS
			M-L	P	C	
BAHIA, PENSACOLA ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	60 LBS. 30 LBS.	1.4 LBS. 0.7 LBS.	-	4/1-5/31	3/1-5/31	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
BAHIA, WILMINGTON ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	60 LBS. 30 LBS.	1.4 LBS. 0.7 LBS.	3/15-5/31	3/1-5/31	-	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
BERMUDA, COMMON (HULLED SEED) ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	10 LBS. 6 LBS.	0.2 LBS. 0.1 LBS.	-	4/1-5/31	3/15-5/31	QUICK COVER, LOW GROWING AND SOD FORMING. NEEDS FULL SUN
BERMUDA, COMMON (UNHULLED SEED) ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	10 LBS. 6 LBS.	0.2 LBS. 0.1 LBS.	-	10/1-2/28	11/1-1/31	PLANT WITH WINTER ANNUALS PLANT WITH TALL FESCUE
BERMUDA SPRIGS TEMPORARY COVER	40 CF SOD PLUGS 3' X 3'	0.9 CF	4/15-6/15	4/1-6/15	4/1-5/31	1 CF = 650 SPRIGS 1 BU. = 1.25 CF OR 800 SPRIGS.
CENTPEDE BLOCK SOD ONLY	-	-	-	11/1-5/31	11/1-5/31	DROUGHT TOLERANT; FULL SUN OR PARTIAL SHADE; EFFECTIVE ADJACENT TO CONCRETE AND IN CONCENTRATED FLOW AREAS; IRRIGATION NEEDED UNTIL FULLY ESTABLISHED; DO NOT PLANT NEAR PASTURES
CROWN VETCH WITH WINTER ANNUALS OR COOL WINTER GRASSES	15 LBS.	0.3 LBS.	9/1-10/15	9/1-10/10	-	MIX WITH 30 LBS. TALL FESCUE OF 15 LBS. RYE; INOCULATE SEED; ONLY NORTH OF ATLANTA, DENSE GROWTH; DROUGHT TOLERANT AND FIRE RESISTANT
FESCUE, TALL ALONE WITH OTHER PERENNIALS	50 LBS. 30 LBS.	1.1 LBS. 0.7 LBS.	3/1-4/1 - OR - 8/15-10/15	9/1-10/15 - OR - 2/15-4/15	-	NOT FOR DROUGHTY SOILS. MIX WITH PERENNIAL LESPEDEZAS OR CROWN VETCH. APPLY TOPDRESSING IN SPRING FOLLOWING FALL PLANTINGS. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS. 227,000 SEED PER POUND.
LESPEDEZA, SERICEA SCARIFIED UNSCARIFIED SEED-BEARING HAY	60 LBS. 75 LBS.	1.4 LBS. 1.7 LBS.	4/1-5/31	3/15-5/31	3/1-5/15	WIDELY ADAPTED AND LOW MAINTENANCE. TAKES 2-3 YEARS TO ESTABLISH, EXCELLENT ON ROADBANKS. INOCULATE SEED WITH EL INOCULANT. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, HAHIA, OR TALL FESCUE.
LESPEDEZA, AMBRO VIRGETA OR APPALOW SCARIFIED UNSCARIFIED	60 LBS. 75 LBS.	1.4 LBS. 1.7 LBS.	4/1-5/31	3/15-5/31	3/15-5/15	MIX WITH TALL FESCUE OR WINTER ANNUALS CUT WHEN SEED IS MATURE, BUT BEFORE IT SHATTERS. ADD TALL FESCUE OR WINTER ANNUALS.
LESPEDEZA, SHRUB (LESPEDEZA BICOLOR OR LESPEDEZA THUMBERGII) PLANTS LOVEGRASS, WEEPING ALONE WITH OTHER PERENNIALS	3' X 3' SPACING 4 LBS. 2 LBS.	0.1 LBS. 0.05 LBS.	10/1-3/31	11/1-3/15	11/15-2/28	SPREADING GROWTH WITH HEIGHT OF 18"-24". GOOD IN URBAN AREAS. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, TALL FESCUE, OR WINTER ANNUALS. DO NOT MIX WITH SERICEA LESPEDEZA. SLOW TO DEVELOP SOLID STANDS. INOCULATE SEED WITH EL INOCULANT.
MAIDENCANE SPRIGS	2' X 3' SPACING	-	2/1-3/31	2/1-3/31	2/1-3/31	PLANT IN SMALL CLUMPS FOR WILDLIFE FOOD AND COVER.
PANICGRASS, ATLANTIC COASTAL	20 LBS.	0.5 LBS.	-	3/1-4/30	3/1-4/30	QUICK COVER. DROUGHT TOLERANT. GROWS WELL WITH SERICEA LESPEDEZA ON ROADBANKS.
REED CANARY GRASS ALONE WITH OTHER PERENNIALS	50 LBS. 30 LBS.	1.1 LBS. 0.7 LBS.	6/15-10/15	9/1-10/15	-	FOR VERY WET SITES SUCH AS RIVERBANKS AND SHORELINES, DIG SPRIGS LOCALLY. MAY CLOG CHANNELS.
SUNFLOWER, AZTEC MAXIMILLIAN	10 LBS.	0.2 LBS.	4/15-6/31	4/15-5/31	4/1-5/31	GROWS WELL ON COASTAL SAND DUNES, BORROW AREAS, AND GRAVEL PITTS. PROVIDES WINTER COVER FOR WILDLIFE. MIX WITH SERICEA LESPEDEZA EXCEPT ON SAND DUNES.

Ds3 PERMANENT GRASSING

TEMPORARY METHODS:
MULCHES - REFER TO Ds1 (DISTURBED AREA STABILIZATION)
VEGETATIVE COVER - REFER TO Ds2 (DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING)
TILLAGE - ROUGHEN AND BRING CLODS TO THE SURFACE BY USE OF CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART
IRRIGATION - SITE SPRINKLED WITH WATER UNTIL WET. REPEAT AS NEEDED
BARRIERS - FENCES, HAY BALES, AND CRATE WALLS PLACED AT INTERVALS 15 TIMES THEIR HEIGHT AND PERPENDICULAR TO AIR CURRENTS
CALCIUM CHLORIDE - APPLY TO KEEP SURFACE WET. REPEAT AS NEEDED.

PERMANENT METHODS:
PERMANENT VEGETATION - REFER TO Ds3 (DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION)
TOPSOILING - COVERING THE SURFACE WITH A LESS ERODIBLE SOIL MATERIAL
STONE - SURFACE WITH CRUSHED STONE OR COARSE GRAVEL (SEE C, CONSTRUCTION ROAD STABILIZATION)

Du



DUST CONTROL ON DISTURBED AREAS (Du)

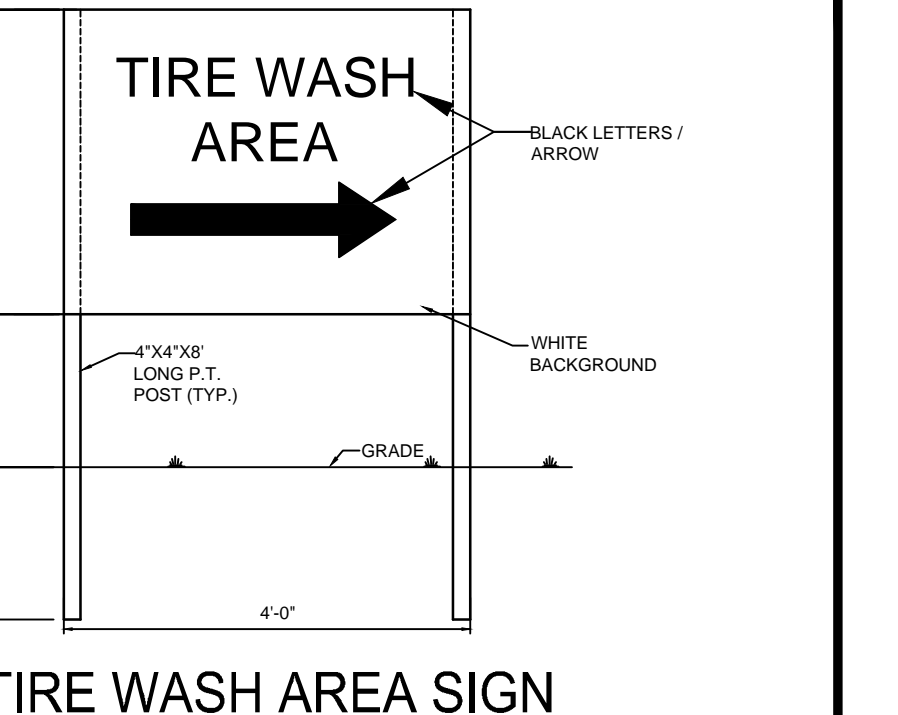
TIRE WASH AREA

BLACK LETTERS / ARROW

WHITE BACKGROUND

GRADE

TIRE WASH AREA SIGN
N.T.S.



TIRE WASH SIGN DETAIL

CONCRETE WASHOUT AREA DETAIL

SECTION B-B

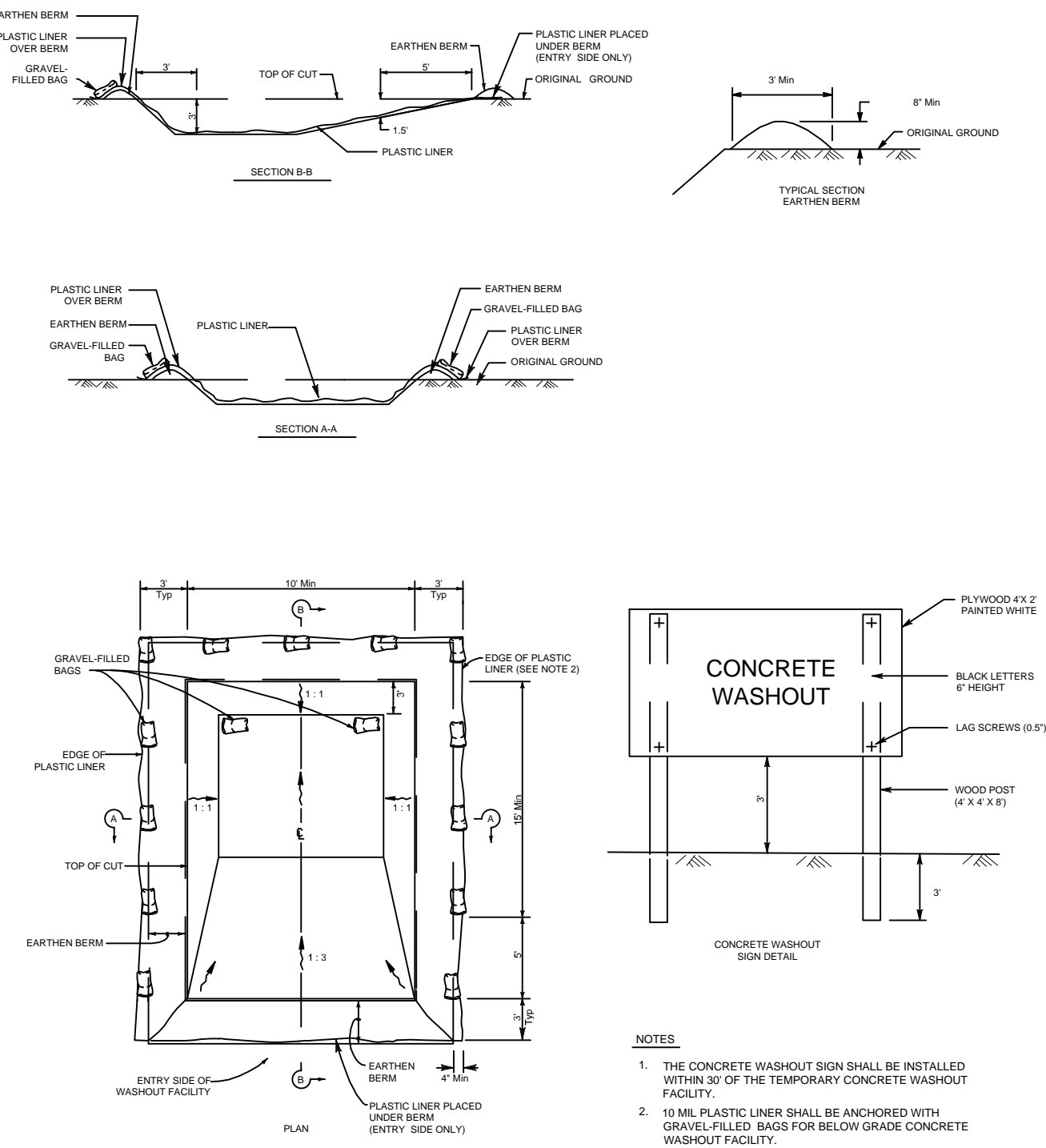
SECTION A-A

PLAN

CONCRETE WASHOUT SIGN DETAIL

NOTES:

- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- 10 ML PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL FILLED BAGS FOR BELOW GRADE CONCRETE WASHOUT FACILITY.



CONCRETE WASHOUT AREA DETAIL

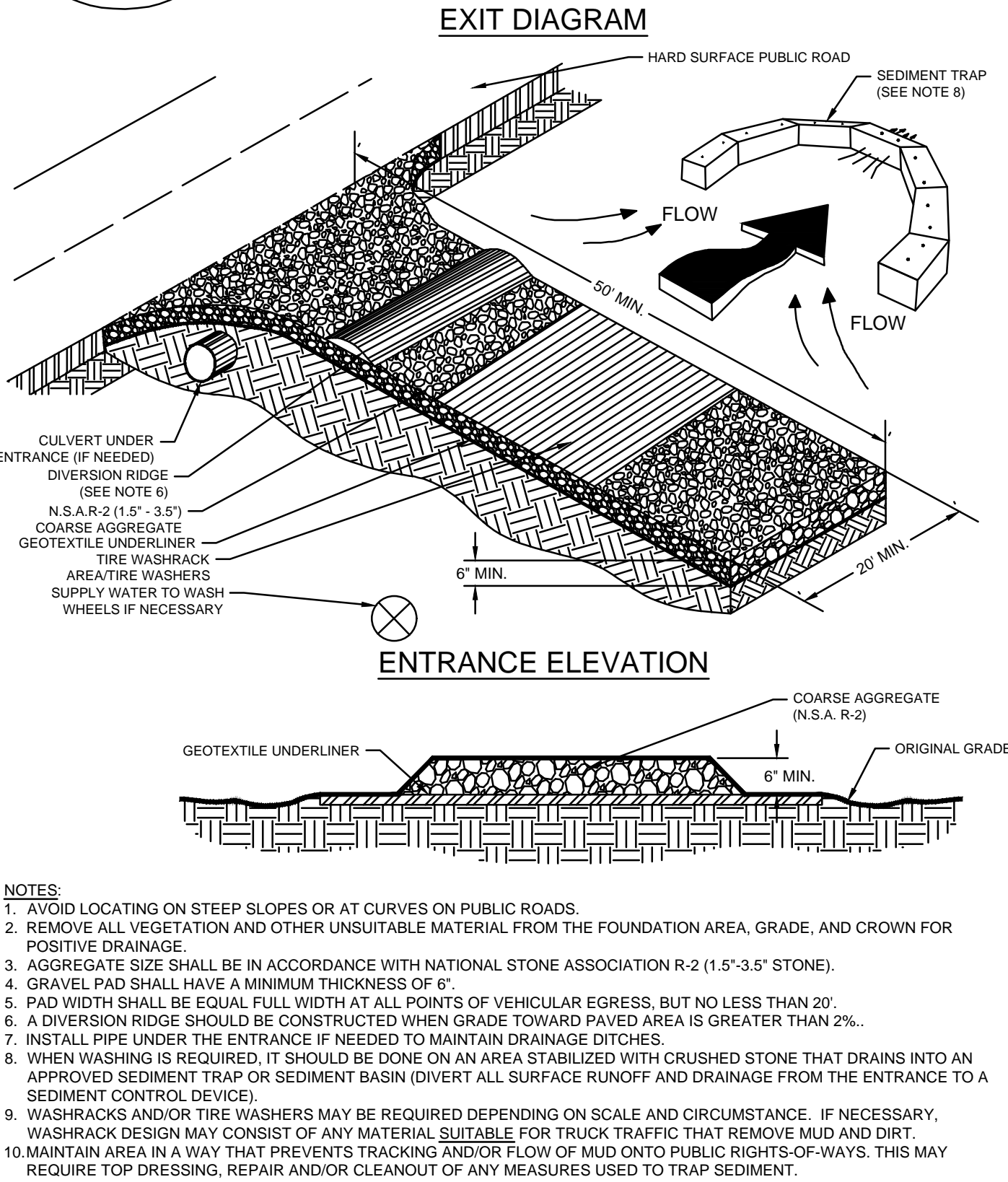
Co CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM

ENTRANCE ELEVATION

NOTES:

- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
- WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



CONSTRUCTION EXIT (Co)

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE #25
ATLANTA, GA 30305
PHONE: 404.855.5854

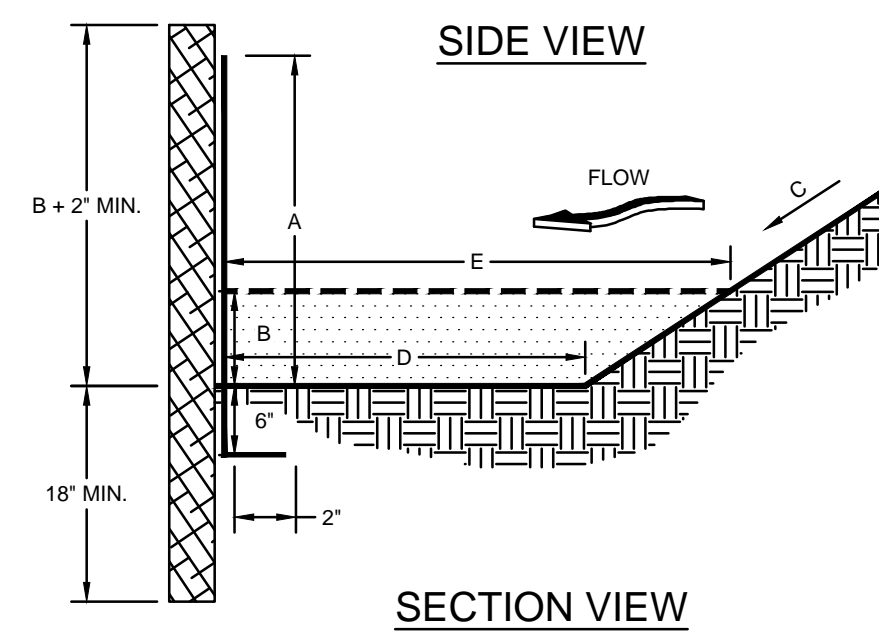
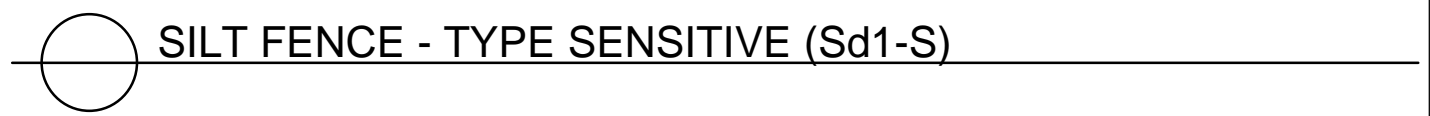
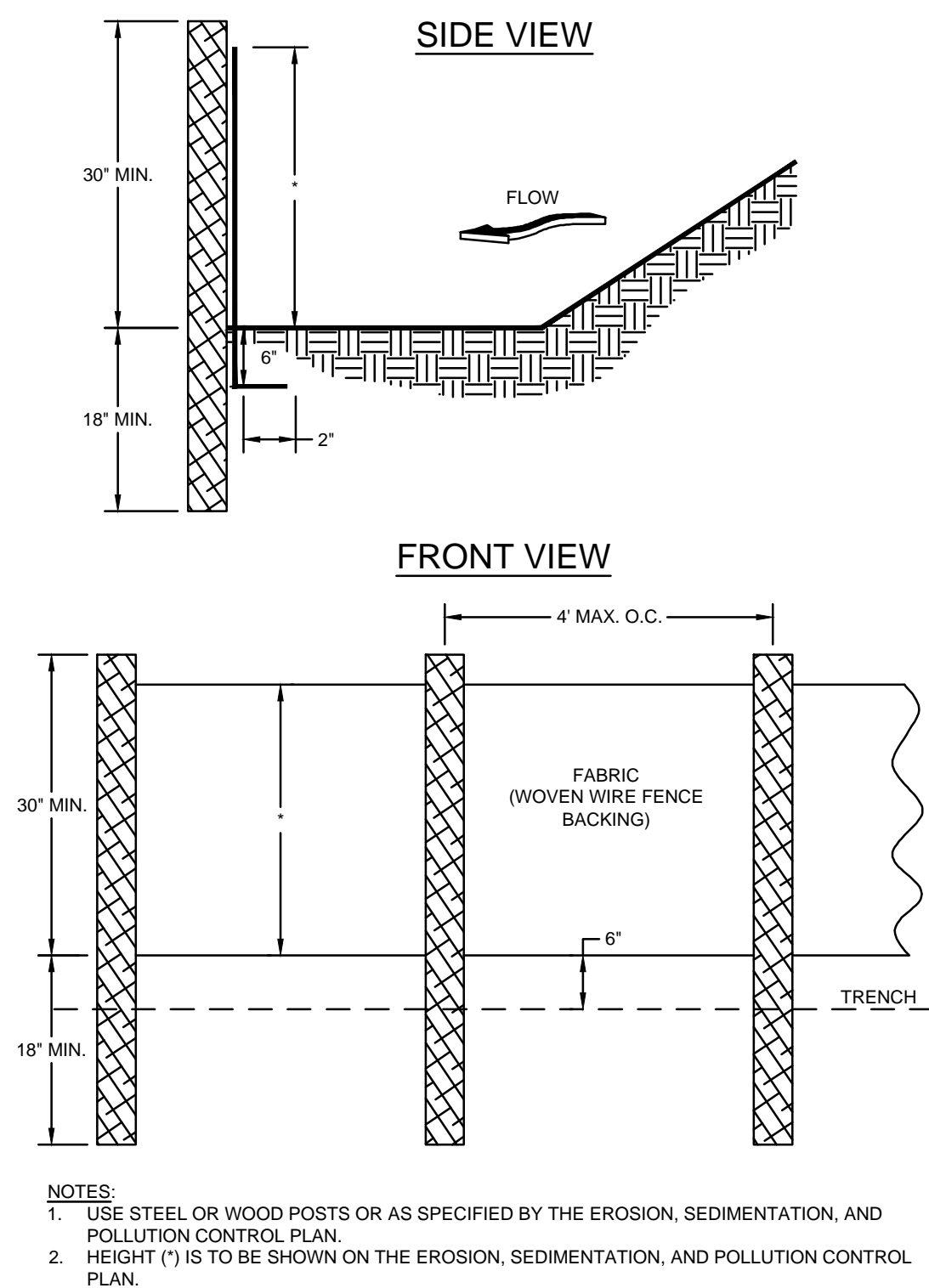
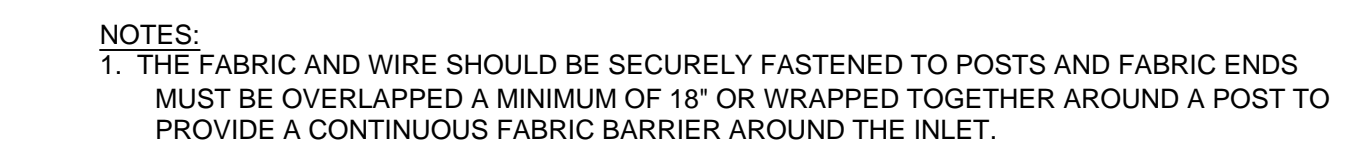
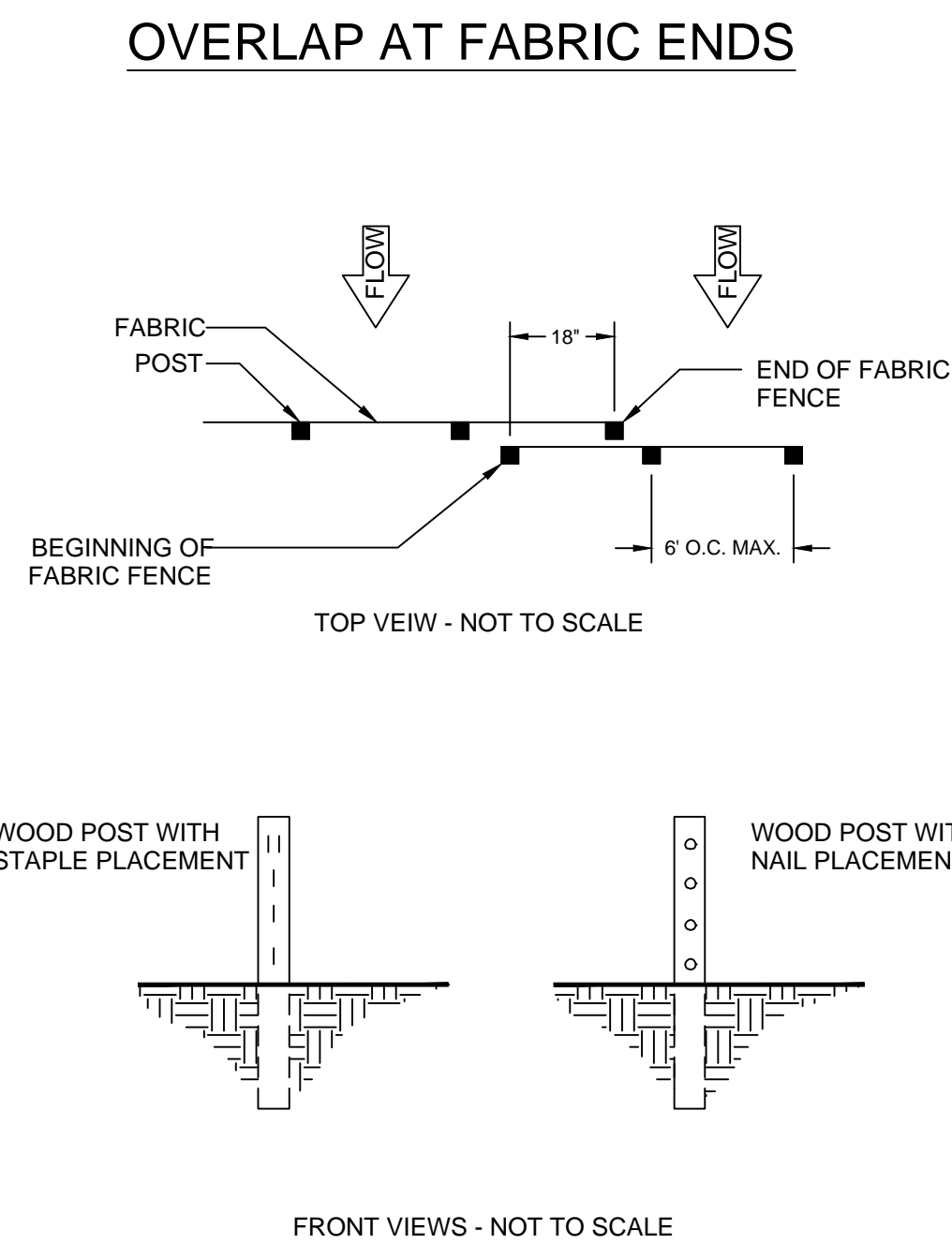
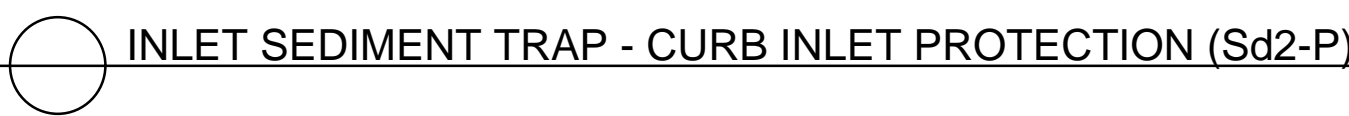
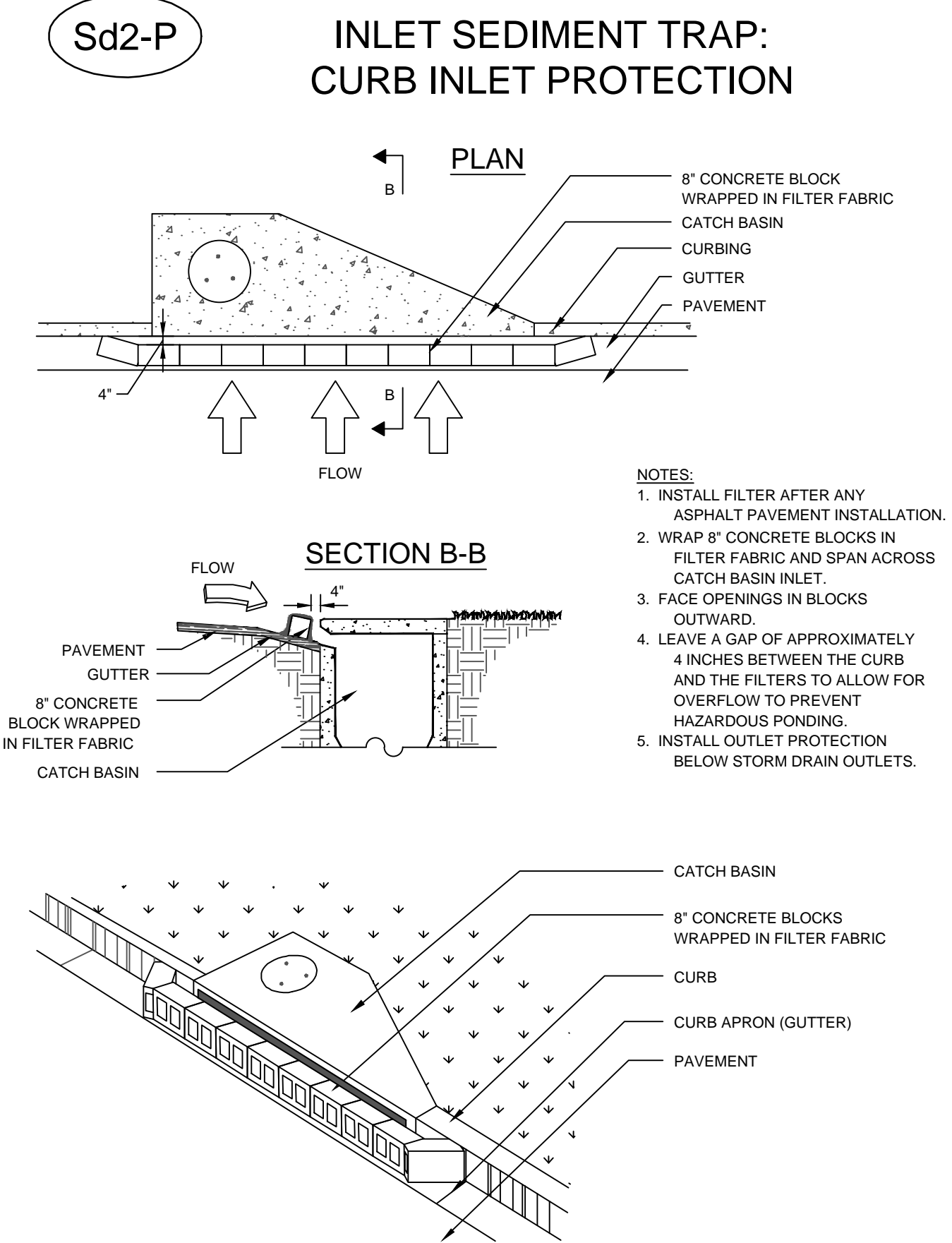
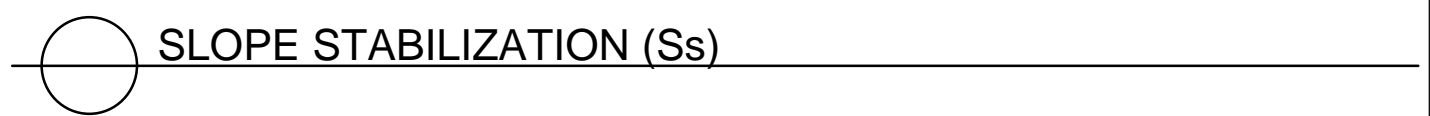
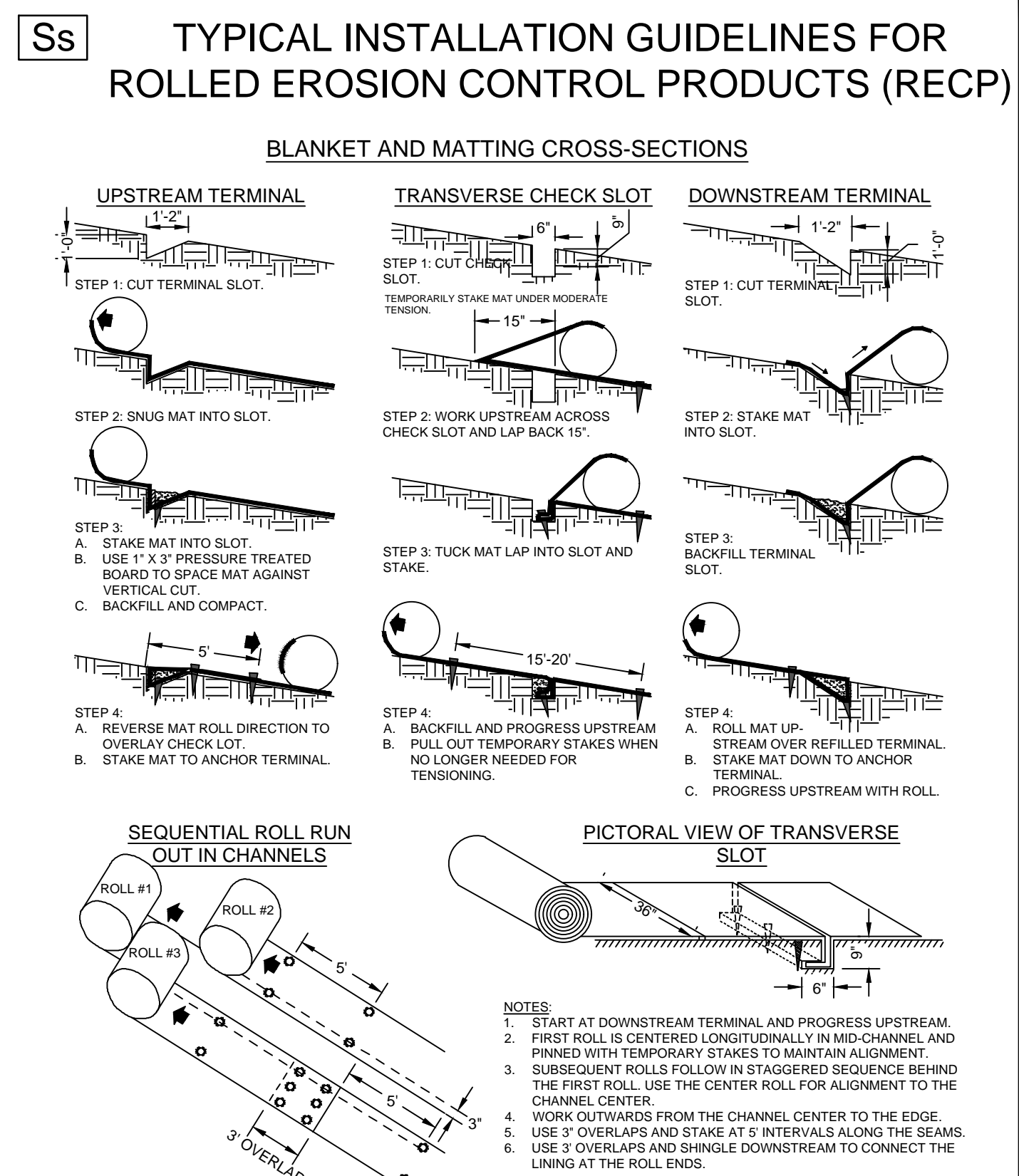
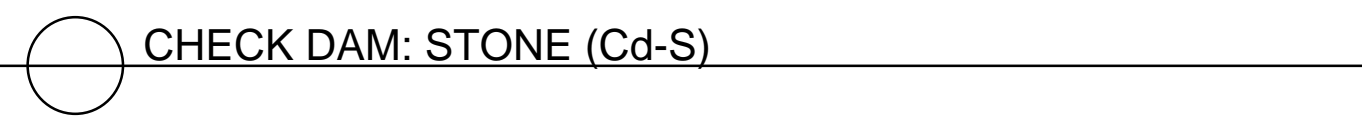
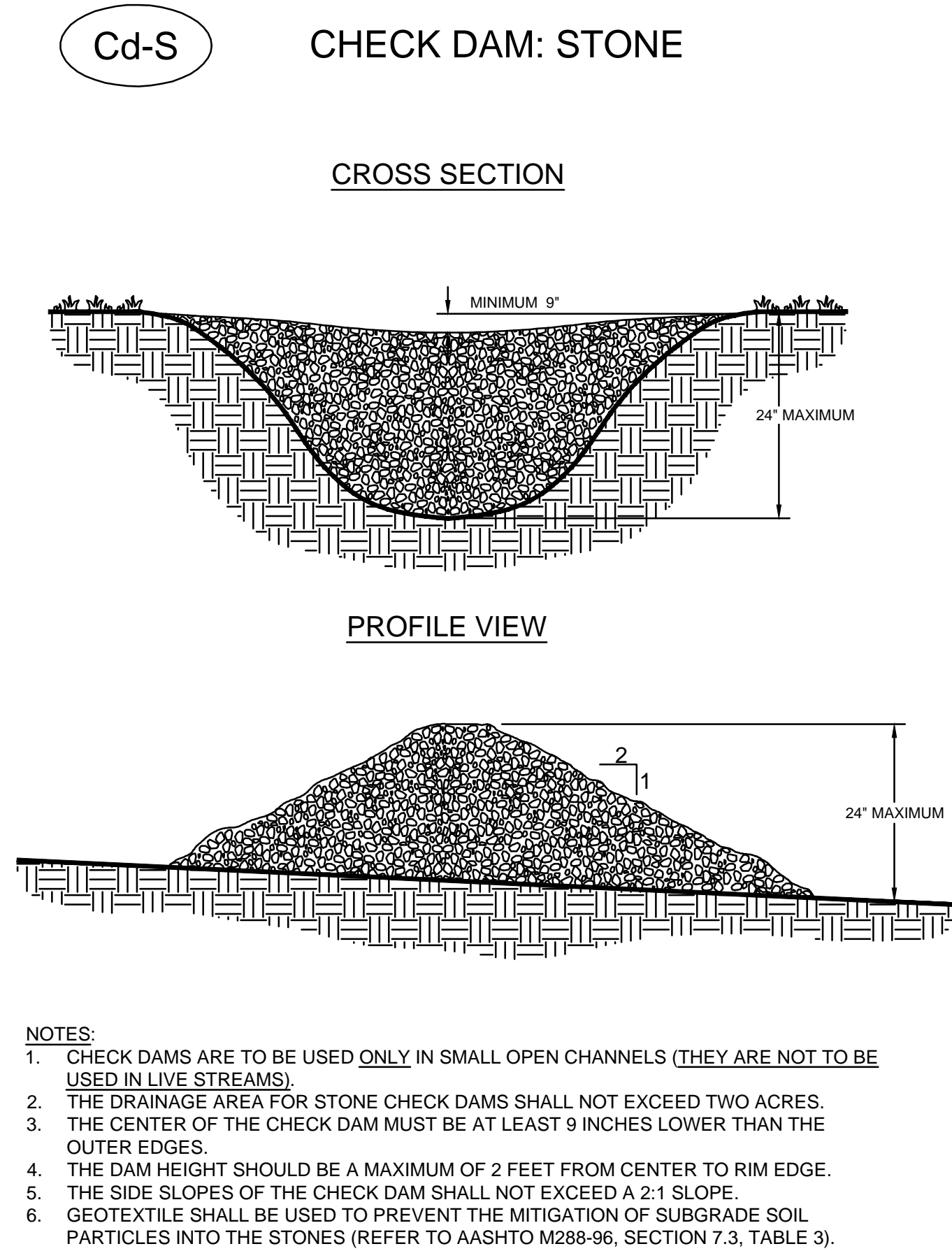
HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



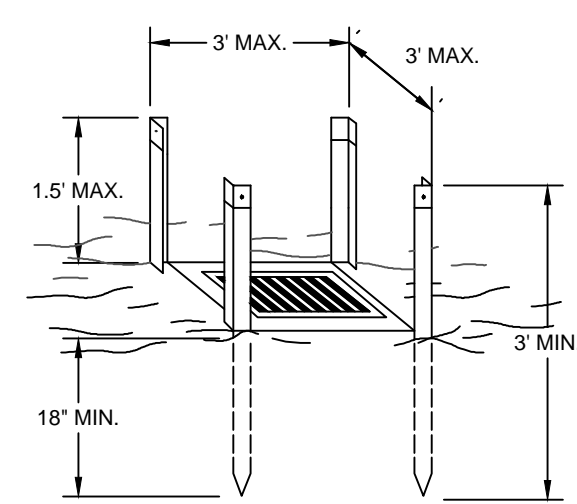
GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY DMZ
DATE 04/24/2020
PROJECT NO. 013623001

TITLE
EROSION CONTROL DETAILS
SHEET NUMBER
C5-80

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (770) 814-4280
WWW.KIMLEY-HORN.COM

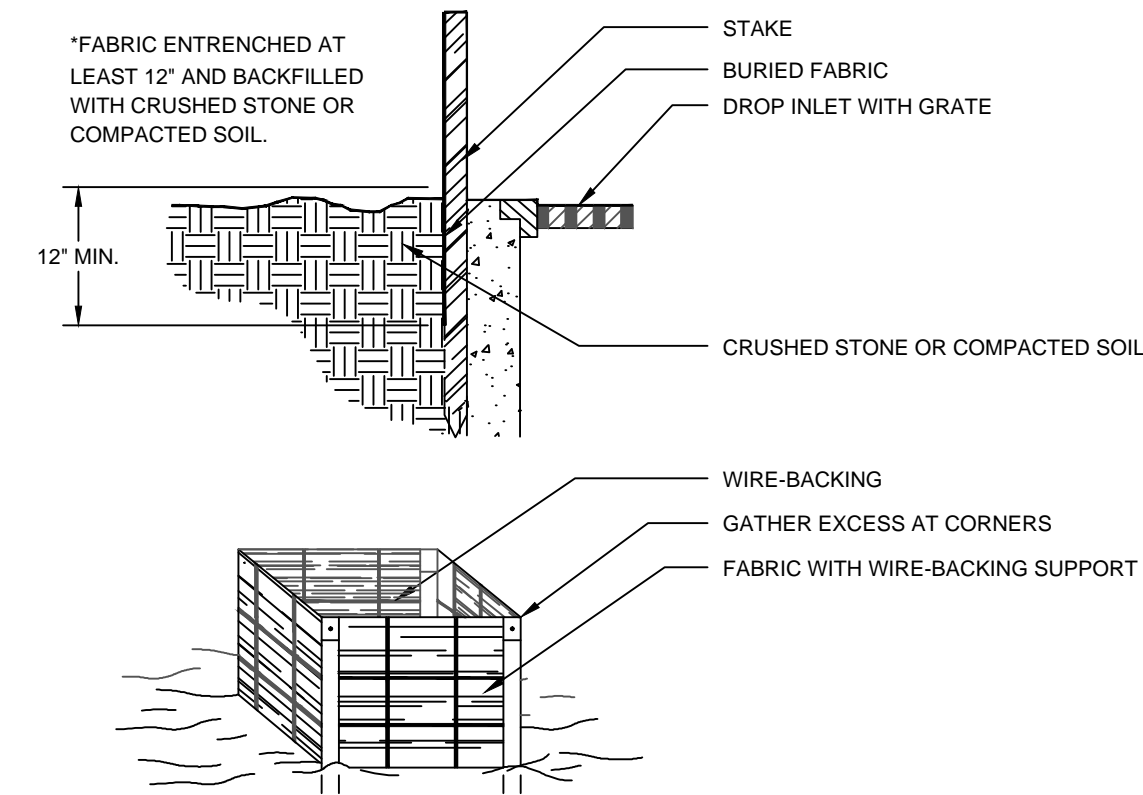


STEEL FRAME AND SILT FENCE INSTALLATION



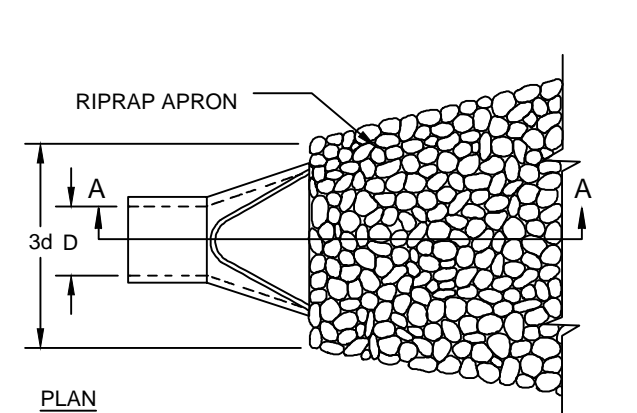
NOTES:

1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

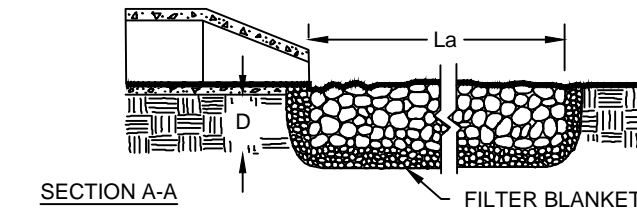


INLET SEDIMENT TRAP - FILTER FABRIC (Sd2-F)

PIPE OUTLET TO FLAT AREA NO
WELL DEFINED CHANNEL



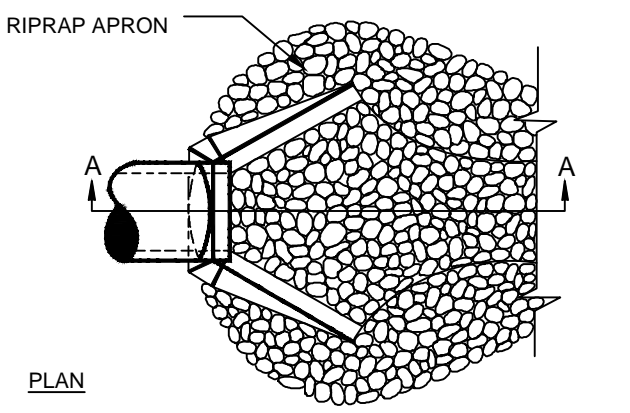
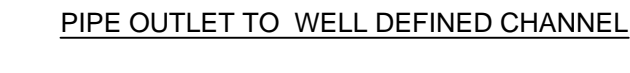
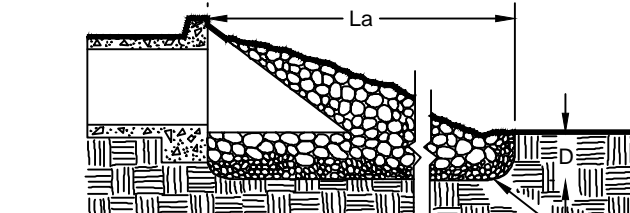
PLAN



SECTION

NOTES:

1. La IS THE LENGTH OF THE RIPRAP APRON.
2. D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

PLA

NOTES:

1. La IS THE LENGTH OF THE RIPRAP APRON.
2. D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

RIPRAP OUTLET PROTECTION (St)

Diagram illustrating the dimensions of a trapezoidal channel cross-section:

- FREEBOARD** = (E) FT
- RIDGE WIDTH** = (G) FT (4 FT MINIMUM)
- DEPTH OF FLOW** = (D) FT
- SIDESLOPE** = (C):1
- BOTTOM WIDTH** = (B) FT
- RIDGE HEIGHT** = (H) FT
- NORMAL GROUND LEVEL**
- (A) LINING**
- SIDESLOPE** = (C):1

Division																																					
Description		Drainage Area (DA)		Drainage Area (DA)		Runoff Coefficient (C)		Intensity (25-Year)		Flow (Q _{avg})		Velocity (V)		Liner		Ditch Shape		Bottom Width		Side Slope (H:V)		Total Depth		Running Slope		Depth of Flow		Manning's Number (n)		Freeboard		Channel Top Width		Ridge Width		Ridge Height	
ID		sf	ac	ac	ac	in/hr	cfs	cfs	ft/s	Ch-1		Ditch Shape	Bottom Width	Side Slope (H:V)	Total Depth	Running Slope	Depth of Flow	Manning's Number (n)	Freeboard	Channel Top Width	Ridge Width	Ridge Height															
Di 1-1		24,000	0.55	0.50	8.39	2.31	3.69	Ch-1	Trapzoidal	2	2.1	1.50	1.00	1.00	0.25	0.023	1.25	8.0	4	1.50																	
Di 2-1		30,300	0.70	0.50	8.39	2.94	4.70	Ch-1	Trapzoidal	2	2.1	1.50	1.00	1.00	0.25	0.023	1.25	8.0	4	1.50																	

Check Dam note to be shown on the E&S Plan		
Flow in ditch using C/ds	Above 2.0 cfs	If so, list additional BMP Lining Material
cfs		
2.31	YES	Ch-1
2.94	YES	Ch-1

DIVERSION (Di)

DEFINITION
A WALL CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING: CONCRETE MASONRY, REINFORCED CONCRETE CRIBBING, TREATED TIMBERS, STEEL PILINGS, GABIONS, STONE DRYWALL, ROCK RIPRAP, ETC.

PURPOSE
TO ASSIST IN THE STABILIZATION OF CUT OR FILL SLOPES WHERE STABLE SLOPES ARE NOT ATTAINABLE WITHOUT THE USE OF THE WALL.

CONDITIONS

USE IN CONJUNCTION WITH CUT OR FILL SLOPES THAT, BECAUSE OF SPACE LIMITATIONS OR UNSTABLE MATERIAL, DO NOT ALLOW THE STABLE SLOPE CRITERIA LISTED ABOVE, *E.G.* CUTS INTO STEEP HILLSIDES ON SMALL SLOTS OR CUTS INTO HILLSIDES BEHIND SHOPPING CENTERS TO PROVIDE LOADING SPACE.

DESIGN CRITERIA

GENERAL

THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT AND MINIMUM THICKNESS. OTHER CONSIDERATIONS ARE: FOUNDATION DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS AND FOOTING DIMENSIONS. ADDITIONAL DESIGN FACTORS ARE SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE AND APPEARANCE.

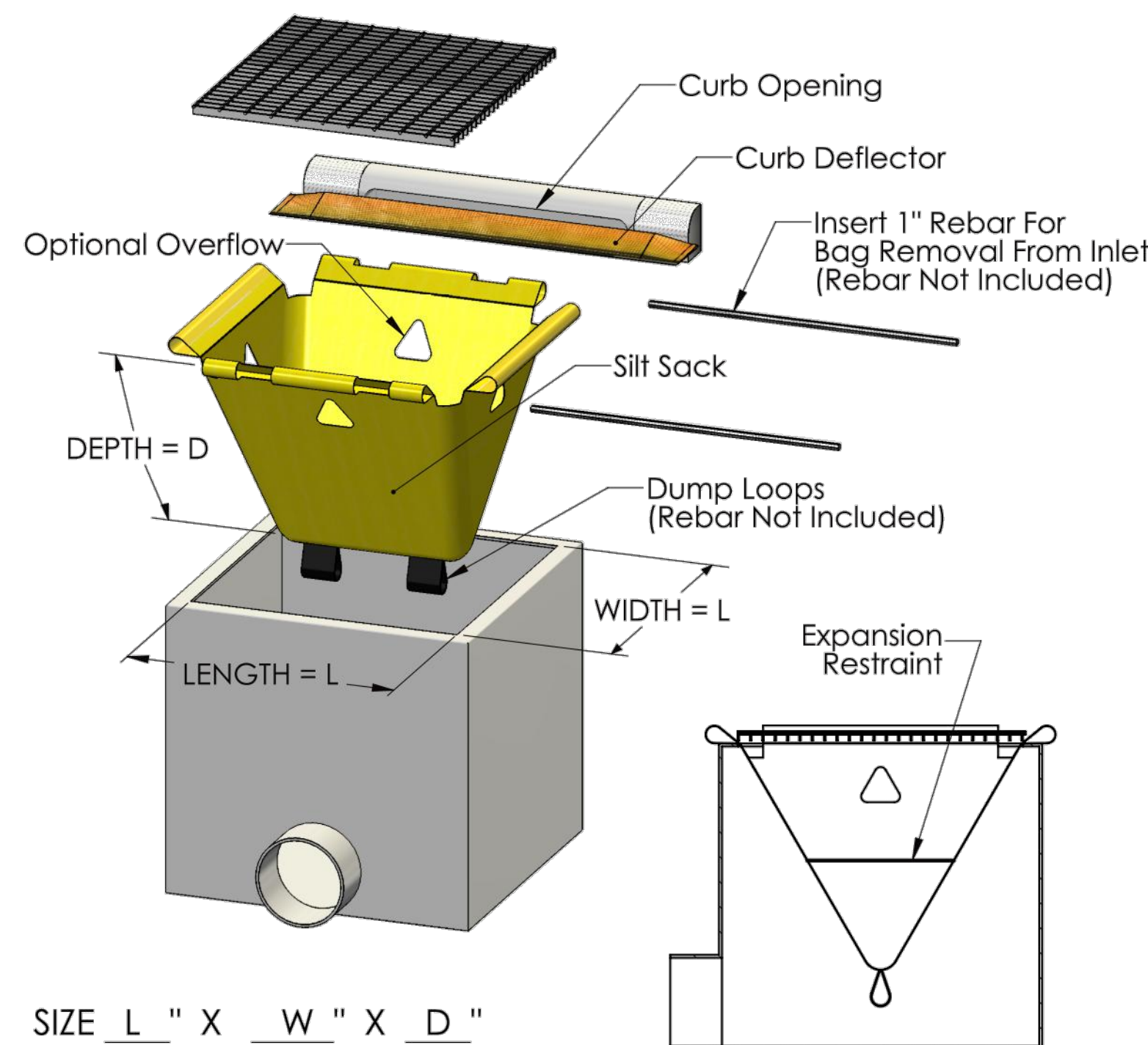
EACH SITUATION REQUIRES A *SPECIFIC DESIGN* THAT IS WITHIN THE CAPABILITIES OF THE DESIGN PROFESSIONAL.

CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO CONSTRUCTION OF THE WALL. SOME METHODS ARE:

1. CONCRETE MASONRY
2. CONCRETE CRIBBING
3. GABIONS
4. STEEL PILING
5. STONE DRYWALL
6. ROCK RIPRAP, ETC.
7. TREATED TIMBERS
8. GEOTEXTILE WRAPPED-FACE WALL
9. GEOTEXTILE REINFORCED STEEP SLOPES

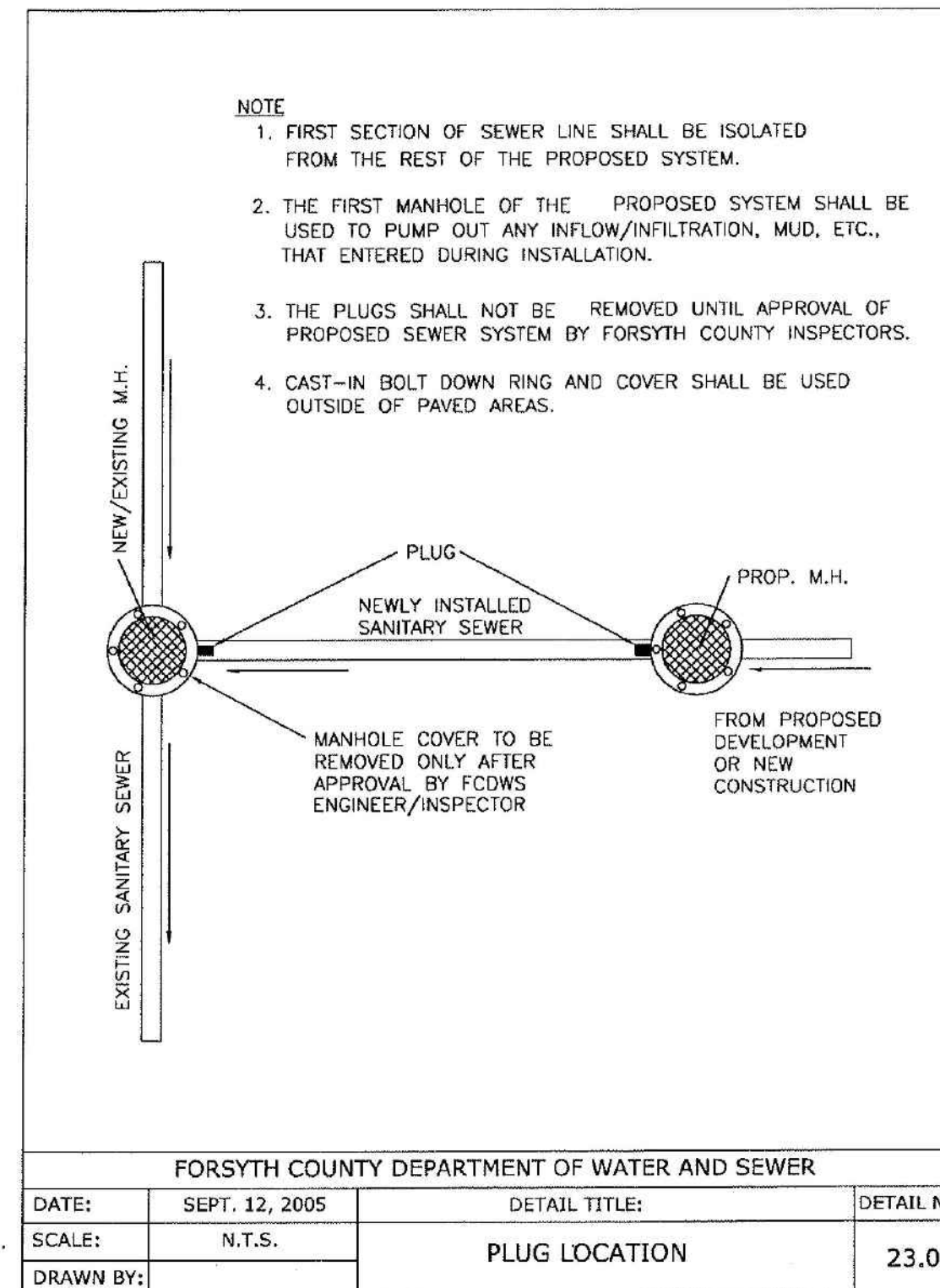
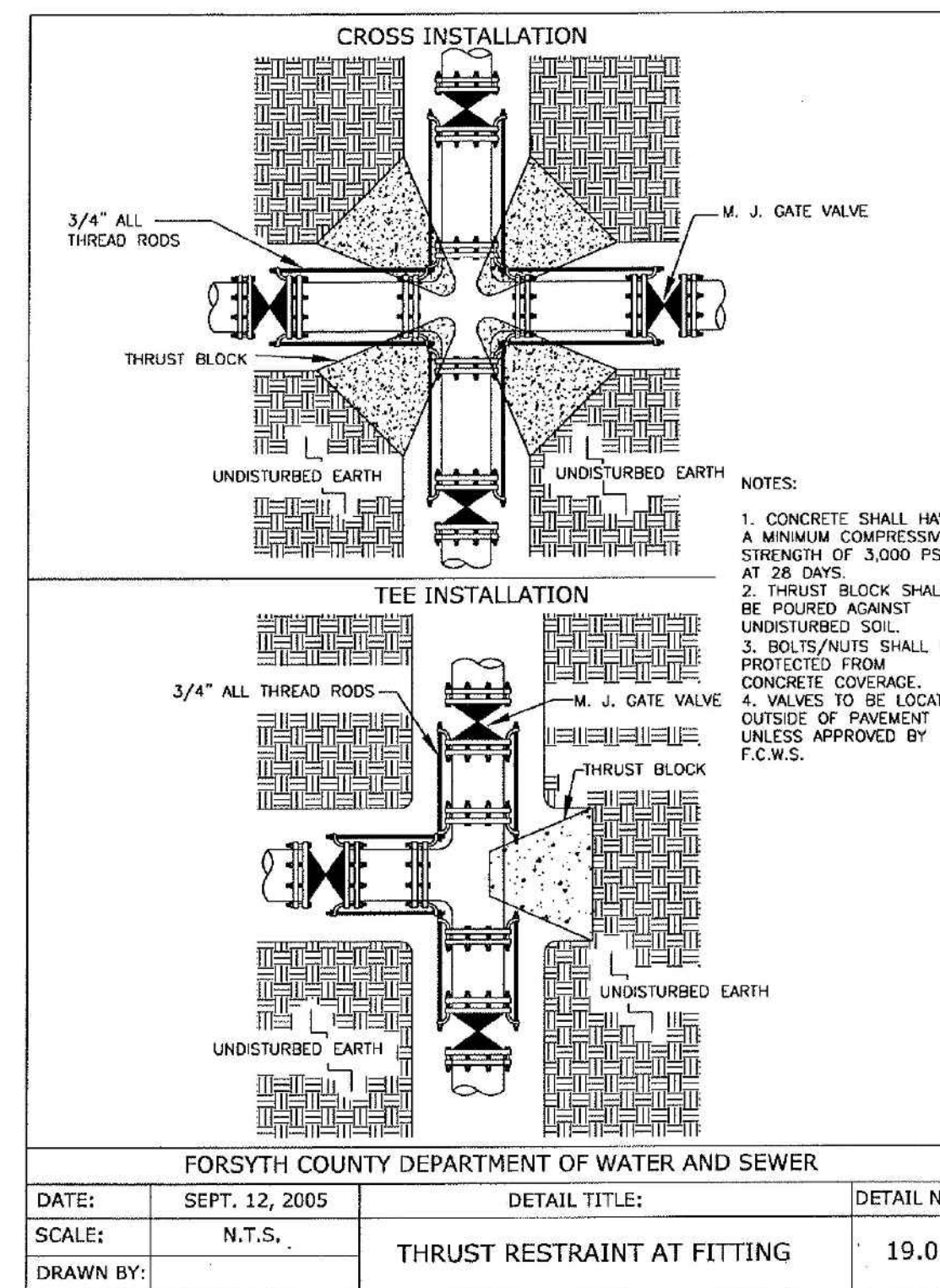
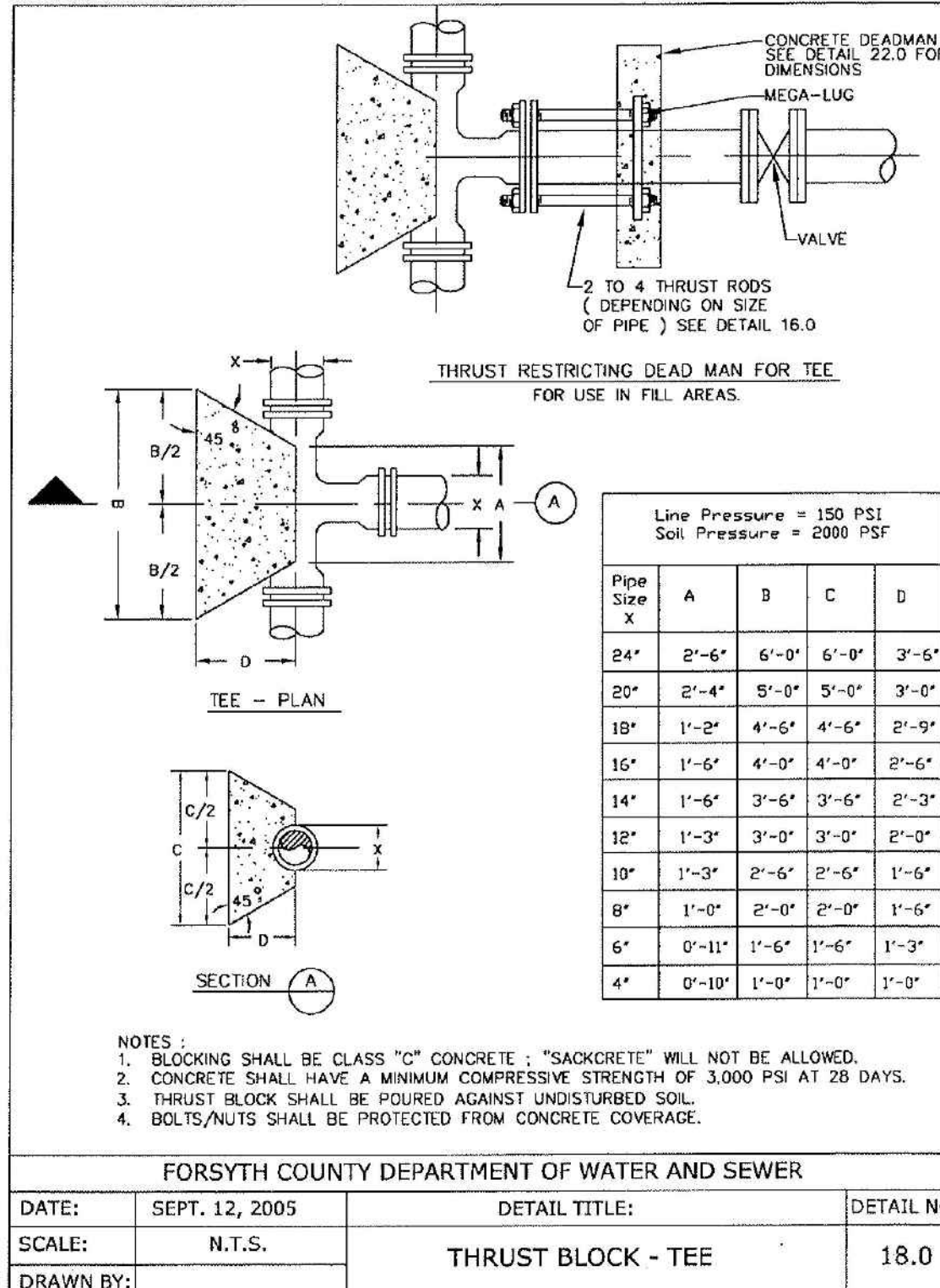
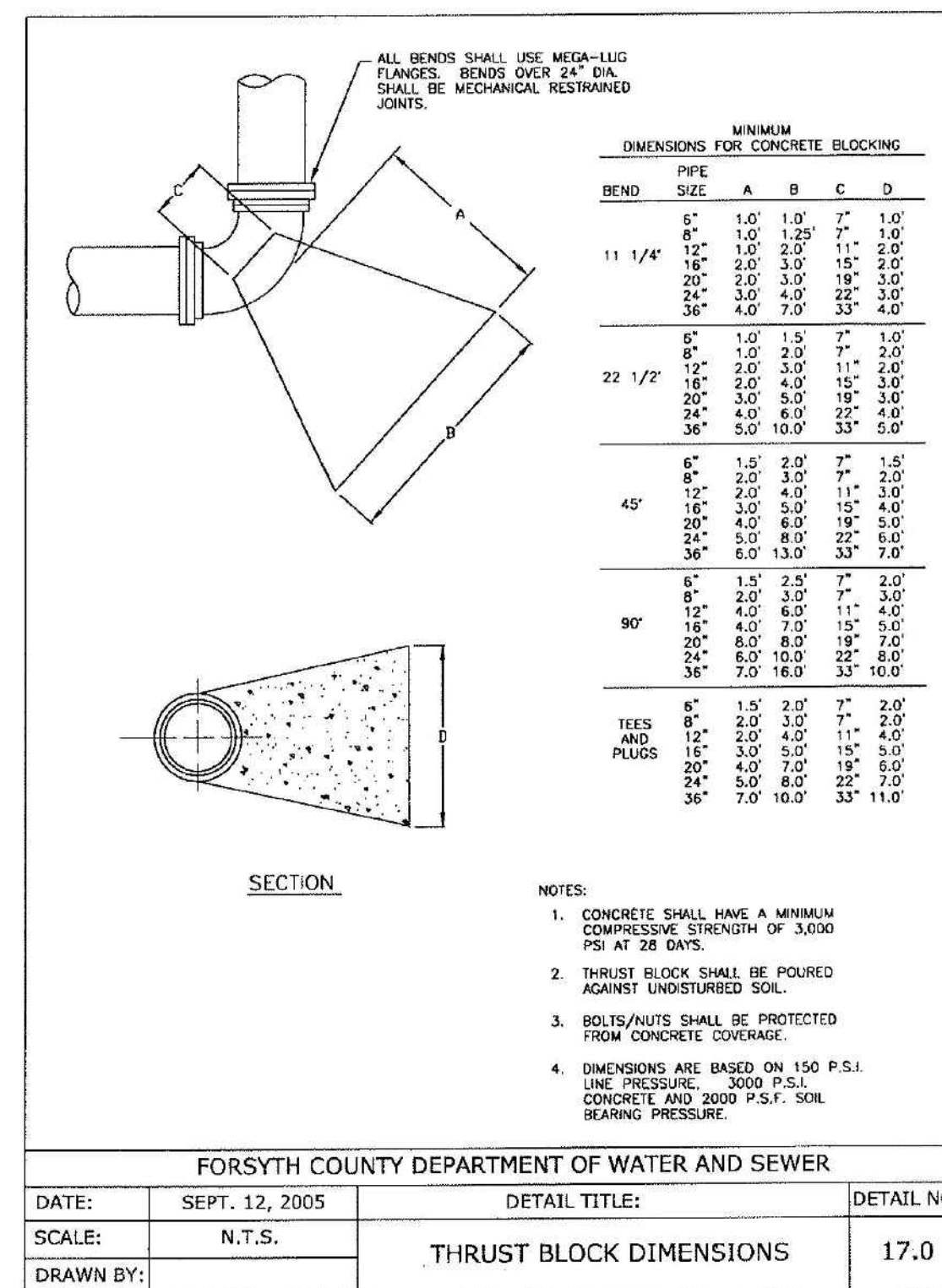
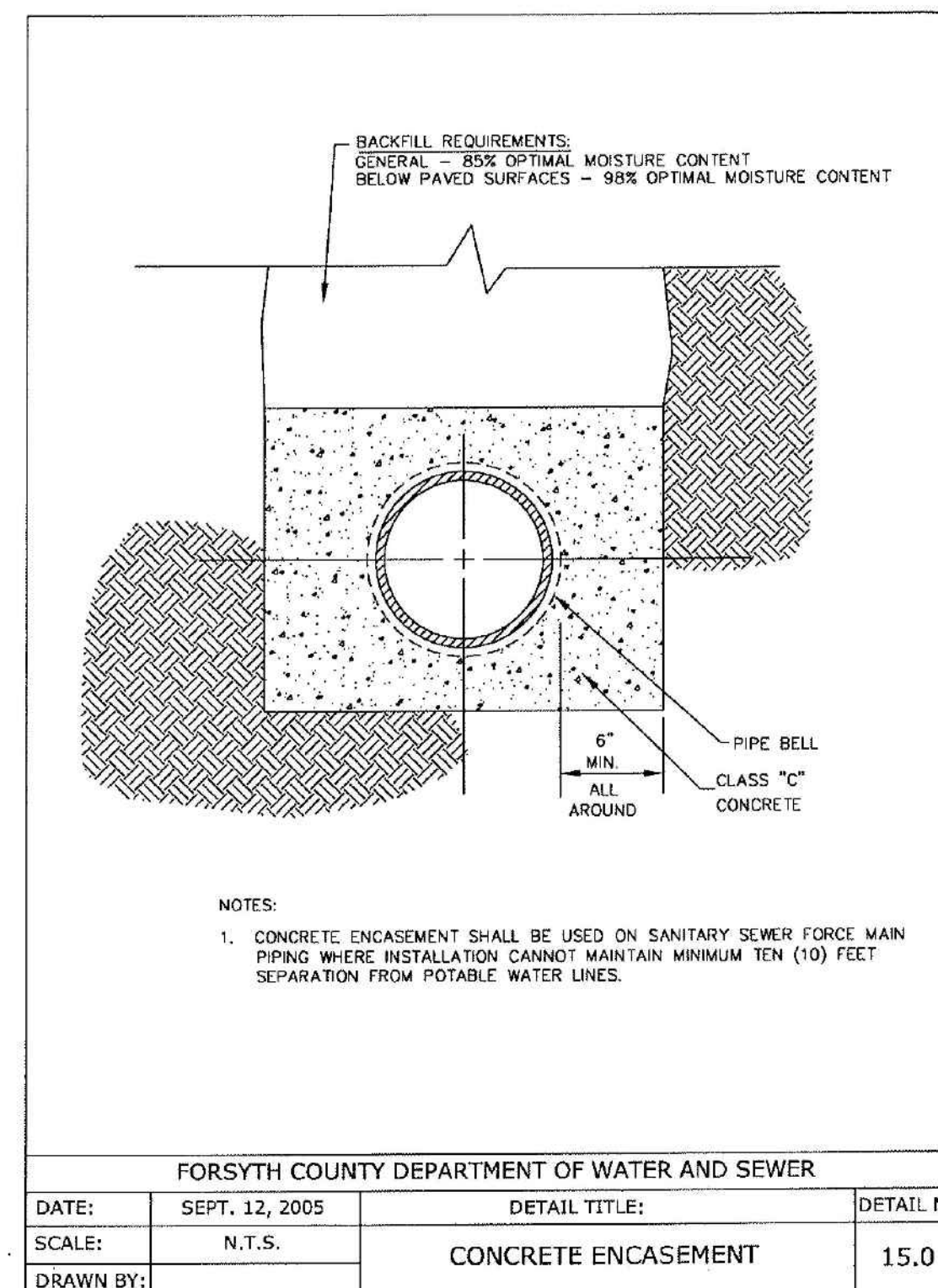
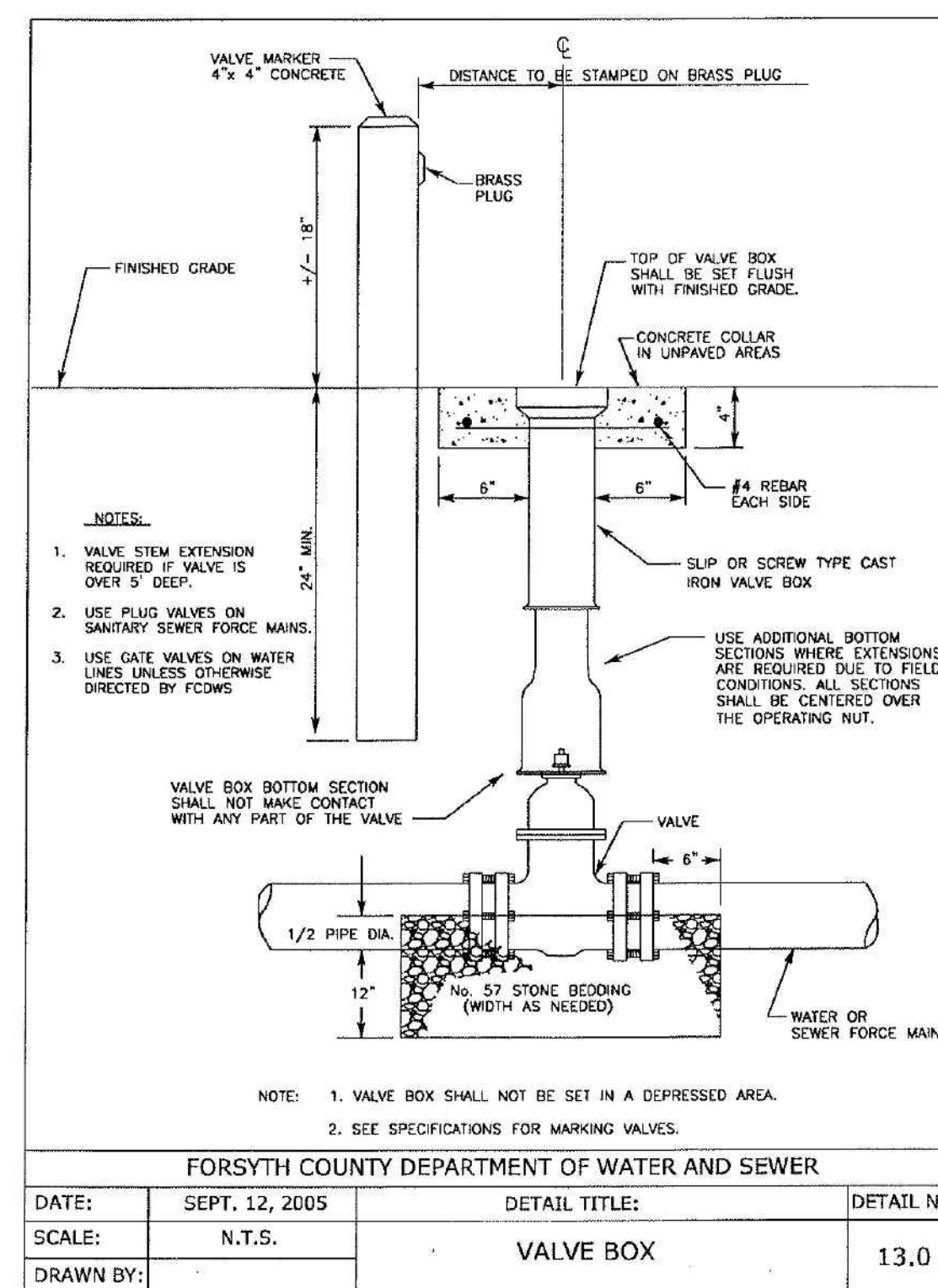
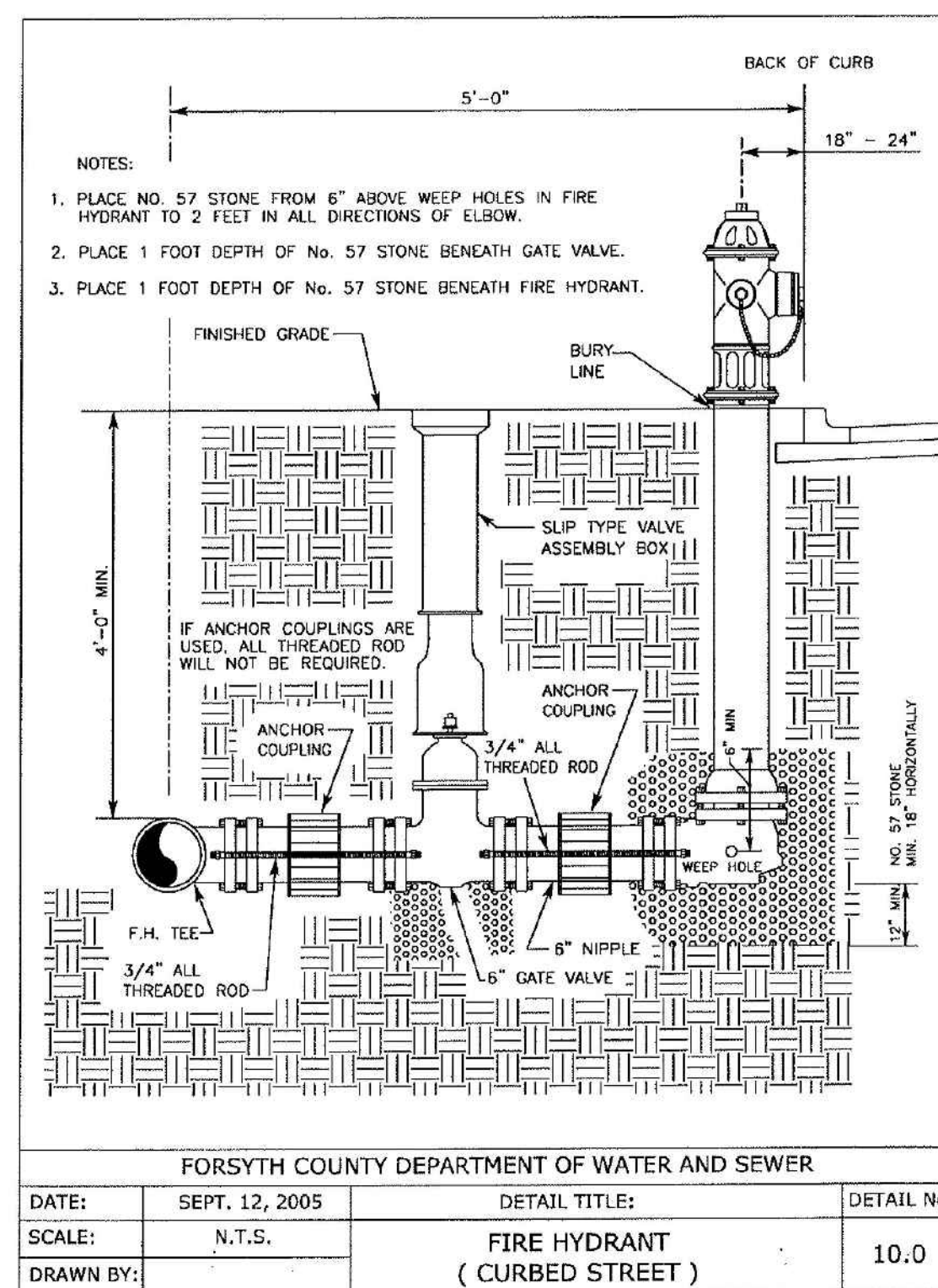
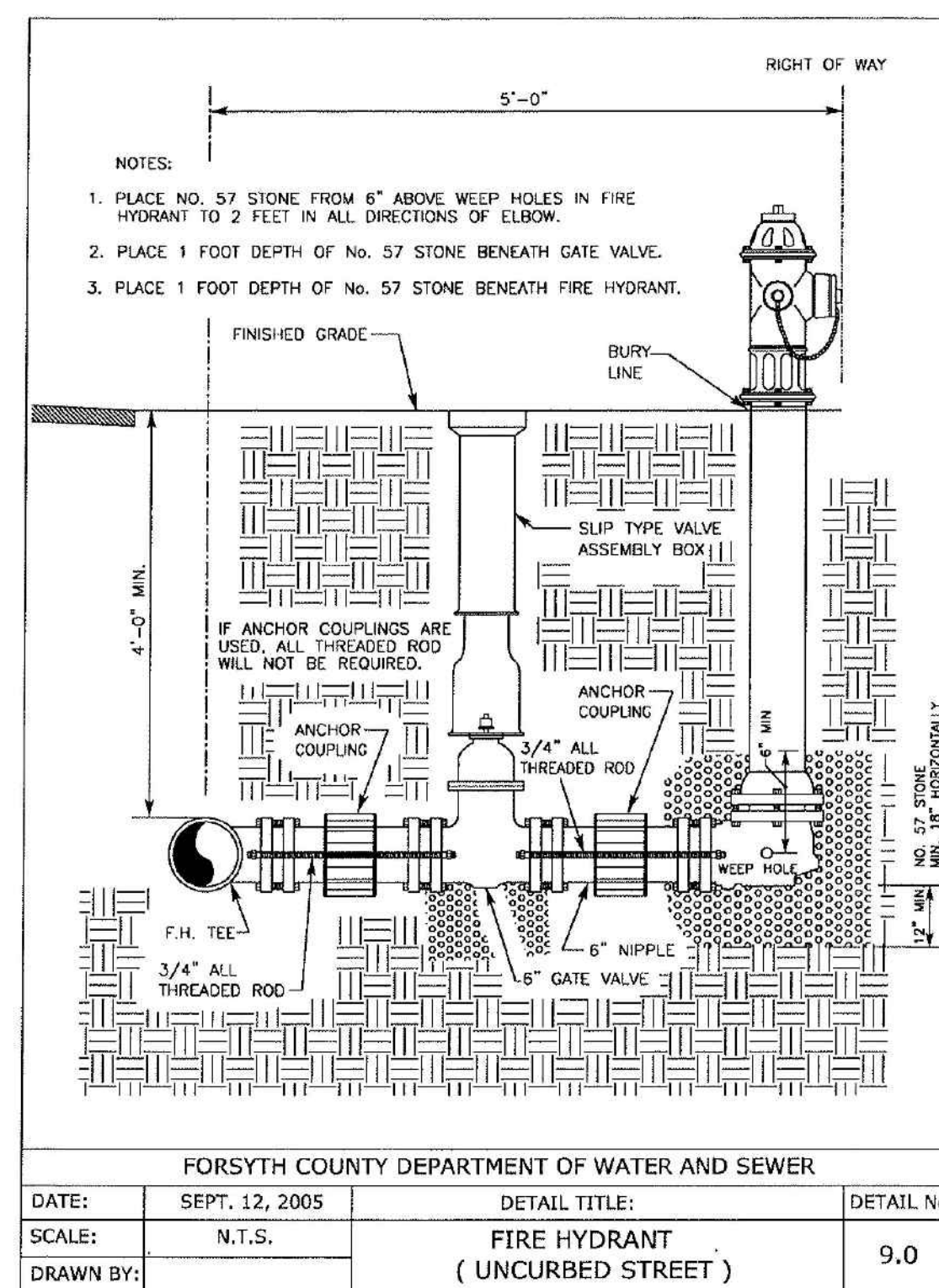
RETAINING WALL (Re)

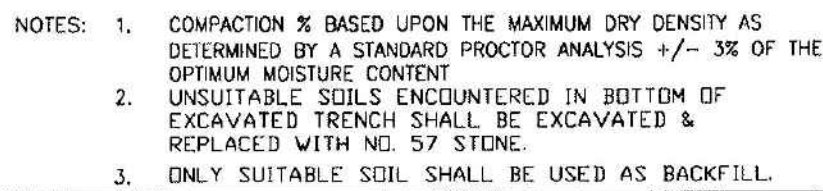
Silt Sack - Type B



SIZE L " X W " X D "







A diagram of a cell, represented as a circle with a thick outer boundary and a textured interior. Five arrows point towards the cell from the outside, indicating the direction of osmosis.

P.V.C. DEPTH

FORSYTH COUNTY REQUIREMENTS

FOR ACTUAL TRENCH DEPTHS AND WIDTHS EXCEEDING ABOVE SPECIFIED OR AS DETERMINED IN THE FIELD BY F.C.D.W.S. INSPECTOR, DUCTILE IRON PIPE WILL BE REQUIRED.

A diagram of a cell, represented as a circle with a thick outer boundary and a thinner inner boundary. The interior of the cell is filled with a dense, stippled pattern. Five arrows point downwards towards the cell, indicating the direction of osmosis.

DUCTILE IRON PIPE DEPTH

SIZE INCHES	PRESSURE CLASS P.S.I.	LAYING CONDITIONS MAXIMUM DEPTH OF COVER IN FEET		
		TYPE III	TYPE IV	TYPE V
6	350	37	47	65
8	350	25	34	50
10	350	19	28	45
12	350	19	28	44
14	250	15	23	36
	300	17	26	42
	350	19	27	44
16	250	15	24	34
	300	17	26	40
	350	20	28	44
18	250	14	22	31
	300	17	26	36
	350	19	28	41
20	250	14	22	30
	300	17	26	35
	350	19	28	38
24	200	12	17	25
	250	15	20	29
	300	17	24	32
	350	19	28	37

AWWA M41 TABLE 4 - 6

R/W

DRIVEWAY

WATER MAIN TRENCH

R/W

WIDTH OF REPAIRED DRIVEWAY
TO MATCH EXISTING DRIVEWAY

3000 P.S.I. CONC.

5" MIN.

COMPACT SUBGRADE
TO TRENCH
SPECIFICATIONS

CONCRETE
"A" - "A"

WIDTH OF REPAIRED DRIVEWAY
TO MATCH EXISTING DRIVEWAY

#57 CRUSHED STONE

5" MIN.

COMPACT SUBGRADE
TO TRENCH
SPECIFICATIONS

GRAVEL
"A" - "A"

WIDTH OF REPAIRED DRIVEWAY
TO MATCH EXISTING DRIVEWAY

TYPE "C" ASPHALT

5" MIN.

COMPACTED GRAVEL
TO TRENCH
SPECIFICATIONS

ASPHALT
"A" - "A"

NOTES:

- PAVED DRIVES - FINISH SURFACE OF REPAIR AREA TO MATCH EXISTING SURFACE. EDGE OF CUT TO BE SAWN VERTICAL. EXPANSION MATERIAL TO BE USED AS DIRECTED.
- GRAVEL DRIVES - FINISHED GRADE TO BE FINISHED WITH EDGE OF DRIVE - TYPICAL ALL DRIVE

INSTALL STANDARD CAST IRON BOX WITH CLEANOUT BOX LID PER DETAIL #39.0

INSTALL 6" P.V.C. CLEANOUT PLUG

6"

4"

TO BUILDING

10'

SCHEDULE 40

INSTALL 6"x 4" WYE AT DEPTH REQUIRED FOR SEWER HOOK-UP

HARDCO TRANSITION

6"x 6" WYE

6" ø

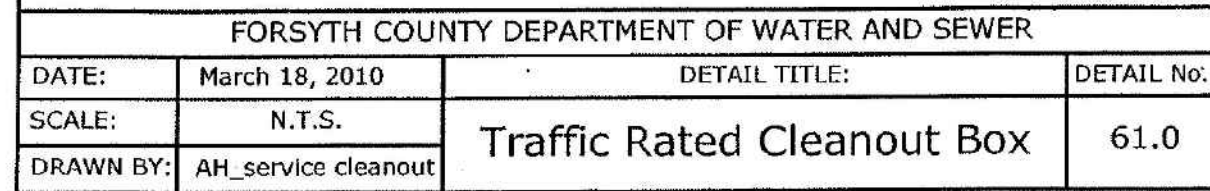
GRAVEL

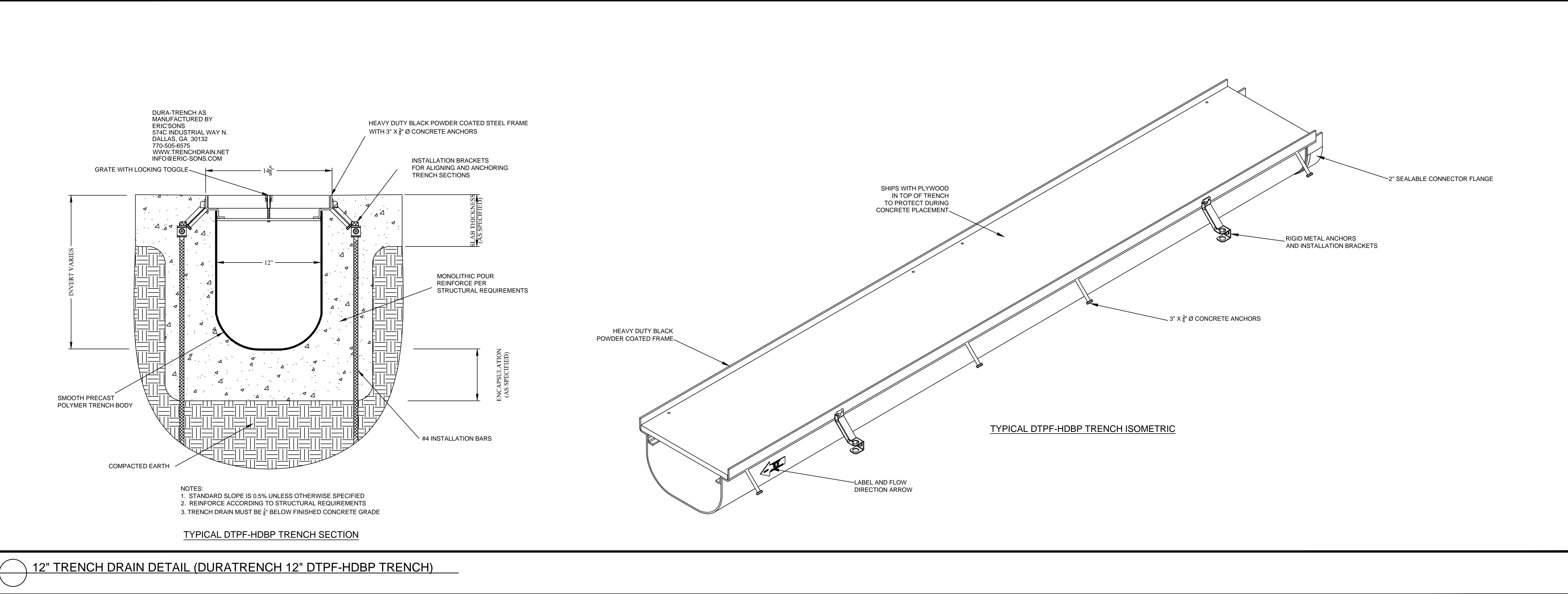
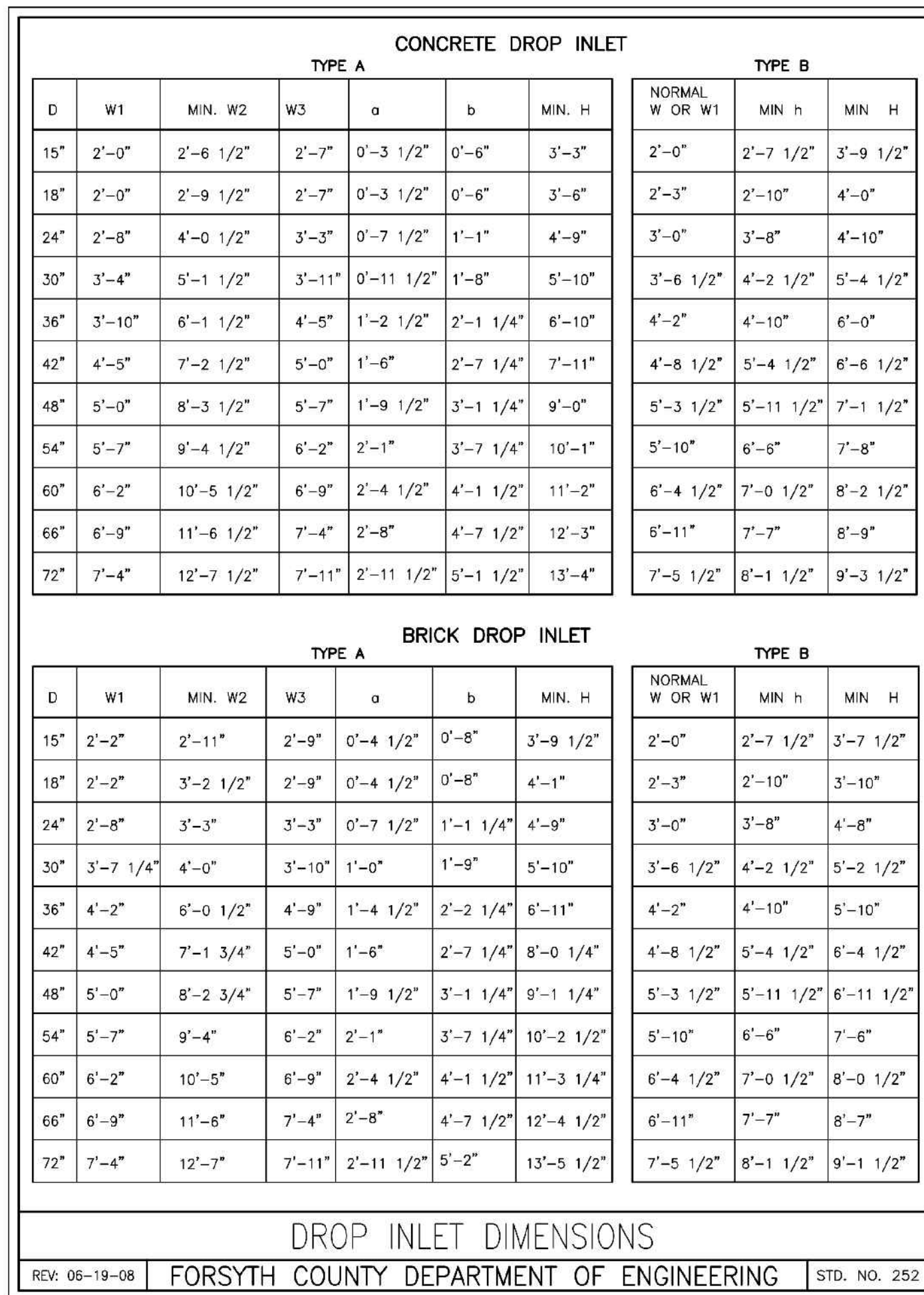
TO SEWER SYSTEM

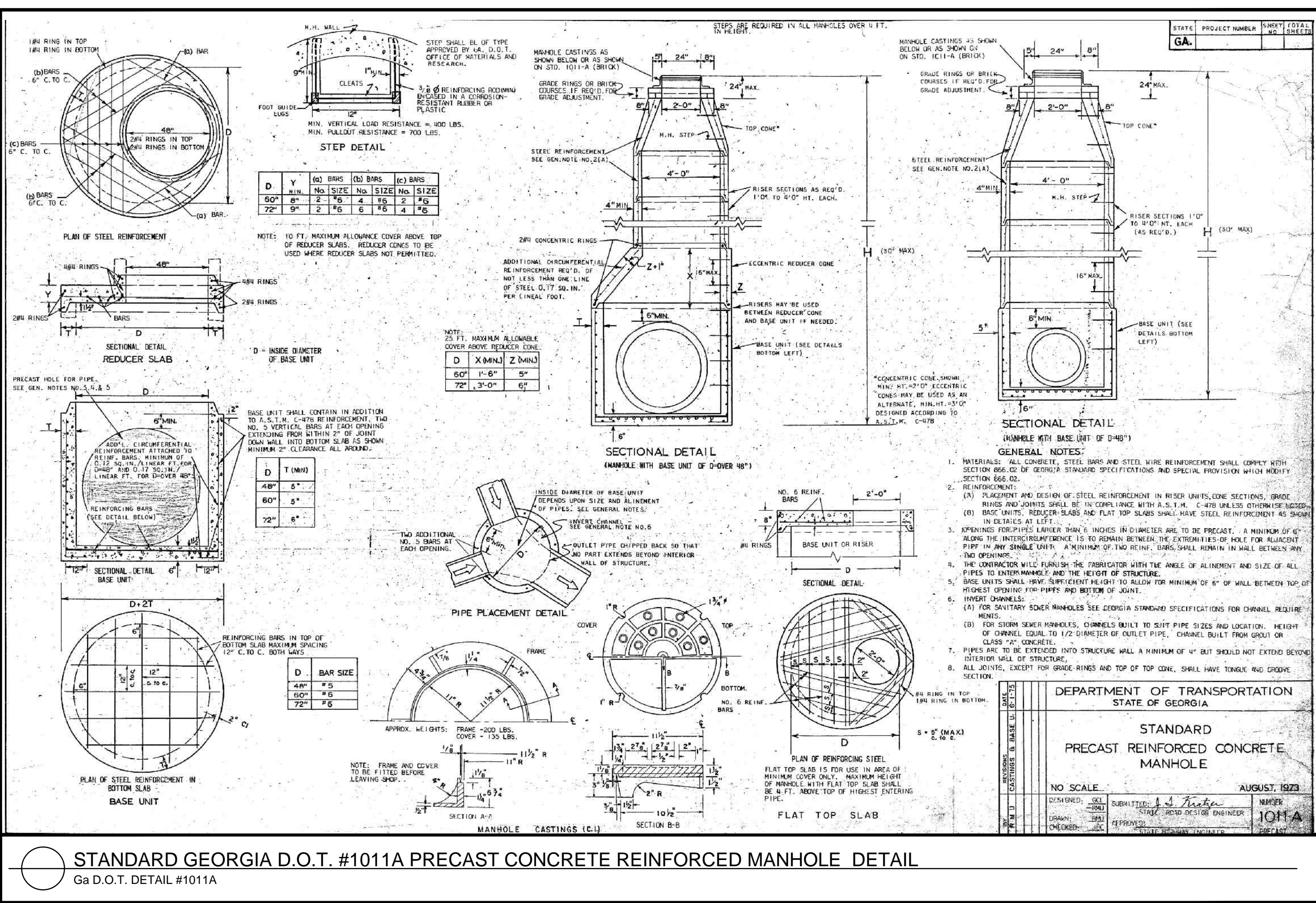
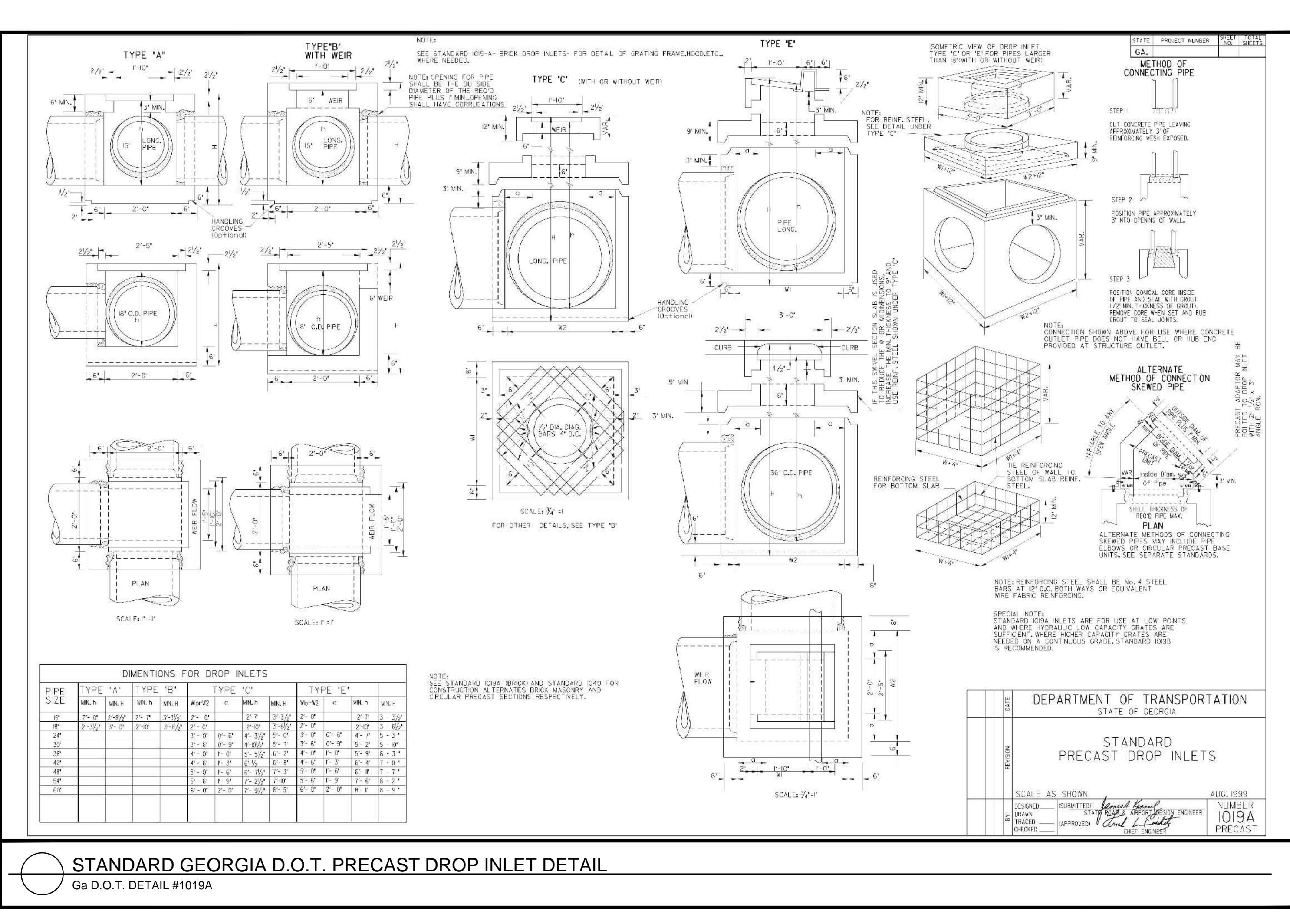
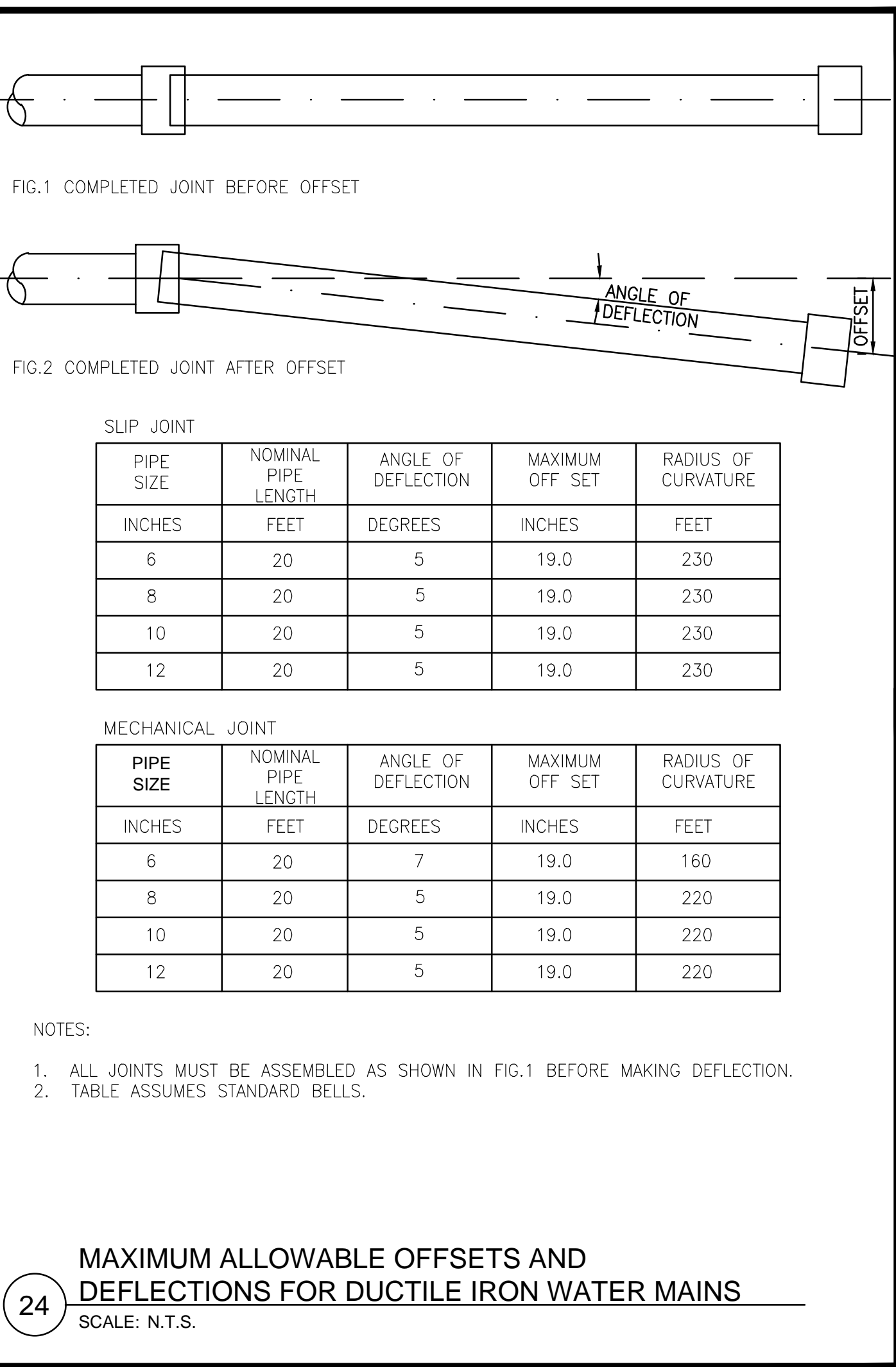
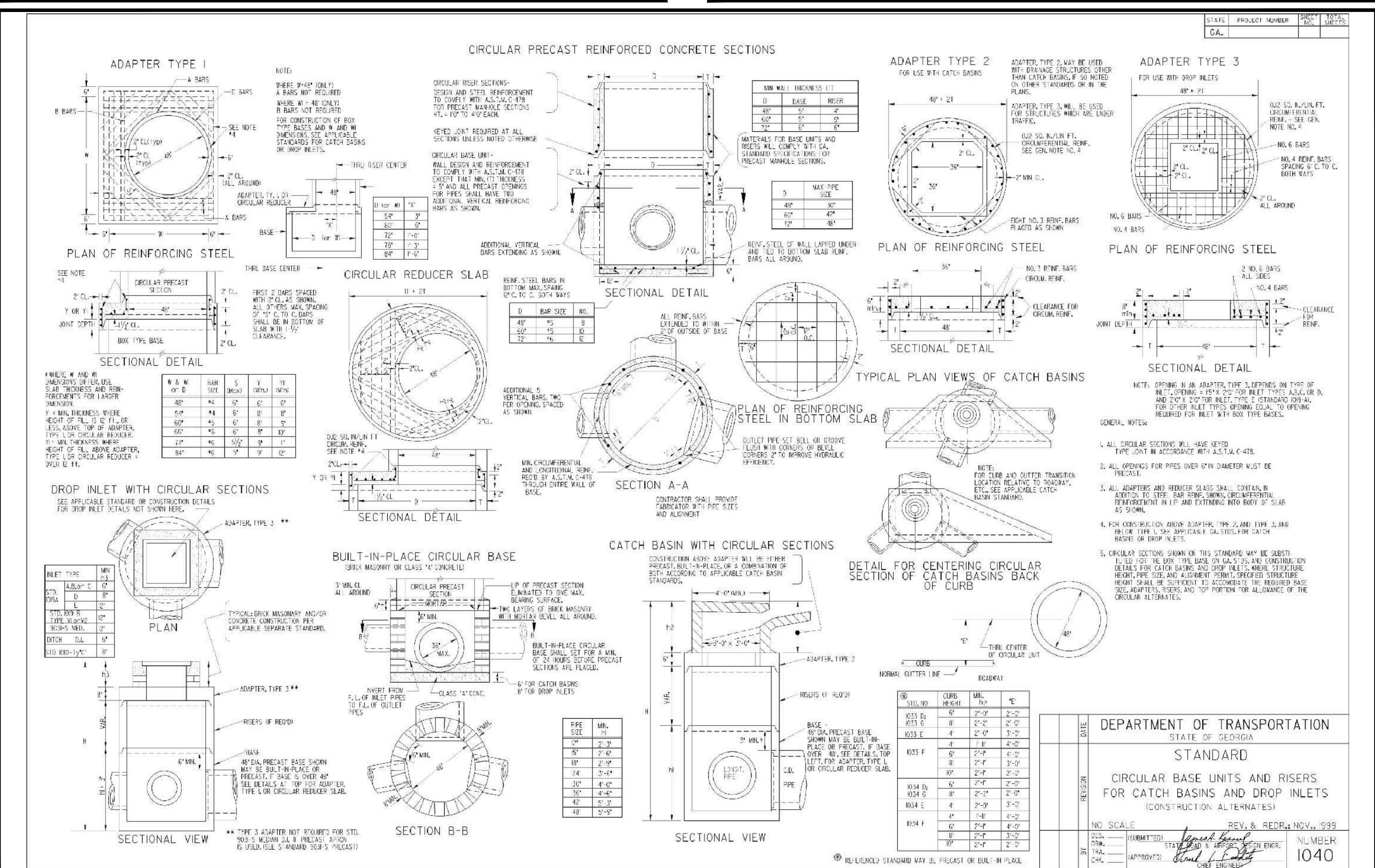
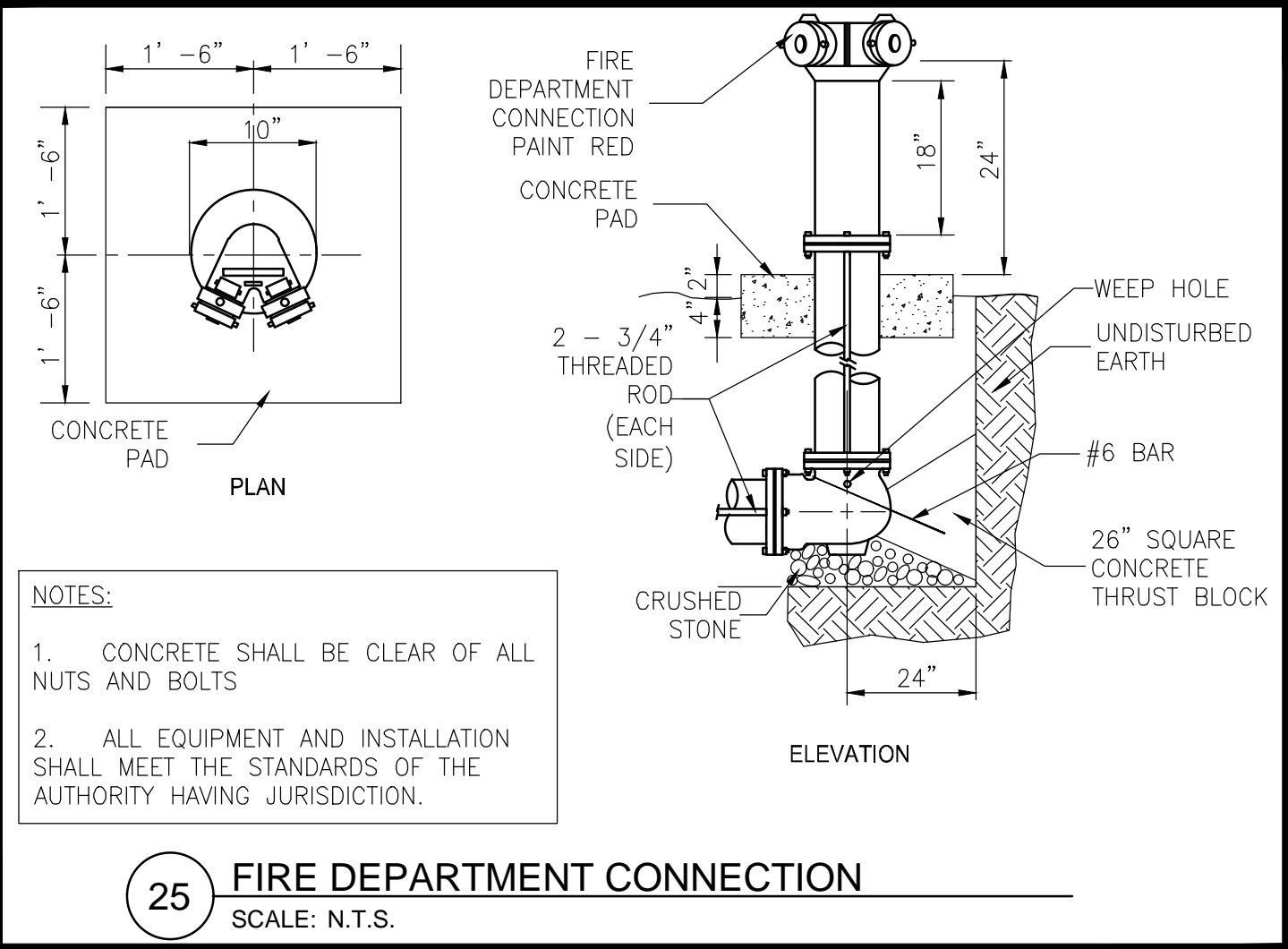
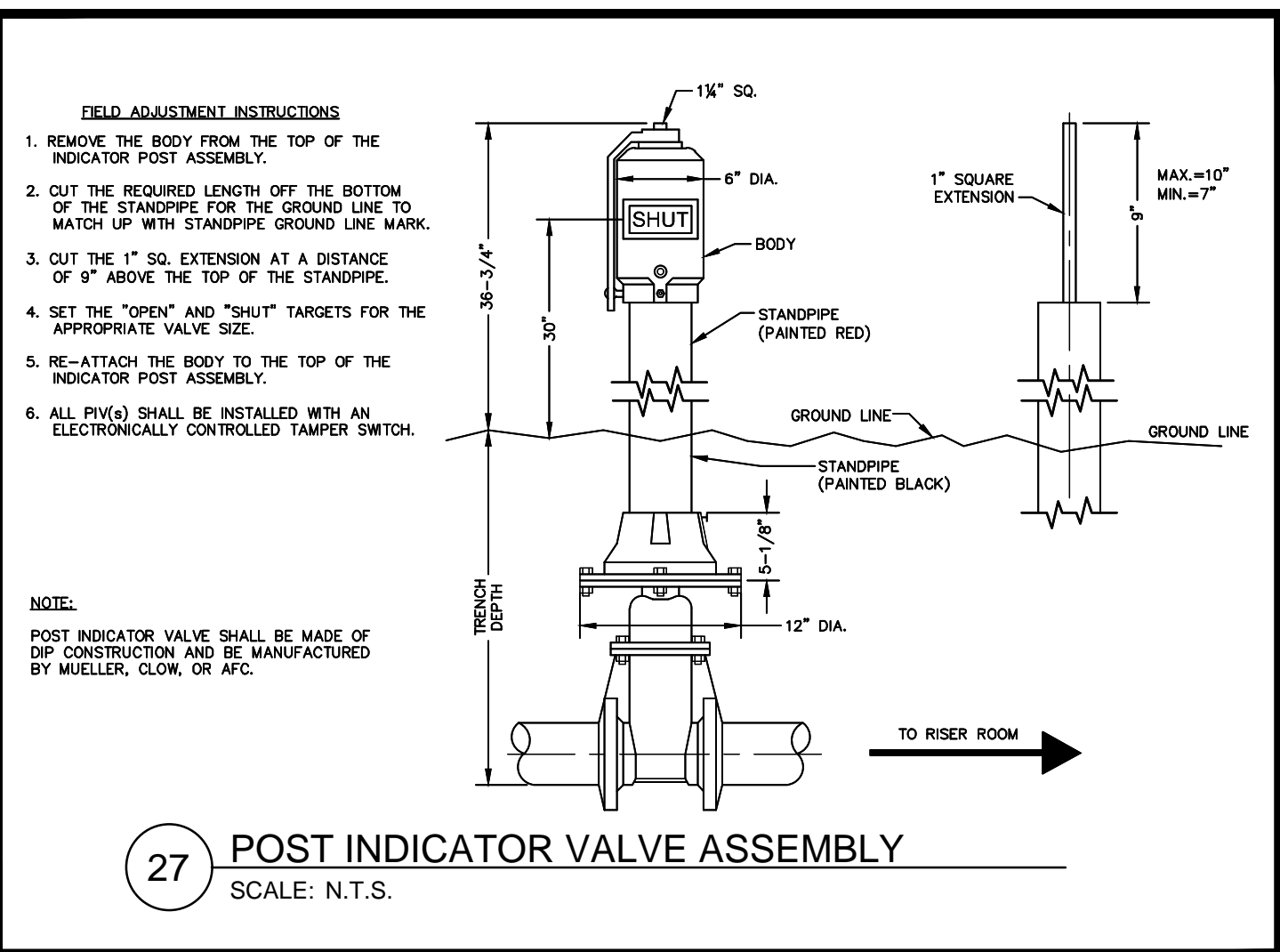
R/W

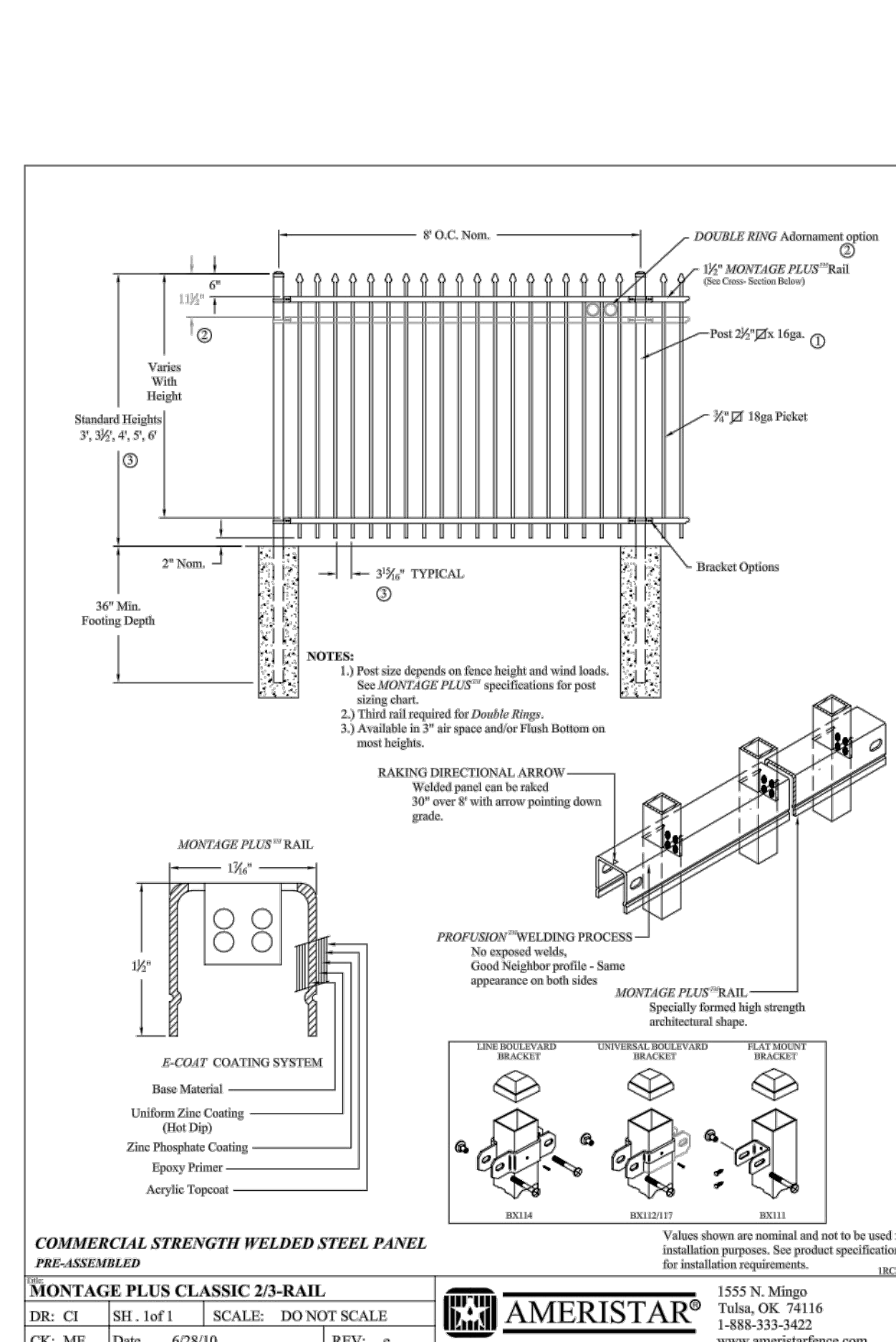
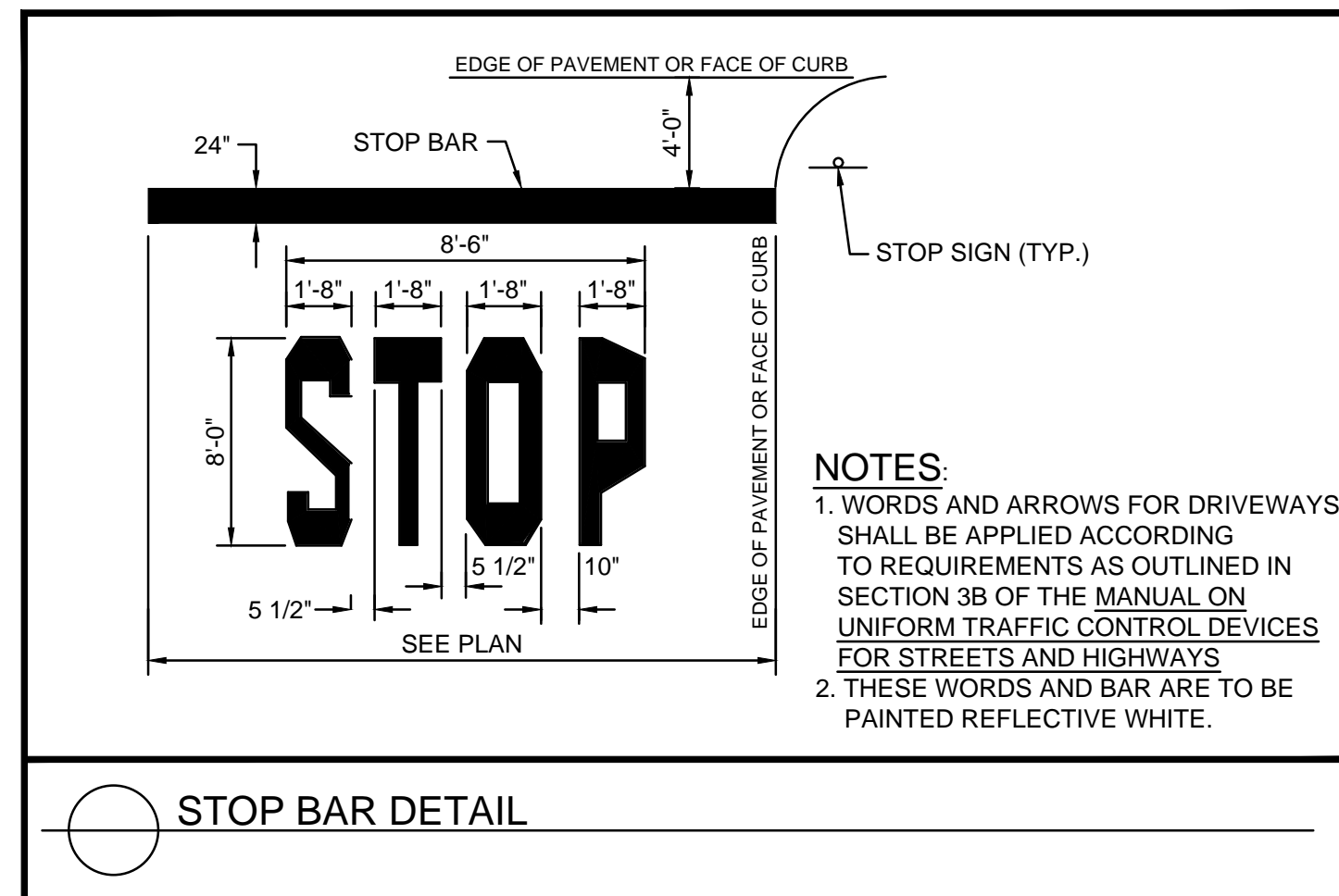
NOTE: THIS CLEANOUT DETAIL TO BE USED FOR 10' OR DEEPER CONDITIONS AND ONLY AFTER APPROVAL BY FORTSMYTH COUNTY DEPT. OF WATER & SEWER.

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.









GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

[illegible]

ECT

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400
TOWN SQUARE



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001
TITLE	

CONSTRUCTION DETAILS

SHEET NUMBER
C6-05

