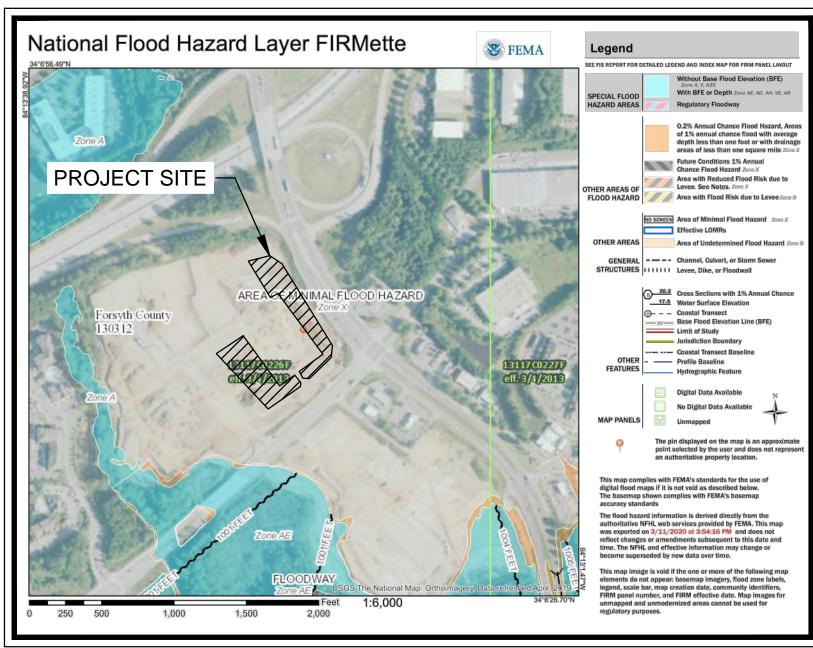
# SITE DEVELOPMENT PLANS

# HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400

SITE ADDRESS: TBD BY FORSYTH COUNTY GIS DEPT



#### FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13117C226F DATED 03/04/2013.

## PROJECT CONTACTS

GT-RP HALCYON 309 EAST PACES FERRY ROAD SUITE 825 PHONE: 404.855.5854 CONTACT: PATRICK LEONARD

74 WOODSTOCK ROAD ROSWELL, GA 30075 PHONE: 770.642.9030

CONTACT: ROBERT ZAPPULLA, AIA

CIVIL ENGINEER KIMLEY-HORN & ASSOCIATES, INC. 11720 AMBER PARK DRIVE, SUITE 600 ALPHARETTA, GA 30009 PHONE: 770.619.4280

SURVEYOR: PAULSON MITCHELL INC. 4317 PARK DRIVE, SUITE 400 NORCROSS, GA 30093 PHONE: 770.416.7511 CONTACT: KRISTOPHER P MANLEY, R.L.S.

CONTACT: DEREK ZITTRAUER, P.E.

24-HR CONTACT: PATRICK LEONARD **ROCAPOINT PARTNERS** 404.855.5854

WATER & SEWER **FORSYTH COUNTY** WATER & SEWER DEPARTMENT

110 EAST MAIN ST. SUITE 150 CUMMING, GA 30040 PHONE: 770.781.2160 **CONTACT: TIM PERKINS** 

ENGINEERING FORSYTH COUNTY **ENGINEERING DEPARTMENT** 110 EAST MAIN ST. SUITE 120 CUMMING, GA 30040 PHONE: 770.781.2165 **CONTACT: JOHN CUNARD** 

FORSYTH COUNTY PLANNING AND COMMUNITY DEVELOPMENT 6200 THE CORNERS PARKWAY 110 EAST MAIN ST. SUITE 100 CUMMING, GA 30040 PHONE: 770.781.2125

**CONTACT: TOM BROWN** 

FIRE DEPARTMENT 3520 SETTINGDOWN RD. CUMMING, GA 30040 PHONE: 770.781.2180 **CONTACT: DANNY BOWMAN** 

SAWNEE EMC ENGINEERING DEPARTMENT 543 ATLANTA HWY CUMMING, GA 30040 PHONE: 678.455.1575 CONTACT: CHRIS HUGHES

FORSYTH COUNTY

ATLANTA GAS LIGHT 10 PEACHTREE PL. NE ATLANTA, GA 30309 PHONE: 678.878.5016 **CONTACT: BOBBY CHESTER** 

PHONE/CABLE **COMCAST** NORCROSS, GA 30092

PHONE: 770.559.7189

**CONTACT: SHAWN GEAGAN** 

DEREK M. ZITTRAUER

Level II Certified Design Professional

CERTIFICATION NUMBER 0000076500 ISSUED: 03/10/2019 EXPIRES: 03/10/2022



# TOWN SQUARE FORSYTH COUNTY

LAND LOTS 908, 909, 892, 893 2ND DISTRICT, 1ST SECTION PARCEL NO.: 043 084 **ZONING: MPD (MASTER PLANNED DISTRICT)** 

FORSYTH COUNTY, GEORGIA

PROPERTY AREA = 12.69 ACRES TOTAL DISTURBED AREA = 2.33 ACRES

#### PROJECT NARRATIVE:

#### NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- . IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE **CONTRACTOR** MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

#### FORSYTH COUNTY NOTES

CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

ALL STRUCTURES WILL COMPLY WITH THE FIRE SEPARATION DISTANCE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION FROM THE REQUIRED FIRE SEPARATION DISTANCES

ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

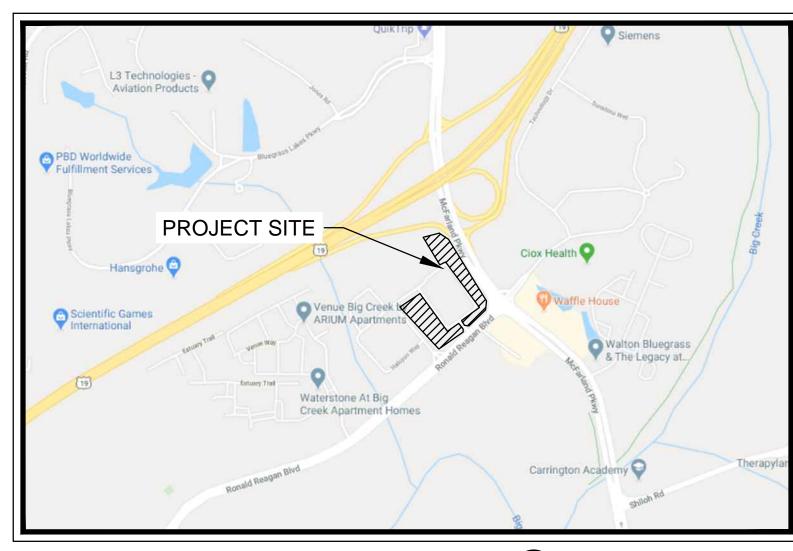
REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF AN AS-BUILT.

AS-BUILT REQUIRED FOR C.O.'S ON COMMERCIAL PROJECTS - PRIOR TO FINAL BUILDING CERTIFICATE OF OCCUPANCY.

UDC CHAPTER 21, ARTICLE II-V, OVERLAY DISTRICT(S) ARE NOT APPLICABLE FOR THIS PROJECT.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION.

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).



VICINITY MAP SCALE: 1:1000

Sheet List Table					
Sheet Number	Sheet Title				
C0-00	COVER SHEET				
	SURVEY (SHEET 1 OF 2)				
	SURVEY (SHEET 2 OF 2)				
C0-01	GENERAL NOTES				
C0-10	ZONING INFORMATION				
C0-80	EXISTING CONDITIONS PLAN				
C1-00	DEMOLITION PLAN				
C2-00	SITE PLAN				
C2-01	DETAILED SITE PLAN				
C2-02	DETAILED SITE PLAN				
C2-30	FIRE PROTECTION PLAN				
C3-00	OVERALL GRADING AND DRAINAGE PLAN				
C3-01	DETAILED GRADING AND DRAINAGE PLAN				
C3-02	DETAILED GRADING AND DRAINAGE PLAN				
C3-10	GRADING INSETS				
C3-50	STORM SEWER PROFILES				
C4-00	UTILITY PLAN				
C4-10	UTILITY INSETS				
C5-00	EROSION CONTROL NOTES				
C5-01	EROSION CONTROL NOTES				
C5-02	EROSION CONTROL NOTES				
C5-03	EROSION CONTROL NOTES				
C5-04	EROSION CONTROL NOTES				
C5-10	EROSION CONTROL PLAN PHASE 1				
C5-20	EROSION CONTROL PLAN PHASE 2				
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C5-80	EROSION CONTROL DETAILS				
C5-81	EROSION CONTROL DETAILS				
C5-82	EROSION CONTROL DETAILS				
C6-00	CONSTRUCTION DETAILS				
C6-01	CONSTRUCTION DETAILS				
C6-02	CONSTRUCTION DETAILS				
C6-03	CONSTRUCTION DETAILS				
C6-04	CONSTRUCTION DETAILS				
C6-05	CONSTRUCTION DETAILS				
C6-06	CONSTRUCTION DETAILS				
C6-07	CONSTRUCTION DETAILS				
C6-08	CONSTRUCTION DETAILS				



**DESIGNED BY** REVIEWED BY 04/24/2020

**COVER SHEET** 

PROJECT NO. 01362300′

SHEET NUMBER **C0-00** 

N 48°36'26" |
N 48°36'26" |
N 48°36'26" |
N 48°32'53" |
S 55°14'53" |
S 55°15'46" |
S 55°11'3" V
S 54°55'19" V
S 19°11'57" V
S 38°11'28" V
S 54°57'53" V
N 55°28'03" |
N 78°31'55" V
S 54°57'53" V
S 57°38'11" V S 57°07'18" E 1
S 57°07'18" E 1
S 16°10'48" E 1
S 45°26'53" E 2
S 67°59'31" W 1
S 45°32'52" W 2
S 45°32'52" W 2
S 45°32'47" W 2
S 53°45'14" W 1
S 47°32'39" W 2
S 53°45'14" W 2
S 67°59'55" W 1
S 68°37'20" W 1
S 68°37'20" W 1
S 68°37'20" W 1
S 68°37'20" W 1
S 68°36'26" E 1
S 68°36'26" E 1

	LENGTH 30.00' 59.99' 250.10' 88.00' 100.59' 197.99' 23.69' 20.00' 206.29' 67.86' 210.99' 85.00' 233.65' 148.17' 127.10' 83.10' 242.45' 131.46' 107.28' 81.26' 29.68' 68.15'	LINE LINE LINE LINE LISS LISS LISS LISS LISS LISS LISS LIS	DIRECTION  S 38°21'28" E  N 34°34'03" W  N 28°24'38" W  S 09°00'15" W  S 39°28'45" W  N 14°36'53" W  N 14°36'53" W  N 17°01'12" W  N 17°01'12" W  N 83°42'23" W  N 83°42'23" W  N 83°42'23" W  N 83°42'33" W  S 51°33'58" W  S 80°58'08" W  S 17°01'17" W  S 17°01'07" W  S 17°01'07" W  S 17°01'07" W  S 17°01'07" W	LENGTH LENGTH 219.03' 97.45' 171.62' 52.93' 52.44' 125.45' 120.00' 90.00' 487.00' 332.10' 332.10' 50.00' 50.00' 50.00' 50.00' 50.00' 114.93' 114.93'
>	67.53'	P/2	N 06°25'54" E	50.44
ш	256.09'	177	N 46°17'10" E	162.93'
1	144.59	178	N 86°50'48" W	127.95'

CERTAIN RESOLUTION BY THE BOARD OF COMMISSIONERS OF FORSYTH COUNTY, GEOKGIA, APRIL 23, 1984, RECORDED IN DEED BOOK 272, PAGE 515, AFORESAID RECORDES, AS FURTHER AMENDED BY THAT CERTAIN MENDRANDUM BY MEMBERS, BOARD OF COMMISSIONERS, DATED MARCH 7, 1984, RECORDED IN DEED BOOK 272, PAGE 518, AFORESAID RECORDS.  APPLIES TO CAPTION PROPERTY AND IS BLANKET IN NATURE  15. UTILITY AND GREENSCAPE EASEMENT AGREEMENT BY AND BETWEEN BLUEGRASS, LTD., A GEORGIA LIMITED PARTNERSHIP WHOSE SOLE GENERAL PARTNER IS COCHEAN PROPERTIES, INC., A GEORGIA CORPORATION AND AUDOBON CLUB LTD., GEORGIA CORPORATION COLLECTIVELY WITH BLUEGRASS AND AMOCO PERFORMANCE PRODUCTS INC., A FORLWARS CORPORATION, BATED AS OF OCTOBER 18, 1988, RECORDED IN DEED BOOK 426, PAGE 417, AFORESAID RECORDS AND RE-RECORDED JANUARY 17, 1989 IN DEED BOOK 435, PAGE 447, AFORESAID RECORDS AND RE-RECORDED JANUARY 17, 1989 IN DEED BOOK 447, PAGE 320, APPLIES TO CAPTION PROPERTY AS SHOWN.  16. SEWER LINE EASEMENT FROM BLUEGRASS, LTD., A GEORGIA LIMITED PARTNERSHIP TO FORSYTH COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF GEORGIA, DATED APRIL 24, 1989, RECORDED IN DEED BOOK 447, PAGE 320, AFORESAID RECORDS, AS AFFECTED BY THAT CERTAIN AGREEMENT REGARDING SEWER LINE EASEMENT BY AND BETWEEN REA LAND HOLDINGS, GEORGIA JOINT VERTURE WHOSE MANAGING GENERAL PARTNER IS ANDERSON PROPERTIES, INC., A GEORGIA CORPORATION AND HANSGROHE, INC., A CALIFORNIA CORPORATION, AND HANSGROHE, INC., A GEORGIA CORPORATION PROPERTY. PROPERTY DOES NOT LIE WITHIN REFERENCED LAND LOTS.  17. DECLARATION OF EASEMENTS BY REAL LAND HOLDINGS, A GEORGIA GENERAL PARTNERSHIP, DATED SEPTEMBER 4, 1996, RECORDED IN DEED BOOK 1019, PAGE 142, AFORESAID RECORDS.
<ol> <li>NOTICE OF DEVELOPMENT RESTRICTIONS SET FORTH BY FORSYTH COUNTY PLANNING DEPARTMENT, FILED FOR RECORD SEFTEMBRAS 3, 1980, RECORDED IN DEED BOOK 223, AFORESALD RECORDS, SA SAMINDED BY THAT CERTAIN RESOLUTION BY THE BOARD OF COMMISSIONERS OF FORSYTH COUNTY, GEORGIA, APRIL 23, 1984, RECORDED IN DEED BOOK 272, PAGE 515, AFORESAID RECORDS; AS FURTHER AMENDED BY THAT CERTAIN MEMORANDUM BY MEMBERS, BOARD OF COMMISSIONERS, DATED MARCH 7, 1984, RECORDED IN DEED BOOK 272, PAGE 518, AFORESAID APPLIES TO CAPTION PROPERTY AND IS BLANKET IN NATURE</li> <li>UTILITY AND GREENSCAPE EASEMENT AGREEMENT BY AND BETWEEN BLUEGRASS, LTD., A GEORGIA LIMITED</li> </ol>
<ol> <li>RIGHT-OF-WAY EASEMENT FROM BIG CREEK, INC. TO SAWNEE ELECTRIC MEMBERSHIP CORPORATION, DATED JUNE 23, 1978, RECORDED IN DEED BOOK 178, PAGE 678, AFORESAID RECORDS.</li> </ol> NEED UNDERLYING DOCUMENT.
12. RIGHT-OF-WAY EASEMENT FROM W.P. MCFARLAND TO FORSYTH COUNTY RURAL ELECTRIC MEMBERSHIP CORPORATION, DATED JANUARY 24, 1939, RECORDED IN DEED BOOK 17, PAGE 258, AFORESAID RECORDS. MAY APPLY TO CAPTION PROPERTY. DESCRIPTION TOO VAGUE TO DETERMINE.
<ol> <li>RIGHT-OF-WAY EASEMENT FROM HOMER JONES TO FORSYTH COUNTY RURAL ELECTRIC MEMBERSHIP CORPORATION, DATED FEBRUARY 23, 1939, RECORDED IN DEED BOOK 17, PAGE 251, AFORESAID RECORDS. MAY APPLY TO CAPTION PROPERTY. DESCRIPTION TOO VAGUE TO DETERMINE.</li> </ol>
10. RIGHT-OF-WAY EASEMENT FROM H.C. JONES TO FORSYTH COUNTY RURAL ELECTRIC MEMBERSHIP CORPORATION DATED JULY 16, 1938, RECORDED IN DEED BOOK 17, PAGE 250, AFORESAID RECORDS. MAY APPLY TO CAPTION PROPERTY. DESCRIPTION TOO VAGUE TO DETERMINE.
<ol> <li>RIGHT-OF-WAY EASEMENT FROM R.O. JONES TO FORSYTH COUNTY RURAL ELECTRIC MEMBERSHIP CORPORATION DATED JULY 21, 1938, RECORDED IN DEED BOOK 17, PAGE 249, AFORESAID RECORDS.</li> <li>MAY APPLY TO CAPTION PROPERTY. DESCRIPTION TOO VAGUE TO DETERMINE.</li> </ol>
8. RIGHT-OF-WAY EASEMENT FROM ROBERT W. CARSON TO SAWNEE ELECTRIC MEMBERSHIP CORPORATION, DATED MAY 5, 1962, RECORDED IN PROMISCUOUS BOOK E, PAGE 508, AFORESAID RECORDS. MAY APPLY TO CAPTION PROPERTY. DESCRIPTION TOO VAGUE TO DETERMINE.
7. ARRENDMENT AND RESTRICTENENT OF DECLARATION OF COVERANTS, CONDITIONS AND RESTRICTIONS FOR BULGGRASS VALLEY BY GAPT, INC. A GEORGIA CORPARITON OF COTOBER 20, 1998, RECORDED IN DEED BOOK 1380, PAGE 642, FORSYTH COUNTY, GEORGIA RECORDS; AS AMENDED BY THAT CERTAIN AMENDMENT TO AMENDMENT OF DECLARATION OF COVERANTS, CONDITIONS AND RESTRICTIONS FOR BULGGRASS VALLEY BY THARALDSON MOTELS II OF LAS VEGAS, INC., A NORTH DAKOTA CORPORATION, HIGHWOODS SERVICES, INC., A NORTH CAROLINA CORPORATION AND HIGHWOODS REALLY LIMITED PARTNERSHIP, A NORTH CAROLINA LIMITED PARTNERSHIP, DATED OCTOBER A, 2008, RECORDED IN DEED BOOK SASS, PAGE 737, AORRESADE, SE FURTHER AMENDED BY THAT CERTAIN SECOND AMENDMENT TO AMENDMENT AND RESTATEMENT OF DECLARATION OF COVERANTS. CONDITIONS AND RESTRICTIONS FOR BLUEGRASS VALLEY BY THARALDSON ETHANOL PLANT I, LLC, A NEVADA LIMITED LIABILITY COMPANY, SUCCESSOR BY MERGER TO THARALDSON MOTELS II OF LAS VEGAS, INC., A NORTH DAKOTA CORPORATION AND REAGAN BIG CREEK, LLC, A GEORGIA LIMITED LIABILITY COMPANY, DATED SEPTEMBER 14, 2012, RECORDED IN DEED BOOK 6410, PAGE 563, AFORESAID RECORDS.
TITLE NOTES (TRACT THREE) PERTAINING TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE NO. 8598-FA(b), DATED 09/10/15, SCHEDULE B-II, THE FOLLOWING ARE CONSIDERED EXCEPTIONS TO SAID TITLE COMMITMENT UNLESS DISPOSED OF THE SATISFACTION OF THE COMPANY:

PAGE 642, FORSYTH COUNTY, GEORGIA RECORDS, AS AMENDED BY THAT CERTAIN AMENDMENT TO AMENDMENT AND RESTRATAMENT OF COVENANTS, CONDITIOUS ADD REDIGGRASS VALLEY BY THARALDSON MOTELS II OF LAS VEGAS, INC., A NORTH DAKOTA CORPORATION, HIGHWOODS SERVICES, INC., A NORTH CAROLINA CORPORATION HIGHWOODS SERVICES, INC., A NORTH CAROLINA CORPORATION AND HIGHWOODS REALTY LIMITED PARTINERSHIP, A NORTH CAROLINA LIMITED PARTINERSHIP DATED OCTOBER AS, 2008, RECORDED IN DEED BOOK 2555, PAGE 757, AFORESHOD BECORDS, AS FURTHER AMENDED BY THAT CERTAIN SECOND AMENDMENT TO AMENDMENT AND RESTRATION OF DECLARATION OF COVENANTS, CONDITION AND RESTRICTIONS FOR BLUEGRASS VALLEY BY THARALDSON ETHANOL PLANT I, LLC, A NEVADA LIMITED LIABILITY COMPANY, SUCCESSOR BY MERGER TO THARALDSON MOTELS II OF LAS VEGAS, INC., A NORTH DAKOTA CORPORATION ETHAGAN IS OF CORPORD IN DEED BOOK 4559.

REAGAN BIG CREEK, LLC, A GEORGAB LIMITED LIABILITY COMPANY, DATED SEPTEMBER 14, 2012, RECORDED IN DEED BOOK 4510, PAGE 563, AFORESAID RECORDS. N, 표관점

а	DIRECTION	S 29°32′58" E	S 37°12'00" E	N 42°45'03" W	N 29°18'42" W	N 17°21'02" W	S 02°46'51" E	
'ABL]	CHORD	279.36'	263.66'	308.41'	185.49'	241.45'	109.51'	
CURVE TABLE	RADIUS	2369.04	1729.10'	1094.89'	996.10	990.34	121.65'	
CN	ARC LEN.	279.52'	263.92	309.44'	185.76'	242.05	113.59'	
	CURVE	Cl	C2	C3	C4	CS	92	

HEGINNKG at a point located on the southeastern variable right-of-way of Roand Roagus Bodievard and the land to time common to Land Lots 908 and 966 of the aforesaid Darierd, Soction and County, THENCE along said right-of-way the following courses and distances: NORTH 49 BEGIESES 58 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 28 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 28 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 49 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 49 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 49 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST a distance of 2010 feet to a point. NORTH 44 BEGIESES 24 MINUTES 28 SECONDS EAST 3 distance of 2014 feet to a point. SOUTH 24 DEGIESES 14 MINUTES 28 SECONDS EAST 3 distance of 2014 feet to a point. SOUTH 24 DEGIESES 14 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 14 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 14 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST 3 distance of 2019 feet to a point. SOUTH 24 DEGIESES 24 MINUTES 28 SECONDS EAST 3 SECONDS EAST 3 SECONDS EAST 3 SECON

CL-RP MCFARLAND, LLC & FIRST AMERICAN TITLE INSURANCE COMPANY

LAND LOTS 892, 893, 908, 909, 910, 963, 964, 965, 980, 981 & 1036 OF THE 2ND DISTRICT, 1ST SECTION OF FORSYTH COUNTY GEORGIA

of 22

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

(LEVEL II) DRAWN BY DESIGNED BY REVIEWED BY PROJECT NO. 013623001 **SURVEY** (SHEET 2 OF 2)

SHEET NUMBER

GSWCC NO.

HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400

**Kimley** » Horn

. EASEMENT FROM RRA LAND HOLDINGS, L.L.P. TO BELLSOUTH TELECOMMUNICATIONS, INC., A GEI RPORATION, DATED JUNE 25, 1996, RECORDED IN DEED BOOK 1017, PAGE 87, AFORESAID RECORDS. DES NOT APPEAR TO APPLY TO CAPTION PROPERTY. EASEMENT DESCRIPTION LIES WITHIN CURRENT RINALD REAGAN PARKWAY.

NO STATE WATERS WILL BE AFFECTED BY THIS DEVELOPMENT

NO WETLANDS WILL BE AFFECTED BY THIS DEVELOPMENT.

NO FLOOD PLAIN WILL BE AFFECTED BY THIS PROJECT.

EXISTING CONDITION INFORMATION HAS BEEN TAKEN FROM RECORDED AS-BUILTS PREPARED BY PAULSON MITCHELL, INC AND APPROVED BY FORSYTH COUNTY. UPDATED TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED IN TOPOGRAPHIC SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP PANEL NUMBER 13117C226F, DATED 03/04/2013 FORSYTH COUNTY, GEORGIA.

ALL WORK SHALL COMPLY WITH THE APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.

LAND SURVEYING SERVICES WERE NOT PROVIDED BY KIMLEY HORN & ASSOCIATES, INC. ALL SURVEY REFERENCES ARE BASED ON INFORMATION PROVIDED BY OTHERS. KIMLEY HORN & ASSOCIATES, INC. DESIGN DOES NOT INCLUDE ANY CERTIFICATION AS TO THE ACCURACY OF PROPERTY LINES, EASEMENTS, UTILITY LOCATIONS OR RIGHT OF WAYS. KIMLEY HORN & ASSOCIATES, INC. DOES NOT WARRANT THE ACCURACY OF BOUNDARY AND TOPOGRAPHIC INFORMATION. CONTRACTOR IS TO VERIFY EXISTING GRADES DURING CONSTRUCTION LAYOUT AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL WARRANT BY EXECUTION OF CONSTRUCTION CONTRACT THAT HIS EMPLOYEES, AGENTS AND SUBCONTRACTORS POSSESS THE EXPERIENCE, KNOWLEDGE, AND CHARACTER NECESSARY TO QUALIFY THEM TO PERFORM THE CONTRACTED WORK. THE CONTRACTOR SHALL INSURE THAT ALL CONSTRUCTION BE PERFORMED IN STRICT COMPLIANCE WITH ALL O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION), STATE, AND LOCAL HEALTH AND SAFETY

EACH DEVELOPER/BUILDER/PROPERTY OWNER IS REQUIRED TO PREVENT ALL INCREASED RUNOFF FROM EACH INDIVIDUAL BUILDING LOT FROM DAMAGING ADJACENT PROPERTIES PER CODE. THE CONTRACTOR SHALL HOLD THE OWNER-DEVELOPER HARMLESS AND SHALL PROTECT ADJACENT PROPERTY.

NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AND ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY WILL BE THE CONTRACTORS RESPONSIBILITY TO ADHERE TO GEORGIA D.O.T.

ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET SHALL BE REFERRED TO THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST FHAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. CONTRACTOR SHALL BRING ANY DISCREPANCIES IN PLANS, SITE CONDITIONS, ETC. TO THE OWNERS/DEVELOPERS ATTENTION BEFORE ANY ADDITIONAL WORK IS PERFORMED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH

OFF-STREET PARKING SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.

DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER MAY RESULT IN THE WORK TO BE UNACCEPTABLE TO THE ENGINEER. ADDITIONAL CORRECTIVE ACTION MAY BE REQUIRED IF THIS OCCURS AT NO ADDITIONAL COST TO THE ENGINEER

KNOX PAD LOCK TO BE ADDED TO GATES ON CONSTRUCTION FENCE

#### Construction Staking Notes:

THE PROPOSED BUILDING SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR.

IT IS THE RESPONSIBILITY OF THE LAND SURVEYOR TO OBTAIN THE MOST CURRENT BUILDING FOOTPRINT DRAWINGS FROM THE ARCHITECT AND NOTIFY THE OWNER, CONTRACTOR, CIVIL ENGINEER AND ARCHITECT IN WRITING IF ANY DISCREPANCIES EXIST BETWEEN THE FOOTPRINT OBTAINED FROM THE ARCHITECT AND THE FOOTPRINT SHOWN ON THE CIVIL ENGINEERING DRAWINGS.

SHORING WALLS SHOWN ON EROSION CONTROL PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE STAKED OUT USING KIMLEY HORN & ASSOCIATES, INC. PLANS. SHORING WALLS SHALL BE STAKED OUT AND CONSTRUCTED PER THE PLANS PREPARED BY THE STRUCTURAL ENGINEER.

AND SHALL NOT BE STAKED OUT FROM EROSION CONTROL PLANS.

UTILITY LAYOUT SHALL BE INSTALLED PER THE GRADING AND UTILITY PLAN

#### Forsyth County General Notes:

STORMWATER MANAGEMENT REPORT MUST BE APPROVED PRIOR TO PLAN SIGN-OFF. CONTACT RENEE HOGE AT RHOGE@FORSYTHCO.COM FOR COMMENTS

MODULAR RETAINING WALL DESIGN MUST BE SUBMITTED TO THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION PLAN APPROVAL. WALL DESIGN MUST INCLUDE DETAILS AND SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL ALONG THE TOP.

THE ENGINEER CERTIFIES THAT HE OR A DESIGNATED REPRESENTATIVE HAS MADE A PERSONAL SITE VISIT PURSUANT TO GA CODE 12-7-9.

AS-BUILT REQUIRED FOR CO'S ON COMMERCIAL PROJECTS - PRIOR TO FINAL BUILDING INSPECTIONS.

THE COUNTY ARBORIST MUST FIELD VERIFY ALL APPROPRIATE TREE PROTECTION DEVICES ARE IN PLACE (E.G. TREE PROTECTION TAPE. FENCING, ETC.) PRIOR TO PERMIT APPROVAL. FAILURE TO CONTACT THE COUNTY ARBORIST FOR THIS ONSITE INSPECTION WILL RESULT IN APPROVAL BEING DELAYED. CALL THE COUNTY ARBORIST FOR AN INSPECTION AT 770-205-4562.

DURING THE COURSE OF DEVELOPMENT OF THIS PROJECT, ANY DEVIATION FROM THE APPROVED TREE PROTECTION AND REPLACEMENT PLAN, A REVISED SET OF PLANS WILL BE SUBMITTED TO PLANNING AND DEVELOPMENT.

REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF A FINAL PLAT OR AS-BUILT.

PIPE JOINTS MUST BE RESTRAINED AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, DIVISION 2, SECTION 2.08C

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).

#### **Utility Construction Notes:**

THE UTILITIES SHOWN HEREON ARE FOR CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS, SIZE, & MATERIAL OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO ANY LAND DISTURBANCE. ANY UTILITIES DISCOVERED DURING THE LOCATING PROCESS OR DURING ANY PHASE OF CONSTRUCTION THAT ARE NOT SHOWN HEREON THESE PLANS SHOULD BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO ANY CONSTRUCTION THAT MAY AFFECT SAID UTILITIES. ANY DAMAGE TO ANY EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. THE RELOCATION OF ANY UTILITIES REQUIRED TO AVOID ANY PART OF THIS DEVELOPMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF THE WORK, CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTACT THE UTILITIES PROTECTION CENTER NOT LESS THAN THREE WORKING DAYS BEFORE ANY DIGGING OR BLASTING COMMENCES. THE UTILITIES PROTECTION CENTER CAN BE CONTACTED AT 1-800-282-7411, MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM.

ALL EXISTING AND PROPOSED UTILITY TOPS, VALVE COVER, ETC. ARE TO BE ADJUSTED TO FINAL GRADE.

ALL PROPOSED STORM, WATER, AND SANITARY SEWER LINES NOT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY MAINTAINED UNLESS NOTED AND PROVIDED WITH A PUBLIC EASEMENT.

ALL FIRE HYDRANTS SHALL BE INSTALLED SO AS THE BASE OF FIRE HYDRANT STRUCTURE IS FLUSH MOUNTED WITH FINAL GRADE.

ALL FIRE SERVICE WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" D.I.P. PIPING UNLESS OTHERWISE NOTED.

ALL CREEK CROSSINGS WILL BE CONSTRUCTED IN "DRY" CONDITIONS CREATED BY THE CONTRACTOR TO PREVENT DOWN STREAM SILTING. THE CONTRACTOR WILL SUBMIT A WRITTEN PROPOSAL OR SCHEMATIC TO THE ENGINEERING DIVISION AS TO THE CONSTRUCTION METHOD PROPOSED FOR THE CREEK CROSSING. PROPOSALS MAY INCLUDE TEMPORARILY REROUTING THE CREEK WITH APPROVED PIPING OR TEMPORARILY DAMMING THE CREEK WHILE PUMPING AROUND THE CONSTRUCTION AREA

#### Clearing & Grading Notes:

CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY

CUT AND FILL SLOPES SHALL NOT EXCEED: 2 HORIZONTAL AND 1 VERTICAL

ALL GRADES SHOWN ARE TO BE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES.

ALL SPOT ELEVATIONS ALONG CURB & GUTTER SHALL REFER TO BOTTOM OF CURB (BC) UNLESS NOTED BY TC FOR TOP OF CURB

ALL PROPOSED SPOT ELEVATIONS SHALL REFER TO FINAL GRADE ELEVATION AND T.W./B.W. ELEVATIONS LABELED ALONG RETAINING WALLS SHALL REFER TO FINAL WALL ELEVATION. B.W. ELEVATIONS REFER TO ELEVATION AT FINAL GRADE NOT TO TOP OF FOOTING. REFER TO

CONTRACTOR SHALL FINE GRADE ALL LANDSCAPE AREAS TO PROMOTE POSITIVE DRAINAGE INTO STORM INLETS.

RETAINING WALL DETAILS FOR FOOTING ELEVATIONS.

ALL SHOULDERS BEHIND CURB AND GUTTER SHALL BE GRADED FOR POSITIVE DRAINAGE ONTO PAVEMENT AREA.

CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DESIGNATED EXISTING IMPROVEMENTS AND TREES WITHIN THE LIMITS OF WORK FROM THE SITE AND DISPOSED OF AT AN APPROVED LOCATION. ON SITE BURIAL OF TREES AND OTHER DEBRIS SHALL NOT BE PERMITTED UNLESS WRITTEN PERMISSION IS OBTAINED FROM OWNER, GOVERNING MUNICIPALITY AND PERMIT IS OBTAINED FROM GA. DEPARTMENT OF NATURAL RESOURCES.

ALL RETAINING WALLS OVER 30" IN HEIGHT MUST RECEIVE PEDESTRIAN SAFETY RESTRAINTS. THE RESTRAINT SYSTEM MUST BE A MINIMUM OF 42" HIGH AND HAVE NO OPENING A 4" SPHERE CAN PASS THROUGH. SYSTEM MUST HAVE STRENGTH TO WITHSTAND A 200 LB. LOAD AT 42" HEIGHT.

CONTRACTOR SHALL READ AND FULLY UNDERSTAND ALL EROSION CONTROL NOTES PROVIDED ON THIS SHEET AND THE EROSION CONTROL SHEETS PRIOR TO THE START OF ANY GRADING ACTIVITIES.

CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.

ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.

STORM LINE DIMENSIONS ARE FROM CENTER OF STRUCTURE TO CENTER

CONTRACTOR TO VERIFY EXISTING STORM DRAIN INVERTS PRIOR TO BEGINNING CONSTRUCTION.

OF STRUCTURE.

#### Forsyth County Engineering Notes:

ALL IMPROVEMENTS TO CONFORM WITH FORSYTH COUNTY CONSTRUCTION STANDARDS & SPECIFICATIONS, LATEST EDITION.

IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT-OF-WAY AND CONSIDERED TO BE A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UN-PERMITTED RIGHT-OF-WAY ENCROACHMENTS.

FULL SERVICE DRIVES WILL REVERT TO RIGHT IN/RIGHT OUT DRIVES IF FORSYTH COUNTY DETERMINES THEY ARE CREATING TRAFFIC PROBLEMS AND/OR ACCIDENTS IF ROAD IS WIDENED TO A MULTI-LANE HIGHWAY WITH

NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY FORSYTH COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165

APPROVAL OF THESE PLANS BY FORSYTH COUNTY IS SUBJECT TO, AND CONTINGENT UPON THE APPLICANT OBTAINING ANY AND ALL NECESSARY APPROVALS FROM ANY AND ALL APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO THE UNITED STATES ARMY CORPS OF ENGINEERS, THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE USDA-NRCS. GEORGIA DEPARTMENT OF NATURAL RESOURCES, GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AND THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION.

MAXIMUM CUT SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL. CONTINUOUS FILL SLOPES TEN (10) FEET IN HEIGHT OR LESS MAY BE 2 HORIZONTAL TO 1 VERTICAL. ALL CONTINUOUS FILL SLOPES THAT EXCEED TEN (10) FEET IN HEIGHT MUST BE 3 HORIZONTAL TO 1 VERTICAL UNLESS: (A) A MECHANICALLY ENGINEERED STABILIZED SLOPE IS APPROVED BY THE FORSYTH COUNTY DIRECTOR OF ENGINEERING; OR (B) THE DESIGNED AND CONSTRUCTED SLOPES ARE CERTIFIED BY A REGISTERED ENGINEER EXPERIENCED IN GEOTECHNICAL ENGINEERING AND LICENSED IN THE STATE OF GEORGIA

ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).

#### Forsyth County Sanitary Sewer Notes:

SOURCE OF WATER AND SEWER IS FORSYTH COUNTY DEPARTMENT OF WATER & SEWER.

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION (770) 886-2790.

CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FINAL INSPECTIONS COMPLETED BY FORSYTH COUNTY WATER & SEWER DEPARTMENT.

ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.

NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY WATER AND SEWER

ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH **BOLT-DOWN WATERTIGHT COVERS.** 

SEWER LATERALS SHALL BE OF SAME MATERIAL AS SEWER MAIN (IE. DIP, PVC) AND SHALL BE 6" IN DIAMETER.

SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEAN-OUT, STUBBED

UP 5' ABOVE GRADE AND CAPPED.

NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON SANITARY SEWER EASEMENTS

SEWER LINES ARE TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO

THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.

CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

ANY SANITARY SEWER DEEPER THAN 16 FEET MUST BE DUCTILE IRON CLASS 50. IF PIPE HAS A DEPTH GREATER THAN 20 FEET THE SEWER PIPE SHALL BE CLASS 51.

DEVELOPER IS RESPONSIBLE FOR REMOVAL OF ANY OBSTRUCTIONS THAT THE BUILDERS OR HOME OWNER INSTALLS INTO THE EASEMENT FOR THE FIRST YEAR AFTER FINAL PLAT.

SANITARY SEWER LATERALS ARE TO STUB OUT OF GROUND 5' ABOVE

NO POOL DRAINS, DUMPSTER PADS, ROOF DRAINS OR AIR CONDITIONING CONDENSATE DRAINS ALLOWED INTO SANITARY SEWER SYSTEM. SEWER LATERAL CLEAN-OUTS TO BE LOCATED 1' BEHIND UTILITY

WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.

MATERIAL SPECIFICATION: PVC PIPE SHALL BE SDR 26 DIP SHALL BE CLASS 50 OR 51 AS REQUIRED PER NOTES ABOVE.

EASEMENT OR ON SSE LINE.

THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING **EXCAVATION ACTIVITIES.** 

NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.

ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF

I CERTIFY THAT THE PROPOSED SANITARY SEWER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS". INCLUDING ALL AMENDMENTS

#### Forsyth County Water Notes:

SOURCE OF WATER AND SEWER IS FORSYTH COUNTY DEPARTMENT OF WATER & SEWER.

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION (770) 886-2790.

CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FINAL INSPECTIONS COMPLETED BY FORSYTH COUNTY WATER & SEWER

ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH

NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY WATERLINE CONSTRUCTION, (770) 781-2160.

ALL WATER LINES SHALL BE DUCTILE IRON CLASS 50 OR 350.

WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.

WATER LINES SHALL HAVE 3.5' MINIMUM COVER.

SHORT SIDE SERVICES SHALL BE 3/4" COPPER.

LONG SIDE SERVICES SHALL BE 1" COPPER ENCASED IN 2" PVC CONDUITS WITH 3/4" WYES AT LOT CORNERS.

WATER METERS ARE TO BE LOCATED BOC ON SHORT SIDE, IMMEDIATELY BOC ON LONG SIDE.

FIRE HYDRANTS ARE TO BE 3-WAY 5 1/4" TYPE, AVK SERIES 27.

FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FIRE FLOWS.

CONCRETE VALVE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT HYDRANTS.

CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES AND

300 PSI CURB STOPS, CORPS AND WYES ARE REQUIRED PER FORSYTH COUNTY STANDARDS.

ALL VALVES SHALL BE GATE TYPE VALVES.

NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.

LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.

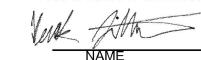
THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.

SIDEWALKS ON OPPOSITE SIDE OF WATER MAIN AND NO SIDEWALKS IN

CASING FOR JACK AND BORE INCLUDE 3 NEOPRENE CASING SPACERS AND DIP GRIPPER GASKETS.

ALL GATE VALVES OVER 5 FEET DEEP SHALL HAVE STEM EXTENSIONS. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING

I CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS". INCLUDING ALL AMENDMENTS



**EXCAVATION ACTIVITIES.** 

04/24/2020

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION **ACTIVITY AND MAINTAINED** UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

-LAC 100, HALCYON BUILDING



GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY 04/24/2020

GENERAL NOTES

PROJECT NO. 01362300

SHEET NUMBER C0-01

# Forsyth County Department of Planning & Community Development CARROLL WILLIAMS, Planner II

June 25, 2019

Forsyth County Board of Commissioners 110 East Main Street Cumming, GA 30040

To Whom It May Concern:

RE: ZA# 3728 (AZ190014), Amendment of zoning conditions

Please be advised that the Board of Commissioners approved the request for the amendment of condition #26 placed on ZA# 3728.

The conditions now read as follows:

- 1. All advisory comments and recommendations with proposed conditions within the GRTA Notice of Decision dated May 22, 2015, shall be considered and addressed as part of the development process.
- 2. There shall be a minimum of 250,000 square feet of commercial area and a maximum of 550,000 square feet of commercial area, a maximum of 690 residential units and no more than 2 hotels located on the subject property.
- 3. Owner/developer shall dedicate a minimum of 75 parking spaces for the Big Creek Greenway trailhead. Said parking area(s) shall contain signs that state "Parking for Greenway Guest Only".
- 4. Owner shall dedicate right of way 60 feet from centerline of McGinnis Ferry Road and additional right of way as may be required for widening project on McGinnis Ferry Road.
- 5. All advisory comments and recommendations from Georgia Mountain Regional Center (GMRC) and the Georgia Regional Transportation Authority (GRTA) shall be considered and addressed as part of the development process. The developer shall at a minimum provide all required improvements as shown in Attachment A General Conditions of the GRTA notice of decision for this DRI.
- 6. Developer shall dedicate any additional right of way as necessary for road improvements on McFarland Parkway and Ronald Reagan Boulevard.
- 7. Developer shall construct a minimum twelve (12) foot wide multi-use trail from McFarland Parkway through the property to Ronald Reagan Boulevard. The greenway trail shall pass through trailhead as shown on zoning plan.
- 8. Developer shall design and construct a neighborhood access from proposed residential development to

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multi-use trail, which will be a minimum twelve (12) foot wide paved sidewalk surface.

- 9. Land swap between existing right of way on McFarland Parkway and trailhead location as shown on zoning plan shall be coordinated with the issuance of land disturbance permit. Developer shall construct improvements associated with the trailhead and parking which shall be dedicated to Forsyth County.
- 10. Sewer access must be provided to all upstream properties.
- 11. Any sewer lines installed must be per size and location as shown in the Forsyth County Sewer Master Plan.
- 12. Sewer shall be installed following natural contours in order to minimize depth and provide future sewer to unstream properties
- 13. Sewer capacity is not guaranteed for this property. All sewer capacity agreements must be approved by the Forsyth County Board of Commissioners.
- 14. Any improvements to the water and/or sewer systems required to meet fire flow requirements shall be done at developer's expense.
- 15. Subsequent to completion of any improvements required by Forsyth County to the Forsyth County water & sewer systems and to any rights-of-way, Developer shall install and maintain at its own expense, supplemental street lighting, decorative landscaping, landscape irrigation systems, and signage (the "Supplemental Improvements") within the Ronald Reagan Boulevard and McFarland Parkway right-of-way and medians as allowed by the Forsyth County Department of Engineering and Georgia Department of Transportation. Developer shall obtain all required development permits prior to commencing any such installations, and otherwise comply with pertinent Forsyth County codes. In no event shall the Supplemental Improvements interfere with or damage any of the improvements and upgrades installed by Forsyth County. Developer shall cooperate with Forsyth County to integrate the designs of any required infrastructure improvements, if any, and the Supplemental Improvements. These improvements shall only be required along Ronald Reagan and McFarland Parkway where the subject property is adjacent.
- 16. Architectural design standards apply to all development requiring a land disturbance permit and will comply with standards set forth in the Master Development Plan (if any condition below conflicts with the Master Development Plan, the Master Development Plan shall govern where the MPD is more restrictive and/or specific).
- 17. The following uses are prohibited on the subject property:
  - a) Gas stationsb) Adult novelty stores
  - c) Adult entertainment centers
  - c) Aduit entertainment cente

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- d) Pawn Shops and
- e) Tattoo Parlorsf) Massage parlors
- g) Clairvoyant, fortune teller, tarot card reader
- h) Kennel, however, this shall not preclude an interior pet day care service
- i) Self-storagej) Thrift store
- k) Billboard advertising
- l) Drive-through restaurants, excluding coffee shops
- 18. A minimum of 150 units shall be luxury age-restricted with at least ninety percent (90%) of the occupied units inhabited by at least one person 55 years or older. The organization established for the management of the development shall comply with the U.S. Department of Housing and Urban Development (HUD) rules for verification of occupancy and shall maintain procedures for routinely determining the occupancy of each unit. Such procedures may be part of a normal leasing or purchasing agreement and must provide for regular updates as required by HUD. The organization shall ensure through restrictive covenants that no persons age 18 or under will permanently reside in this development, absent proof of a significant hardship. The procedures employed by the organization or agency responsible for marketing the sale of homes within this development shall comply with the U.S. Department of Housing and Urban Development (HUD) rules and the relevant provisions of the Georgia Fair Housing Act pertaining to Housing for Older Persons.
- 19. Luxury non-owner homes and studios (non-age-restricted) shall contain at a maximum 2 bedrooms per unit. Units may be 1 bedroom.
- 20. Luxury non-owner homes shall have retail located within the building fronting the Village Center on street level.
- 21. Luxury non-owner homes shall have interior corridors and elevators.
- 22. There shall be no common amenities in the residential component of the development designed for use by children, including but not limited to kiddie pools, tot lots, splash areas, playgrounds and basketball courts.
- 23. Luxury non-owner homes shall be built to condominium specifications, in terms of finishes, appliances, nine (9) foot minimum ceilings, stone or other premium countertops, flooring and cabinets, etc., comparable in quality of construction, landscaping and amenities to projects currently being developed as Class "A" Investment Grade Luxury non-owner homes. Luxury non-owner home amenities shall include, but not be limited to, a pool, concierge service and a business center.
- 24. Luxury non-owner homes shall have structured parking. The project will contain no less than 800 structured parking spaces.

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- 25. The construction of the luxury non-owner homes shall commence only after or concurrently with a minimum of 50,000 sf of commercial area being constructed, of which at least 30,000 sf of commercial area shall be located outside the luxury non-owner homes building.
- 26. Hotels developed on the subject property must be a facility offered by Intercontinental, Marriott, Starwood, Hyatt, or Hilton. Two suites-based hotels will be allowed, ensuring ample meeting spaces within those hotels. The Director of the Planning & Community Development Department and/or the District 2 County Commissioner will be included in planning discussions regarding the hotels.
- 27. There shall be no entrance to the development on McFarland Parkway between Georgia 400 and Ronald Reagan Boulevard.
- 28. Developer shall construct a new parking area for the Greenway Trailhead as delineated on the zoning site plan. Said trailhead shall contain at a minimum, bike racks, benches, trash cans and public restrooms
- 29. Developer shall design and construct an art feature at the corner of McFarland Parkway and Ronald Reagan Parkway and shall also incorporate attractive features throughout the development.
- 30. Amenities shall be provided in the parks and open space areas as indicated on the site plan and master development plan and shall include seating such as free-standing benches and gazebos, trash receptacles and bicycle racks.
- 31. Sidewalks and walking paths shall be present as indicated on the site plan and master development plan throughout as well as between the residential and commercial areas.
- 32. Commercial establishments shall provide bike racks, benches and/or other street furniture to encourage alternative transportation use.
- 33. Developer agrees that for a period of three (3) years from the date of rezoning that no request will be made to convert any portion of the commercial components to a single-family or multi-family product use.
- 34. Should there be a request in the future to modify ZA3728 to add additional parcels of land to this development, the existing open space approved within this application shall NOT be counted towards open space requirements in any property annexed into this development.
- 35. If approved by the Department of Engineering, developer shall construct a roundabout on Ronald Reagan Boulevard.
- 36. If a roundabout is approved on Ronald Reagan Boulevard, developer shall design and construct an art feature and provide landscaping in the center of said roundabout.

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#### 37. There shall be at a minimum a 10-foot landscape strip along McFarland Parkway.

- 38. Maximum building height shall be no more than nine (9) stories.
- 39. Developer shall utilize pervious pavements, pavers, rain gardens and other water quality systems to treat stormwater and improve water quality on internal intersection, residential perimeter parking areas and plaza parking within the Village Center.
- 40. The developer will seek LEED certification from the U.S. Green Building Council, EarthCraft certification from Southface Energy Institute, or Energy Star Certified Home approval from the EPA. Evidence of efforts shall be submitted to county.
- 41. Proposed streets within the development may be privately maintained.
- 42. Covenants, Conditions and Restrictions shall provide that no more than 10% of the for-sale residential product may be rented.
- 43. Any future extension(s) of the Big Creek trail system shall be coordinated with the Forsyth County Engineering Department.

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This action was taken at their regular meeting on Thursday, June 20, 2019.

If you have any questions, please call.
Sincerely,

Causel Williams
Planner II

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF FORSYTH COUNTY, GEORGIA REGARDING A MAJOR AMENDMENT TO ZA3728: AZ160017

WHEREAS, the Constitution of the State of Georgia, approved by the voters of the State in November of 1982, and effective July 1, 1983, provides in Article IX, Section II, Paragraph I thereof, that the governing authority of the county may adopt clearly reasonable ordinances, resolutions and regulations; and

WHEREAS, ZA3728 rezoned approximately 134.36 acres from Restricted Industrial District (M1) and Master Planned District (MPD) to Master Planned District (MPD);

WHEREAS, the development is generally referred to as Halcyon;

WHEREAS, during the permit process, an issue has arisen regarding the extent to which Chapter 18 of the Unified Development Code shall control the build out of private streets within Halcyon;

WHEREAS, the applicant for ZA3728 was RocaPoint Partners, LLC ("Roca");

WHEREAS, it does not appear that the development of Halcyon, as conceived, may occur if those standards in Chapter 18 pertaining to private streets are observed;

WHEREAS, the purpose of this major amendment to the MPD is to authorize Roca to customize the design standards for the interior vehicular corridors within Halcyon, and otherwise make clear to permitting staff that the requirements of Chapter 18 of the UDC, as they pertain to private streets, shall not govern Halcyon.

**NOW THEREFORE**, be it ordained and resolved by the Board of Commissioners of Forsyth County, Georgia, as follows:

- 1. That AZ160017 is hereby granted, with Exhibits A, B, and C, attached hereto and incorporated herein, controlling the design characteristics of the alleys and commercial access driveways, to include access and utility easements;
- 2. The provisions of UDC Chapter 18, regarding private streets, shall not apply;
- 3. Roca shall otherwise be required to address concerns of all utility providers, including the Forsyth County Water & Sewer Department, as a condition of permitting;
- Forsyth County Water & Sewer requirements/standards are not waived by this approval;
- No other ordinances, rules, standards, or regulations of Forsyth County are modified, except those specifically identified above.

PASSED AND ADOPTED this day of November, 2016, the public health, fety, and welfare demanding it.

FORSYTH COUNTY BOARD OF COMMISSIONERS:

Ralph J. Amos, Chairman

Cindy Jones Mills, Vice Chairman

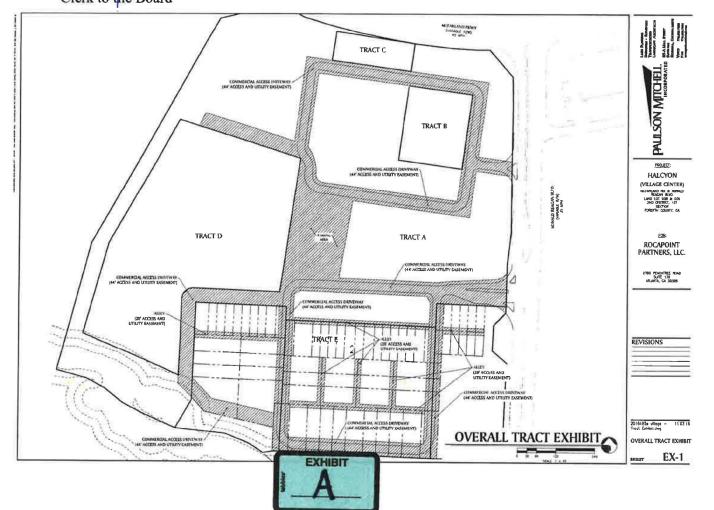
Brian R. Tam, Secretary

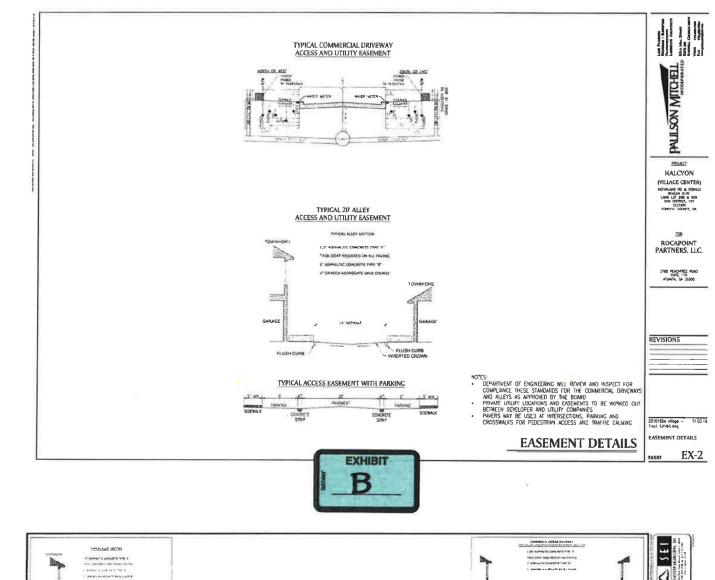
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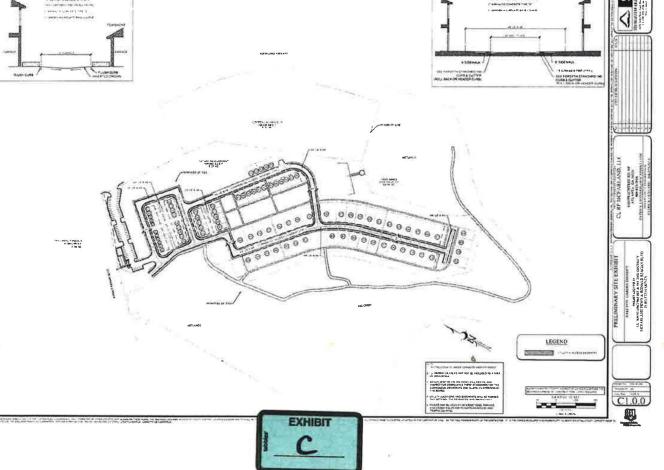
Attest:

Synya Bush

Clerk to the Board







HALCYON

HALCYON

BUILDINGS

: CEN 300,

LAG 100,

0

GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

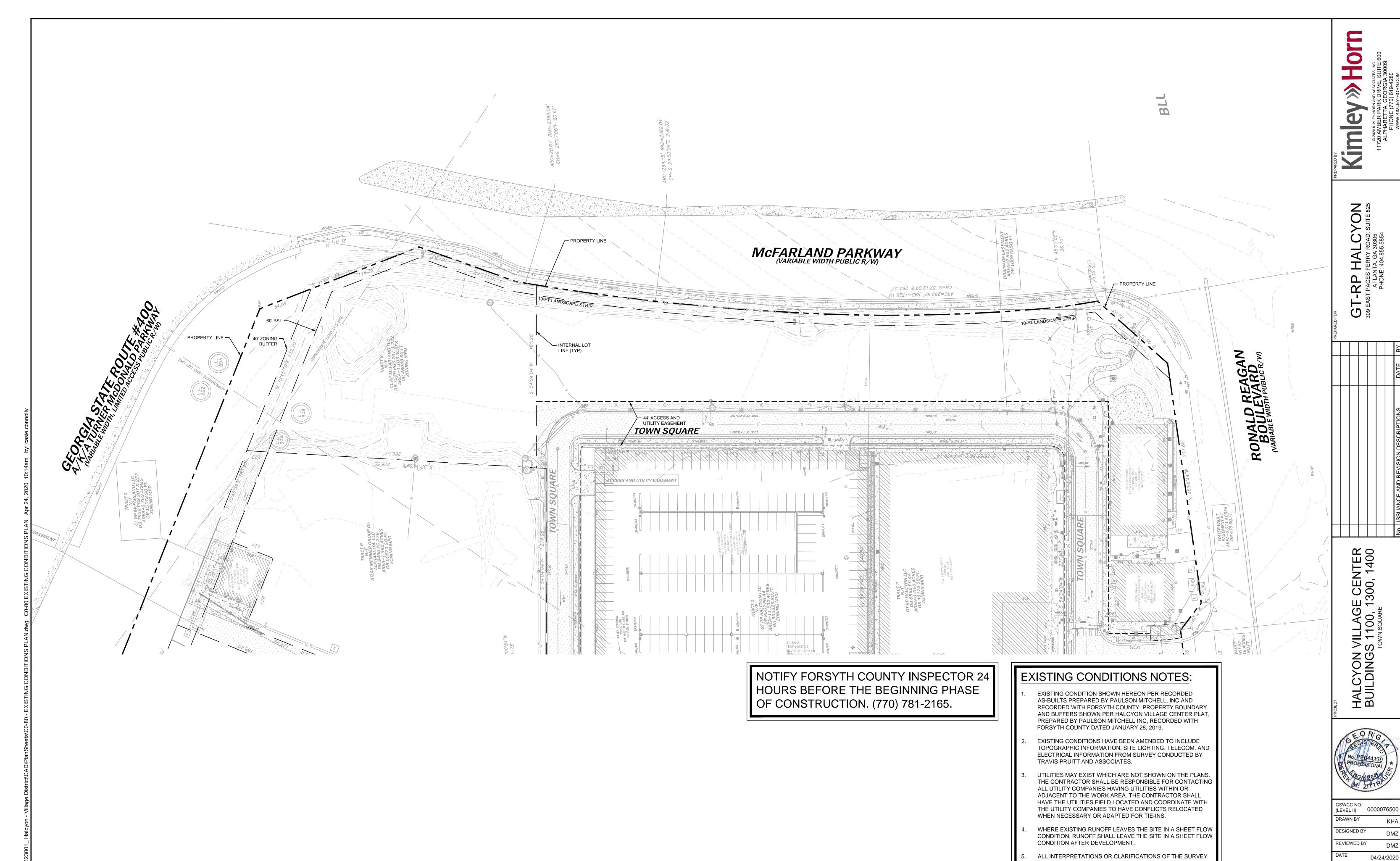
REVIEWED BY DMZ

DATE 04/24/2020

ZONING
INFORMATION

PROJECT NO. 013623001

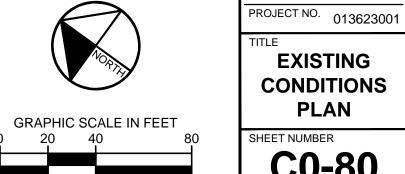
CO-10



**EXISTING** CONDITIONS PLAN

**C0-80** 

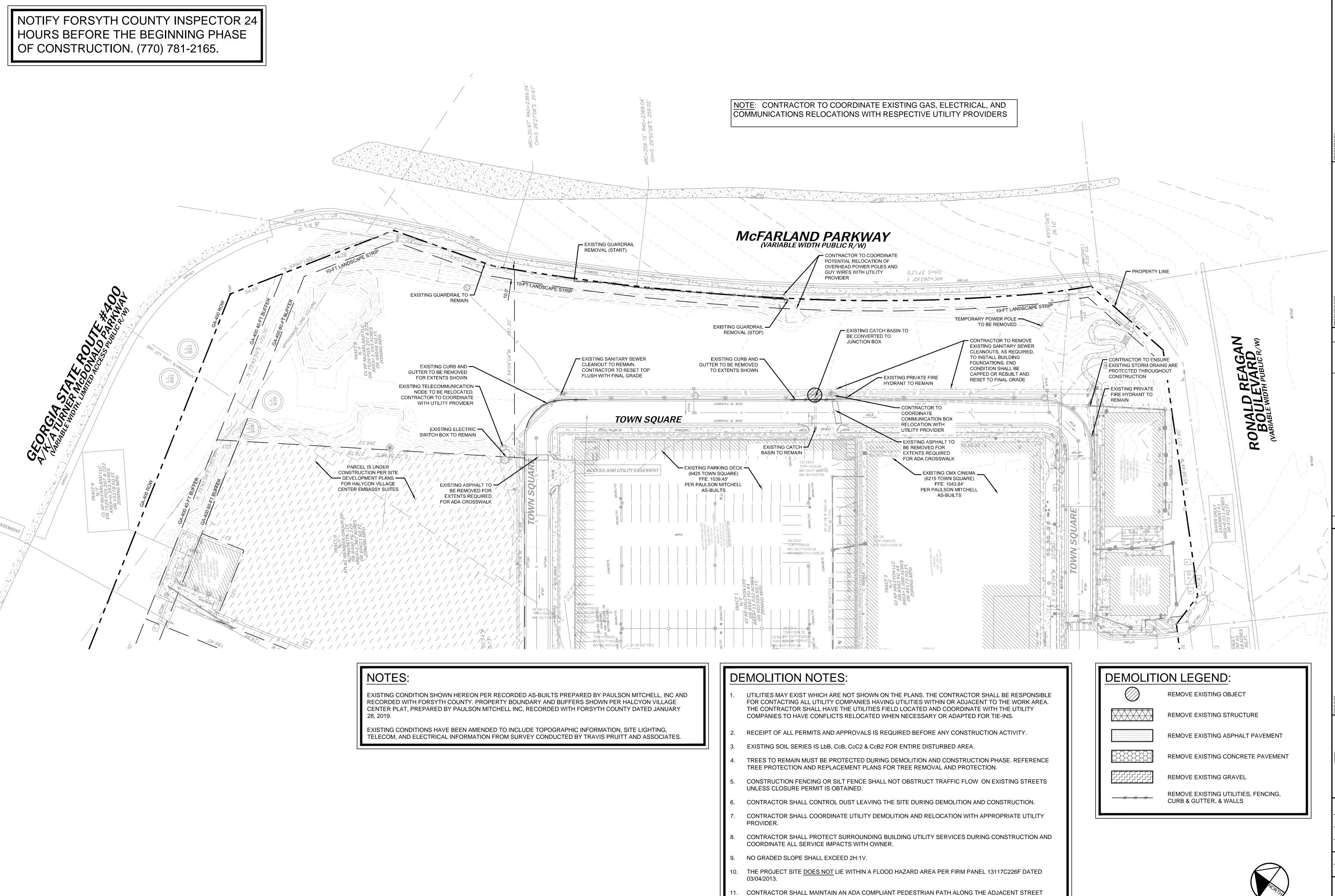
SHEET NUMBER



SHALL BE MADE DIRECTLY BY THE SURVEYOR. THE

AFFECTING THE WORK UNDER THIS CONTRACT

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS

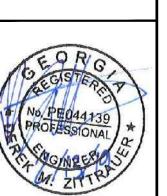


FRONTAGE THROUGHOUT CONSTRUCTION.

ASSESSMENTS PROVIDED BY THE OWNER.

CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL

HALCYON BUILDINGS



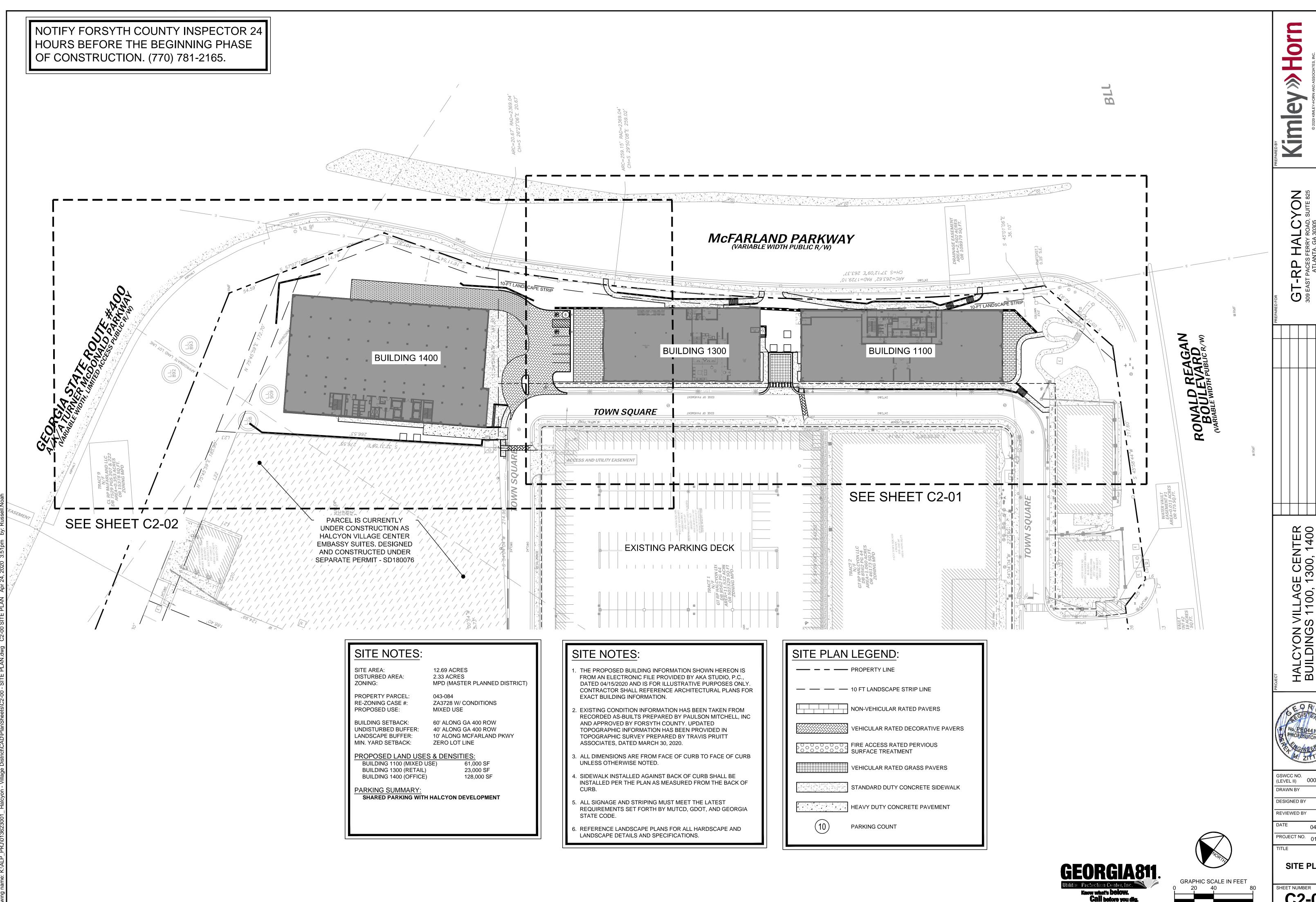
(LEVEL II) 0000076500

DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 013623001

**DEMOLITION** PLAN

C1-00



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VILLAGE CENTER S 1100, 1300, 1400 HALCYON BUILDINGS

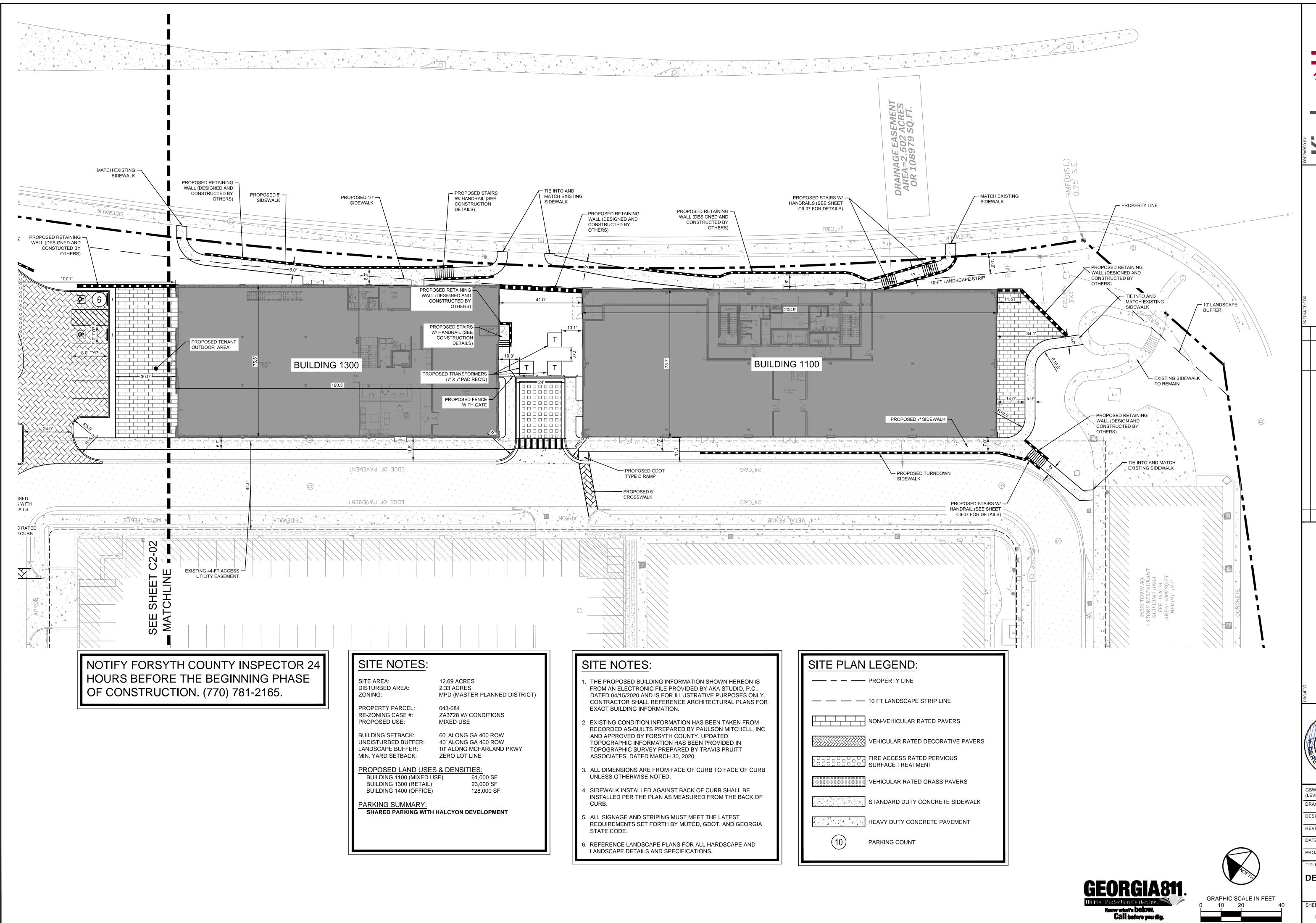


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04/24/2020 PROJECT NO. 013623001

SITE PLAN

C2-00



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11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 828
ATLANTA, GA 30305
PHONE: 404.855.5854

O NO SKI AND REVISION DESCRIPTIONS

HALCYON VILLAGE CENTEI BUILDINGS 1100, 1300, 140



GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

REVIEWED BY DMZ

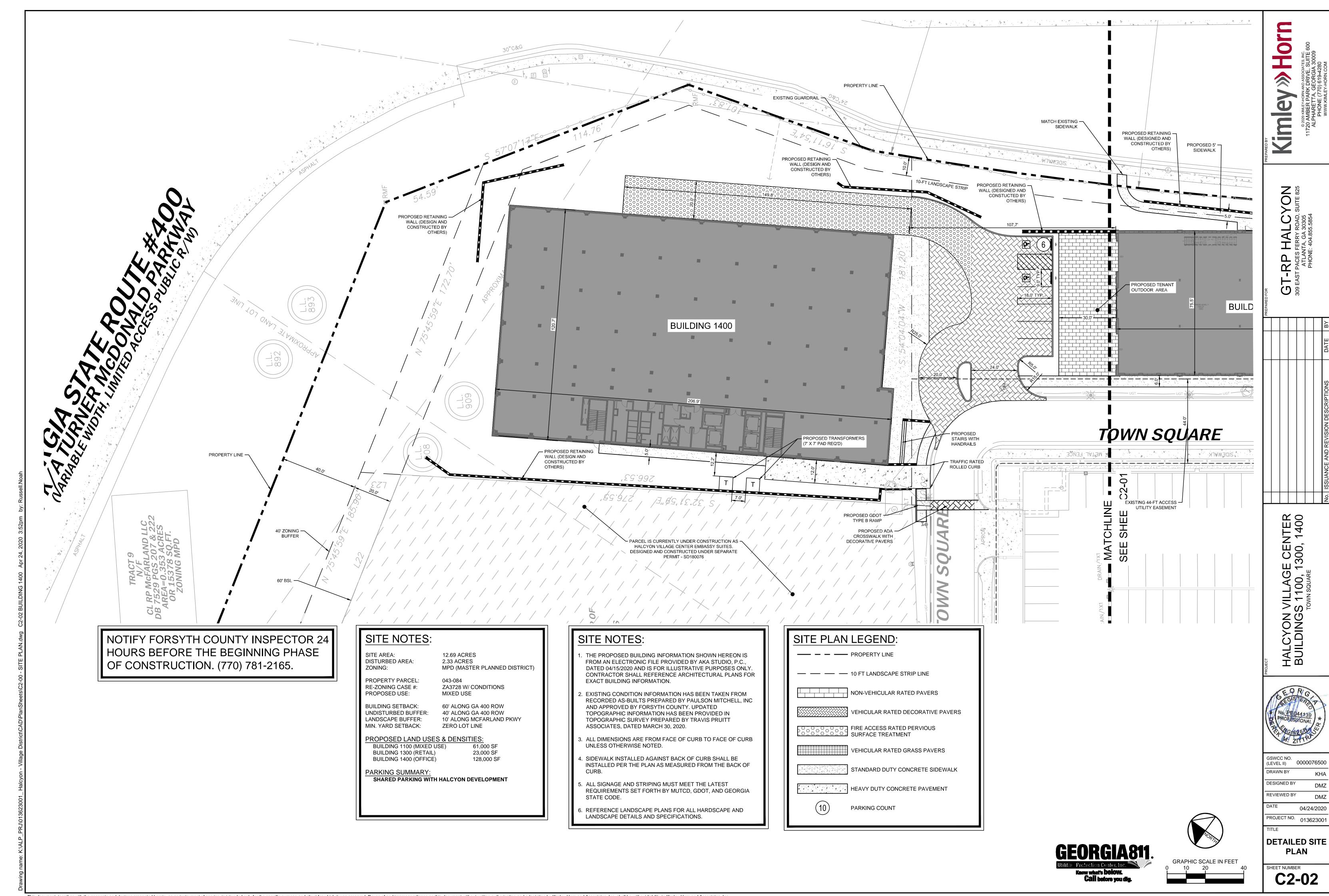
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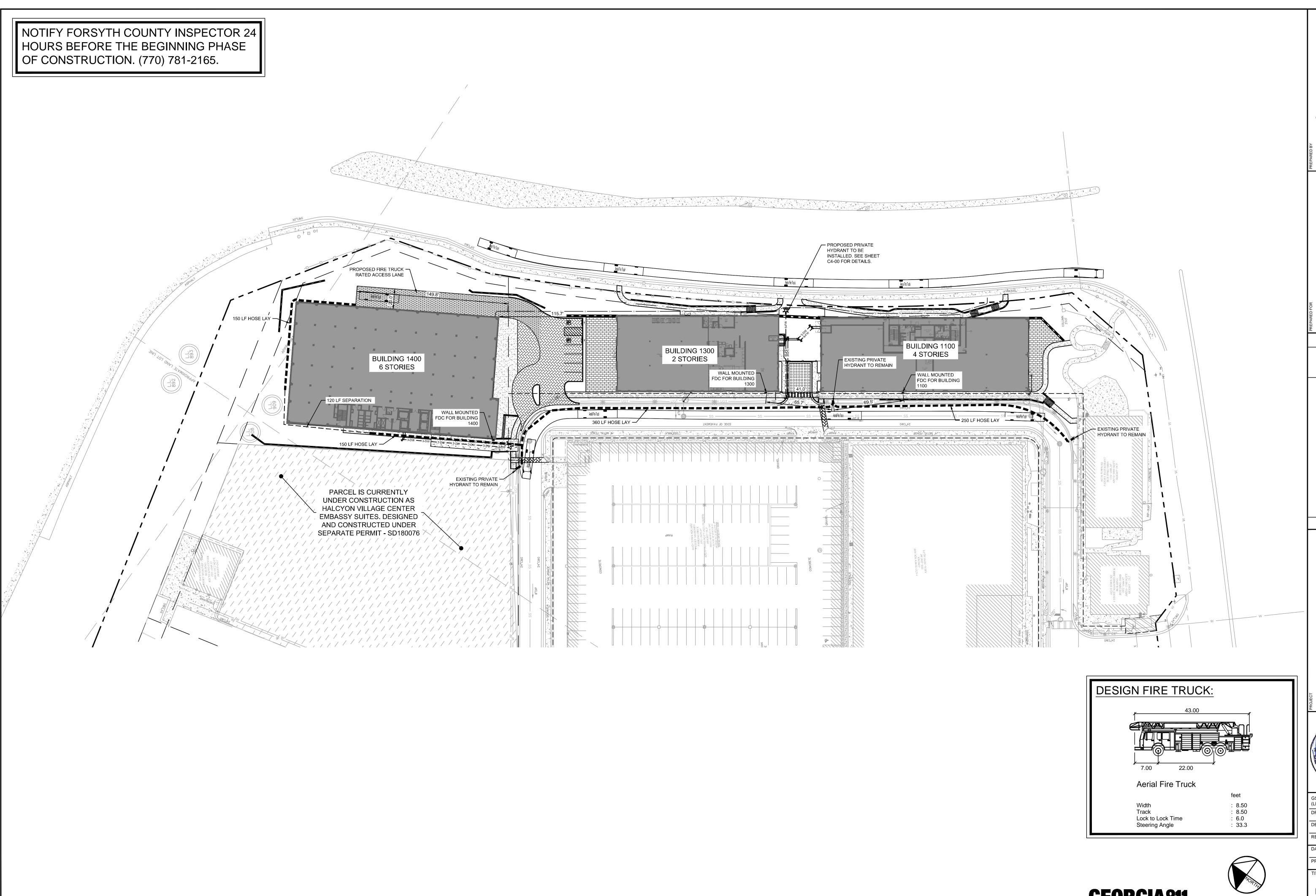
DATE 04/24/2020

PROJECT NO. 013623001

DETAILED SITE PLAN

C2-01





HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400

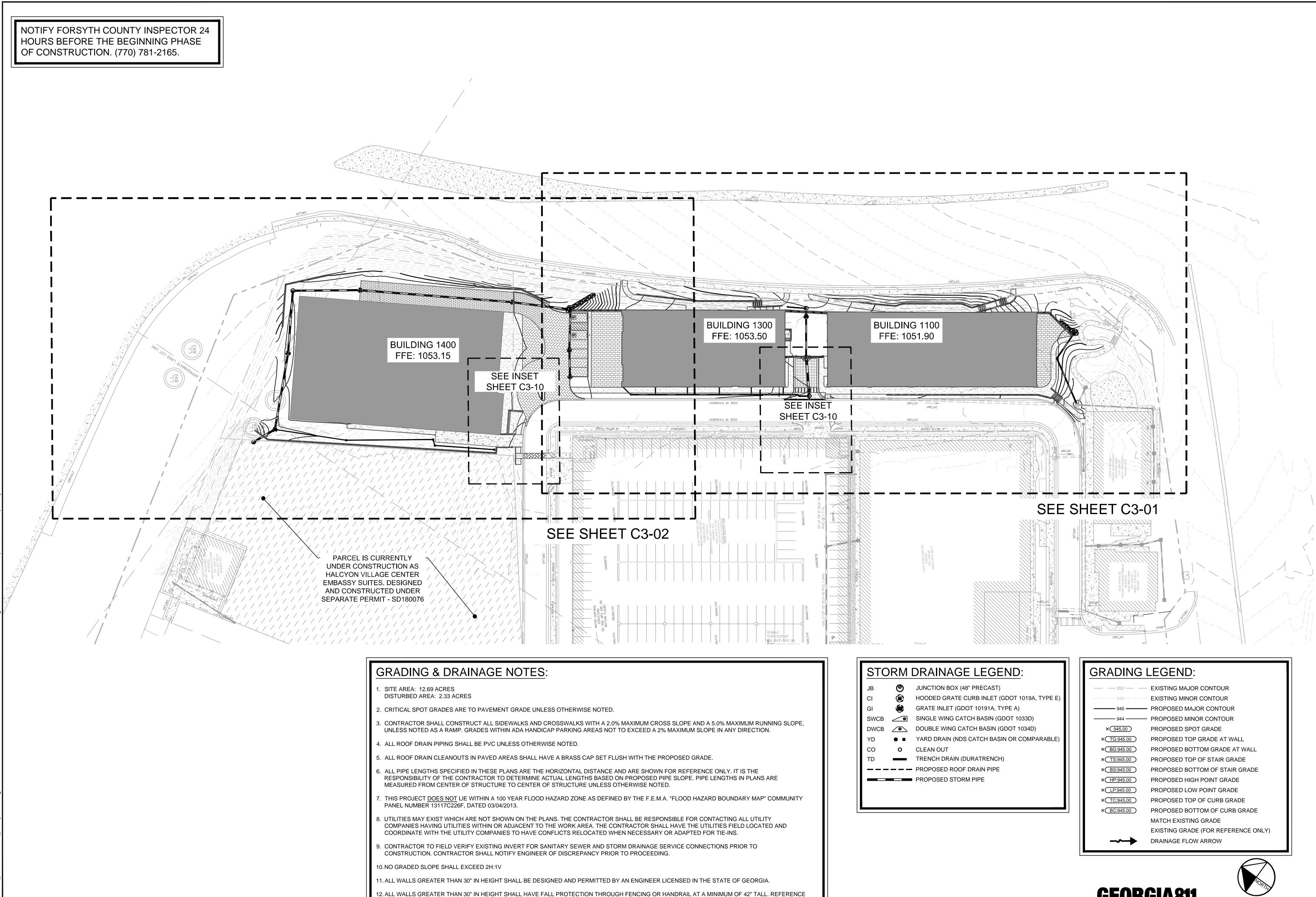


REVIEWED BY

PROJECT NO. 013623001

**FIRE PROTECTION** 

**C2-30** 



HALCYON
S FERRY ROAD, SUITE 825
ANTA, GA 30305
HE 404 965 6864

HALCYON BUILDINGS



(LEVEL II) 0000076500 DRAWN BY DESIGNED BY

REVIEWED BY

04/24/2020 PROJECT NO. 013623001

**GRADING AND** DRAINAGE PLAN

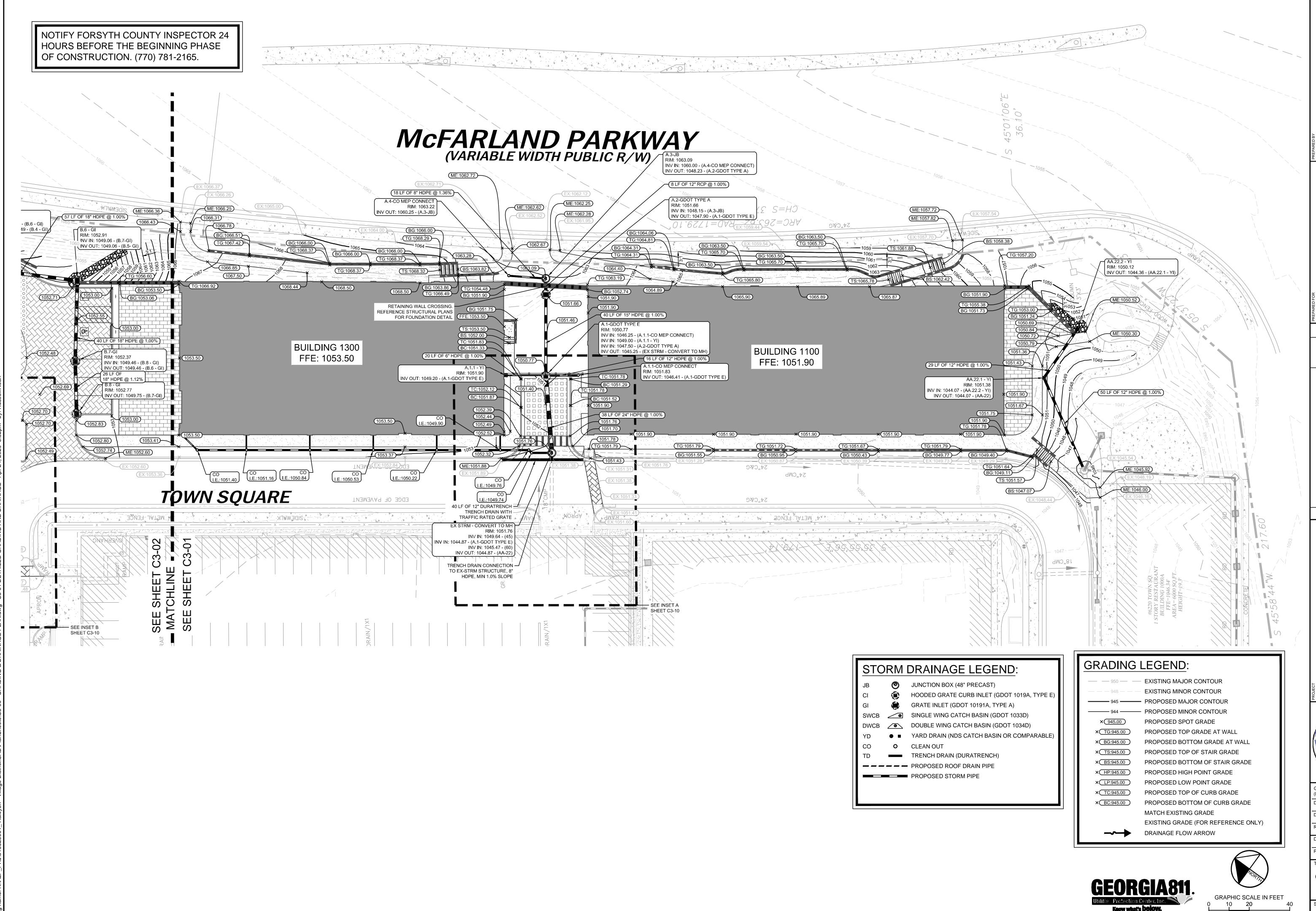
SHEET NUMBER

C3-00

GRAPHIC SCALE IN FEET

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LANDSCAPE PLANS FOR DETAILS.



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ALPHARETTA, GEORGIA 30009

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

HALCYON

HALCYON

BUILDING

BUILDING

GSWCC NO. (LEVEL II) 000007650

DRAWN BY KH.

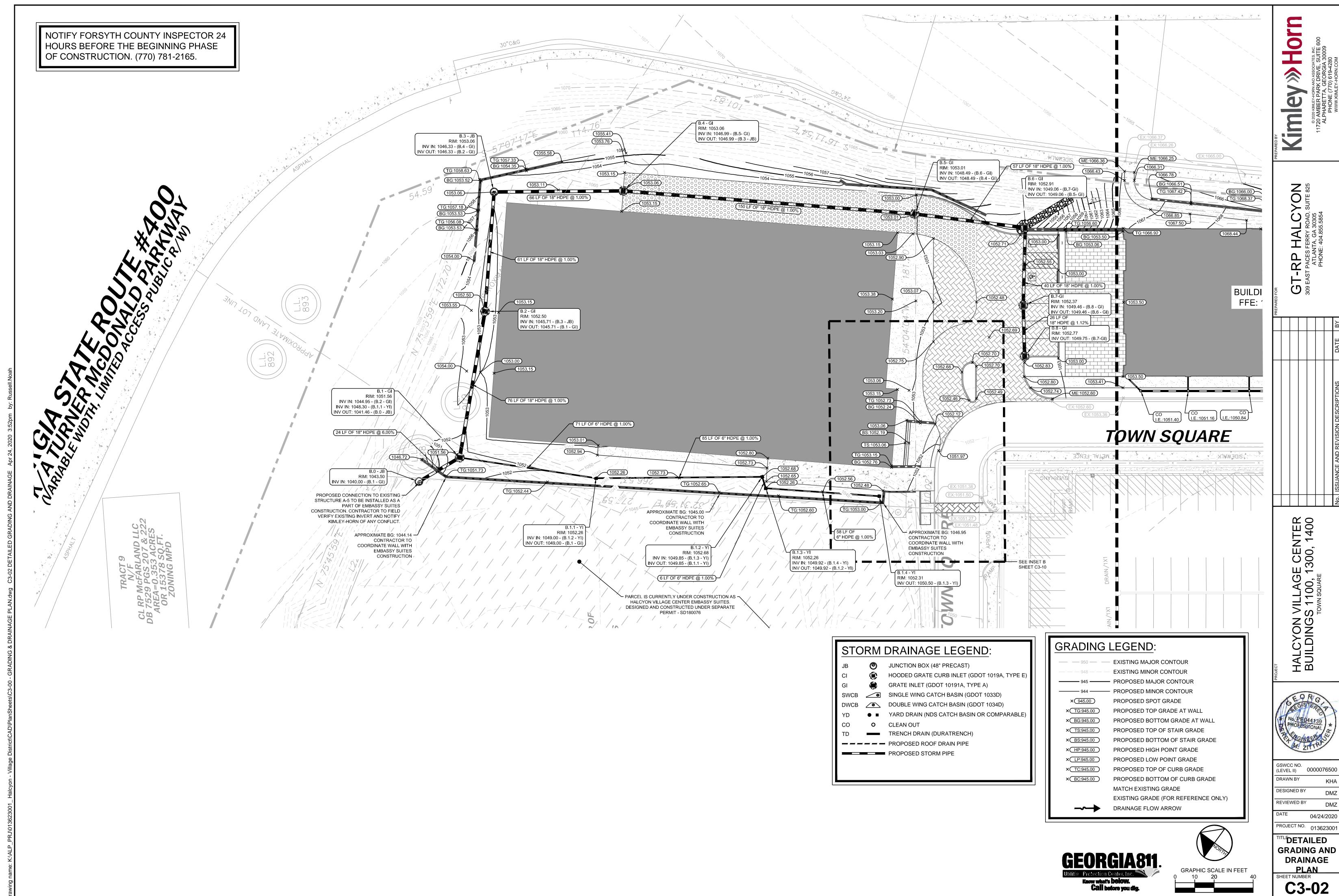
DESIGNED BY DM

REVIEWED BY DM

TITL DETAILED
GRADING AND
DRAINAGE

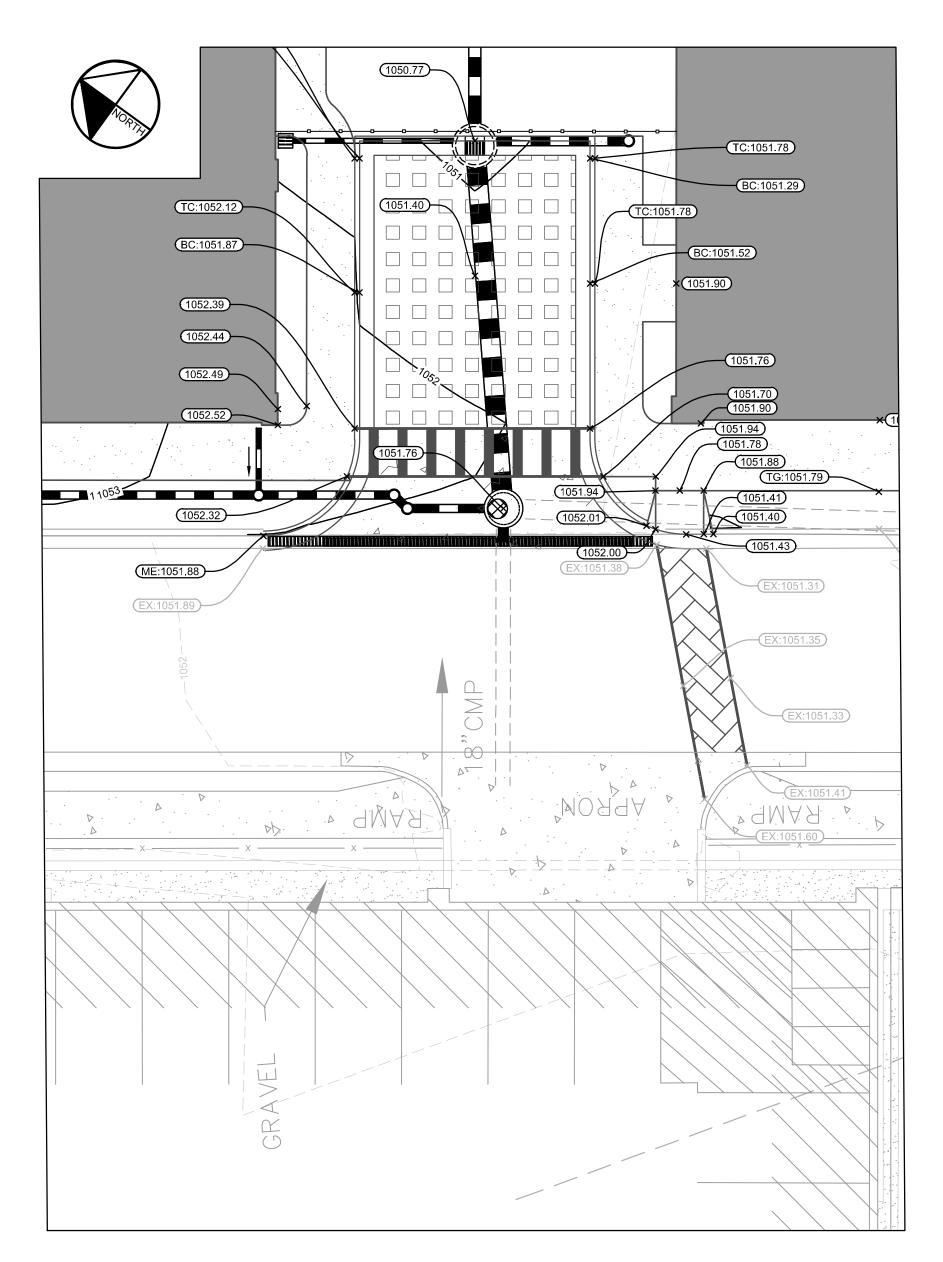
PLAN
SHEET NUMBER

C3-01

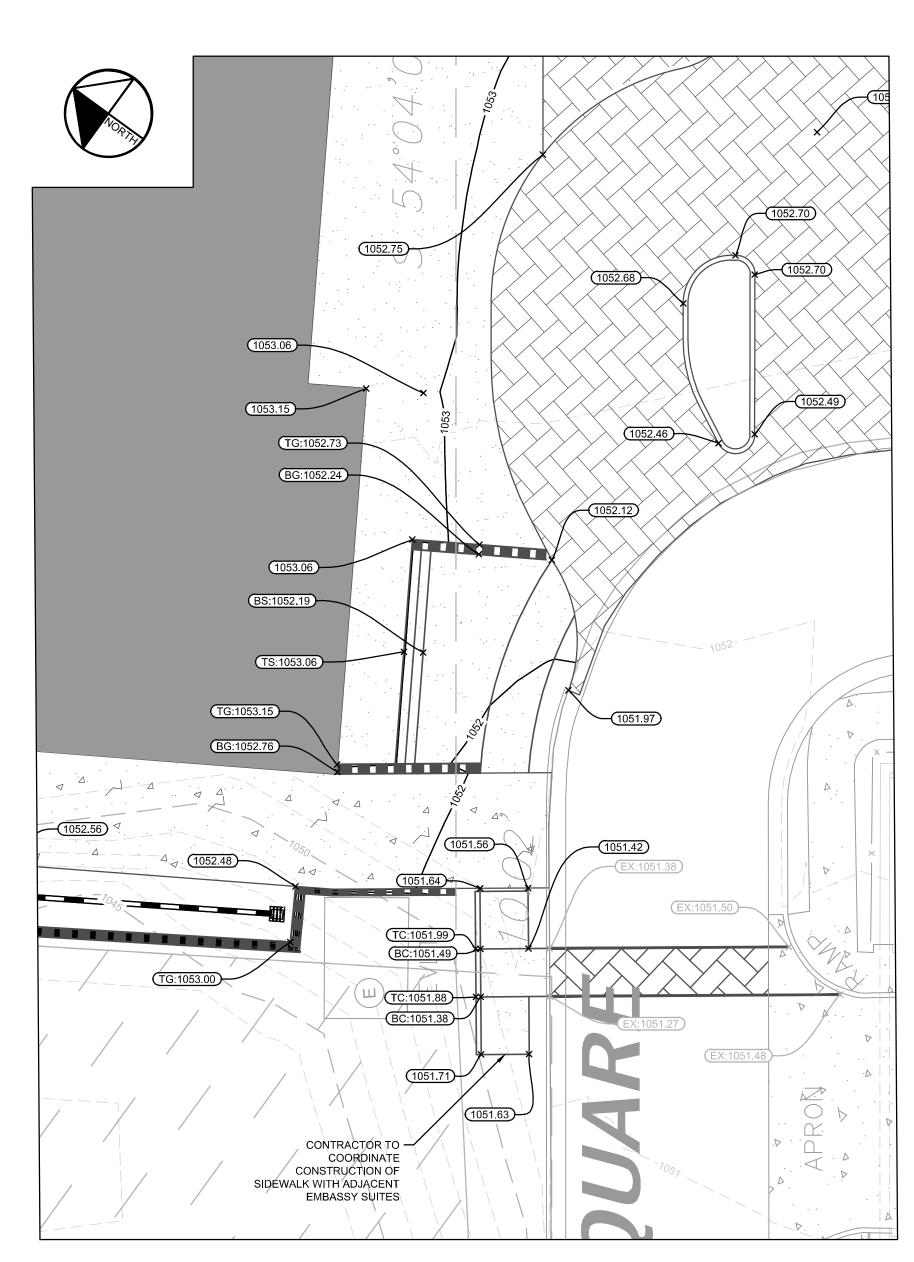


**U**J-(

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.



INSET A SCALE: 1" = 10'



INSET B SCALE: 1" = 10'

#### **GRADING LEGEND:**

**X** BC:945.00

— — 950 — EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR 944 — PROPOSED MINOR CONTOUR PROPOSED SPOT GRADE x(TG:945.00) PROPOSED TOP GRADE AT WALL PROPOSED BOTTOM GRADE AT WALL PROPOSED TOP OF STAIR GRADE **X** TS:945.00 PROPOSED BOTTOM OF STAIR GRADE x(HP:945.00) PROPOSED HIGH POINT GRADE PROPOSED LOW POINT GRADE × TC:945.00 PROPOSED TOP OF CURB GRADE

> MATCH EXISTING GRADE EXISTING GRADE (FOR REFERENCE ONLY) DRAINAGE FLOW ARROW

PROPOSED BOTTOM OF CURB GRADE

JUNCTION BOX (48" PRECAST) HOODED GRATE CURB INLET (GDOT 1019A, TYPE E) GRATE INLET (GDOT 10191A, TYPE A)

SINGLE WING CATCH BASIN (GDOT 1033D) DOUBLE WING CATCH BASIN (GDOT 1034D) ● ■ YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)

**CLEAN OUT** TRENCH DRAIN (DURATRENCH)

**— — — —** PROPOSED ROOF DRAIN PIPE PROPOSED STORM PIPE

STORM DRAINAGE LEGEND:

Or

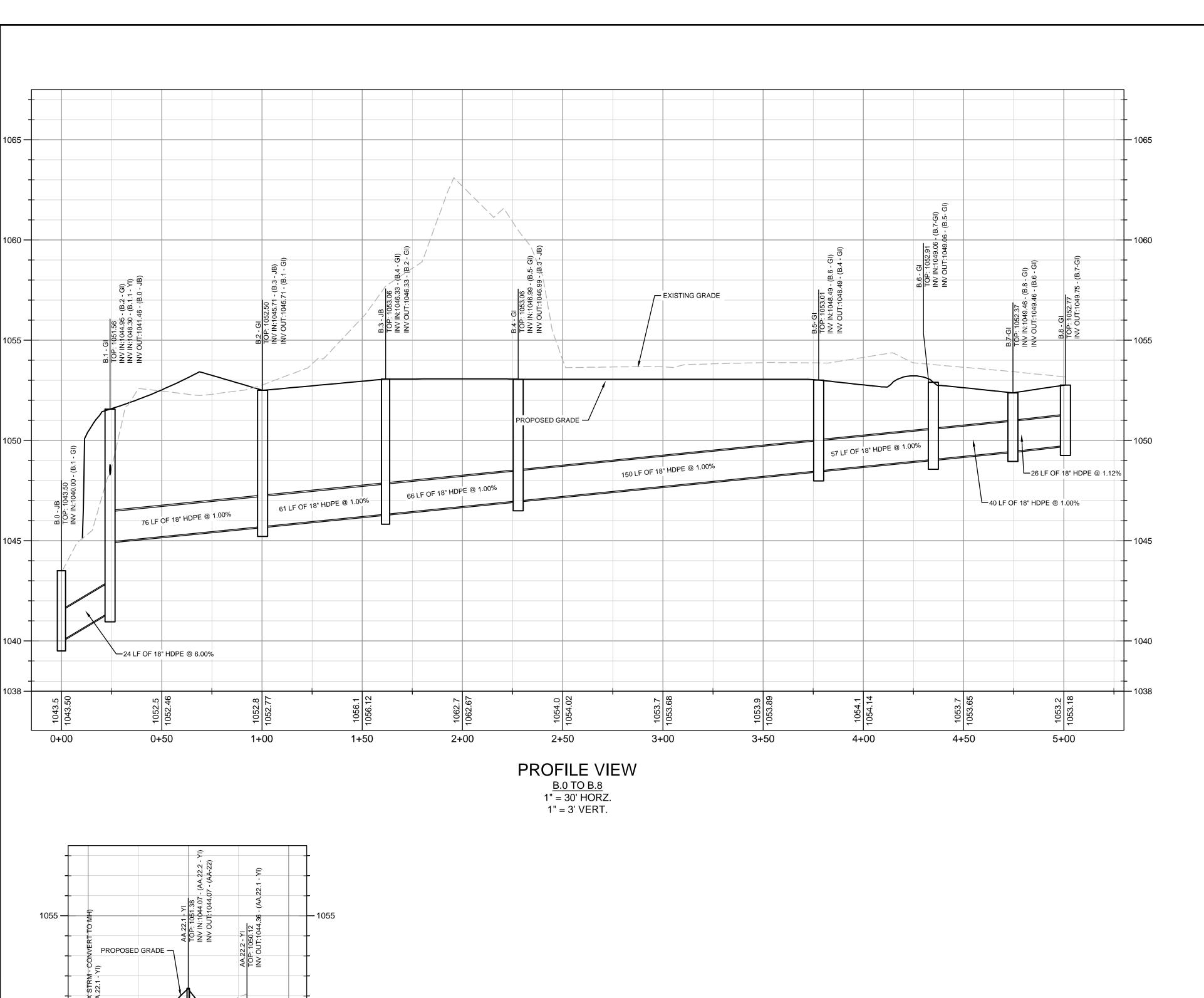


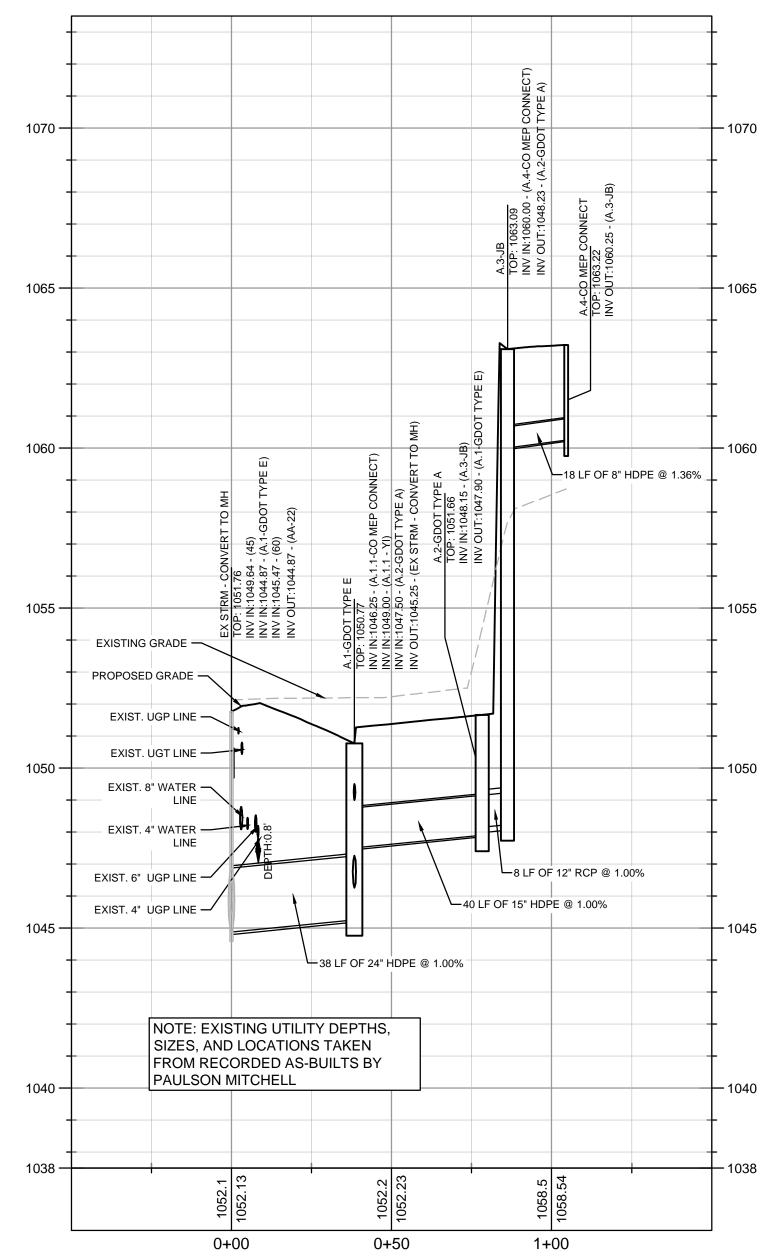
REVIEWED BY

PROJECT NO. 01362300′

**GRADING** INSETS

C3-10





PROFILE VIEW EX STRM TO A.4 1" = 30' HORZ.

1" = 3' VERT.

#### STORM DRAINAGE PROFILE NOTES:

- . ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE
- 2. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- 3. ALL STORM PIPE SHALL HAVE BEDDING PER BEDDING DETAILS IN CONSTRUCTION DETAIL SHEETS.
- 4. ALL STORM PIPING TO BE RCP UNLESS OTHERWISE NOTED. SEE CHART FOR PIPE CLASS.
- 5. RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL REFERENCE GRADING PLAN FOR STRUCTURE THROAT / RIM ELEVATIONS.
- 6. IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY
- 7. ALL STORM JOINTS TO BE WATER TIGHT.

CONDITIONS ARE RESOLVED.

Jtilities Protection Center, Inc.

Know what's **below.** 

HORIZONTAL SCALE IN FEET

**Call** before you dig.

#### RCP PIPE CLASSIFICATION CHART:

15'-20' CLASS IV 20'-30' CLASS V

CLASS III WITH 12" MINIMUM COVER. REFERENCE GDOT DETAIL 1030D FOR

HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

HDPE SHALL BE INSTALLED PER GDOT SPECIAL PROVISION, SECTION 550.

VILLAGE CENT SS 1100, 1300, 14

HALCYON BUILDINGS

Or

GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 013623001

STORM SEWER **PROFILES** 

SHEET NUMBER C3-50

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1050 —

1045 -

1040 —

1038 -

0+00

EXISTING GRADE -

└-29 LF OF 12" HDPE @ 1.00%

1+00

└─50 LF OF 12" HDPE @ 1.00%

PROFILE VIEW

EX AA-22 TO AA.22.2

1" = 30' HORZ.

1" = 3' VERT.

PROFILE LINE LEGEND: PROPOSED GRADE LINE — — — — — EXISTING GRADE LINE ————— 25-YR HYDRAULIC GRADE LINE — — — 100-YR HYDRAULIC GRADE LINE

1-15' CLASS III

ALL CONCRETE PIPE SHALL BE A MINIMUM ADDITIONAL GUIDANCE.

NOTIFY FORSYTH COUNTY INSPECTOR 24

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

## **CONSTRUCTION NOTES:**

- NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
- FCDWS SPECS (DIVISION IV, SEC 5.02) PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

### DESIGN ENGINEER CERTIFICATION:

SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS.

DATE:<u>04/24/2020</u> SIGNATURE:

**DESIGN ENGINEER CERTIFICATION:** 

SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS.

DATE:<u>04/24/2020</u> SIGNATURE:

EXISTING ELECTRICAL GUY WIRES · TO BE REMOVED/RELOCATED. CONTRACTOR TO COORDINATE WITH LITH ITY PROVIDER — EXISTING CONNECT TO -ELECTRICAL **EXISTING GAS** - 14 LF OF 6" DIP @ 1.0% MIN. PROPOSED GAS LINE SEE SHEET C4-10 - EXISTING TRANSFORMER CO2.2 - CO ¬ TO REMAIN TOP: 1051,87 ■ EXISTING 4" WATER INV: 1046.00 TOP: 1051.88 **BUILDING 1300 BUILDING 1100 BUILDING 1400** SEE MEP PLANS FOR CONTINUATION. EXISTING 8" WATER S FFE: 1053.50 CONTRACTOR TO RESET - CONTRACTOR TO RELOCATE -EXISTING WATER VALVES TO EXISTING CO TOP FLUSH 7 LF OF 4" DIP @ 1.0% MIN. CONTRACTOR TO REMAIN. CONTRACTOR TO EXISTING CLEANOUT TO EXTENTS WITH FINISHED GRADE RELOCATED EXISTING CO RESET VALVE TOP FLUSH REQUIRES FOR BUILDING AND SET TOP FLUSH FOUNDATION AND RESET TOP WITH FINISHED GRADE TOP: 1051.88 TOP: 1051.86 WITH FINISHED GRADE FLUSH WITH FINISHED GRADE INV: 1049 50 INV OUT: 1042.03 SEE SHEET C4-10 SEE MEP PLANS EXISTING FIRE FOR CONTINUATION TOP: 1053.27 HYDRANT TO REMAIN PROPOSED WALL PROPOSED WALL MOUNTED FDC FOR ■ MOUNTED FDC FOR 15 LF OF 6" DIP @ 7.52% )— **BUILDING 1100** CLEANOUT TO EXISTING 8" WATER -REMAIN CONTRACTOR TO RIM: 1052.71 EXISTING 4" WATER -RESET TOP FLUSH INV IN: 1043.18 MAIN am #\*\* WITH FINISHED GRADE FXISTING FIRE PROPOSED WALL **EXISTING 44-FT** EXISTING 44-FT MOUNTED FDC FOR HYDRANT TO REMAIN `ACCESS & UTILITY ACCESS & UTILITY EASEMENT BUILDING 1300 EASEMENT (39 LF OF 8" DIP @ 0.689 HYDRANT TO INV IN: 1040.24 INV OUT: 1040.49 PARCEL IS CURRENTLY UNDER CONSTRUCTION AS HALCYON VILLAGE CENTER EMBASSY SUITES. DESIGNED AND CONSTRUCTED UNDER SEPARATE PERMIT - SD180076

#### FORSYTH COUNTY WATER/SEWER NOTES:

- . NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
- . WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
- 3. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL
- 4. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
- 5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION
- 6. ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350.
- . WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.
- 8. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
- 9. SHORT SIDE SERVICES SHALL BE 3" COPPER.
- 10.LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH  $\frac{3}{4}$ " WYES AT LOT CORNERS. 11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB.
- 12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27. 13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS.
- 14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
- 15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS 16.300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
- 17. ALL VALVES SHALL BE GATE VALVES. 18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
- 19.NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER. 20.LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS.
- 21.ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
- 22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN. 23.SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED.
- 24.NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON DSANITARY SEWER EASEMENTS.
- 25.SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT. 26.NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
- $\,$  27.NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM. 28.16' IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16', WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
- 29.ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICTAE OF OCCUPANCY. 30.SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
- 31.WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR.
- 32.SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
- 33.PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
- 34.INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.

EXISTING UTILITY RIM, INVERTS, SIZES, AND LOCATIONS TAKEN FROM RECORDED AS-BUILTS FOR HALCYON VILLAGE CENTER PREPARED BY PAULSON MITCHELL AND RECORDED WITH FORSYTH COUNTY. TELECOM, ELECTRICAL, AND COMMUNICATIONS LINES TAKEN FROM SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

- THE CLEANOUTS IN PAVEMENT SHALL USE FORSYTH COUNTY DETAIL NUMBER 61.0.
- 3" AND LARGER TURBINE METERS REQUIRE STRAINERS BEFORE METER AND PRESSURE REDUCING VALVE AFTER
- MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH
- VACUUM TESTING WILL NEED TO BE COMPLETED BEFORE FINAL PLAT.

#### UTILITY NOTES:

- . ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- 2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
- 3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
- 4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- 5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
- 7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
- 8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

## **UTILITY LEGEND:**

— W — PROPOSED WATER LINE — UGP — PROPOSED ELECTRIC LINE PROPOSED TELEPHONE LINE

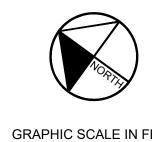
PROPOSED SANITARY SEWER PIPE PROPOSED SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE

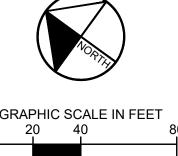
PROPOSED NATURAL GAS LINE

SANITARY SEWER GREASE TRAP FIRE DEPARTMENT CONNECTION (FDC)

FIRE HYDRANT POST INDICATOR VALVE (PIV) WATER MAIN TAPPING SLEEVE WATER CONNECTIONS AND BENDS







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0

E CEN 1300, 100, HALCYON BUILDING

(LEVEL II) 0000076500 DRAWN BY DESIGNED BY

REVIEWED BY

04/24/2020 PROJECT NO. 013623001

**UTILITY PLAN** 

SHEET NUMBER C4-00 NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### **CONSTRUCTION NOTES:**

- NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS PRIOR TO BEGINNING PHASE OF CONSTRUCTION.
- FCDWS SPECS (DIVISION IV, SEC 5.02) PIPE ALIGNMENT SHALL NOT BE DEFLECTED GREATER THAN 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

### DESIGN ENGINEER CERTIFICATION:

CERTIFY THAT THE PROPOSED WATER DISTRIBUTION SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE FCDWS SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS.

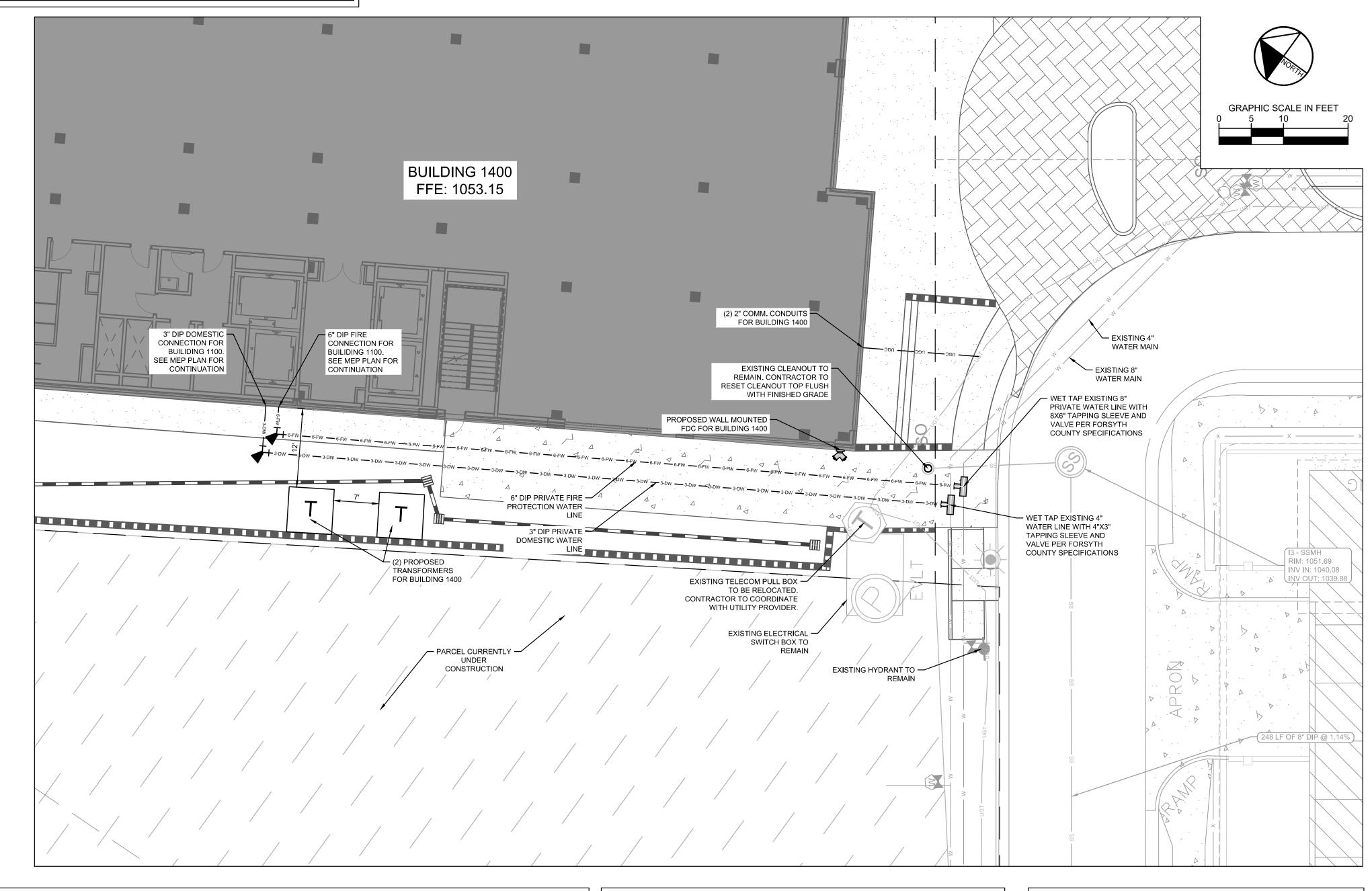
DATE:<u>04/24/2020</u> SIGNATURE:

#### **DESIGN ENGINEER CERTIFICATION:**

SPECIFICATION DOCUMENT TITLED "STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS AND SANITARY SEWER SYSTEMS, INCLUDING ALL AMENDMENTS.

DATE:<u>04/24/2020</u> SIGNATURE

EXISTING TRAFFIC -SIGNAL BOX TO -PROPOSED PRIVATE FIRE HYDRANT ASSEMBLY - PROPOSED 3"X2.5" REDUCER PROPOSED GAS -METER CONNECTION PROPOSED GAS FOR BUILDING 1300 METER CONNECTION 45-DEG BEND WITH -FOR BUILDING 1100 THRUST BLOCK PROPOSED PRIVATE FIRE HYDRANT B" DIP DOMESTIC 3"X3"X3" TEE **ASSEMBLY WITH 6"** CONNECTION FOR WITH THRUST GATE VALVE REQ'D BUILIDING 1100. BLOCK SEE MEP PLAN FOR PROPOSED 6" FIRE CONTINUATION PROTECTION WATER LINE TO SERVE PRIVATE HYDRANT 6" DIP FIRE 2.5" SCHEDULE K CONNECTION FOR COPPER DOMESTIC BUILIDING 1100. CONNECTION FOR SEE MEP PLAN FOR BUILIDING 1300, SEE CONTINUATION MEP PLAN FOR 45-DEG -CONTINUATION BEND WITH THRUST 6" DIP FIRE BLOCK **CONNECTION FOR** 8"X6"X6"X6" BUILIDING 1300 SEI MEP PLAN FOR 2) 2" COMM. CONTINUATION ONDUITS FOR BUILDING 1100 (2) 2" COMM CONDUITS FOR **BUILDING 1300** (2) PROPOSED RANSFORMERS FOR BUILDING 1100 CONTRACTOR TO RELOCATE XISTING CLEANOUT AS PROPOSED REQUIRED FOR BUILDING RANSFORMER FOR FOUNDATION AND RESET BUILDING 1300 TOP FLUSH WITH FG 6" DIP PRIVATE FIRI PROTECTION WATER 3" DIP PRIVATE DOMESTIC WATER WET TAP EXISTING 8" -8"X8" TAPPING SLEEVE AND VALVE PER FORSYTH COUNTY SPECIFICATIONS EXISTING WATER VALVES TO REMAIN. CONTRACTOR WET TAP EXISTING 4" -TO RESET VALVE TOP FLUSH WATER LINE WITH 4"X3" WITH FINISHED GRADE TAPPING SLEEVE AND EXISTING PRIVATE FIRE — VALVE PER FORSYTH EXISTING COMM. PULL BOX TO BE — COUNTY SPECIFICATIONS RELOCATED OUTSIDE OF EXTENTS HYDRANT TO REMAIN OF ADA RAMP. CONTRACTOR TO RESET TOP FLUSH WITH FG.



**INSET A** 

EXISTING UTILITY RIM, INVERTS, SIZES, AND LOCATIONS TAKEN FROM RECORDED AS-BUILTS FOR HALCYON VILLAGE CENTER PREPARED BY PAULSON MITCHELL AND RECORDED WITH FORSYTH COUNTY. TELECOM. ELECTRICAL, AND COMMUNICATIONS LINES TAKEN FROM SURVEY PREPARED BY TRAVIS PRUITT ASSOCIATES, DATED MARCH 30, 2020.

#### FORSYTH COUNTY WATER/SEWER NOTES:

- NOTIFY FORSYTH COUNTY WATER AND SEWER DEPARTMENT 24 HOURS PRIOR TO ANY SEWER CONSTRUCTION AT (404)-623-4241.
- WATER AND SEWER SERVICE IS PROVIDED BY THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL
- ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT FORSYTH COUNTY STANDARDS.
- 5. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION
- . ALL WATER LINES SHALL BE DUCTILE IRON PIPE CLASS 50 OR 350. WATER LINES SHALL BE INSTALLED 5' BACK OF CURB.
- B. WATER LINES SHALL HAVE AT LEAST 4 FEET OF COVER OR BE 4 FEET BELOW ROAD GRADE, WHICHEVER IS GREATER.
- 9. SHORT SIDE SERVICES SHALL BE  $\frac{3}{4}$ " COPPER 10.LONG SIDE SERVICES SHALL BE 1" COPPER IN 2" PVC CONDUITS WITH  $\frac{3}{4}$ " WYES AT LOT CORNERS.
- 11. WATER METERS ARE TO BE LOCATED IMMEDIATELY BEHIND THE BACK OF CURB. 12. FIRE HYDRANTS ARE TO BE 3-WAY 5-1/4" TYPE, AVK SERIES 27.
- 13. FIRE HYDRANTS MUST BE FLOW TESTED PRIOR TO FINAL PLAT TO ENSURE ADEQUATE FLOWS. 14. CONCRETE MARKERS ARE TO BE INSTALLED AT ALL VALVES EXCEPT AT FIRE HYDRANTS.
- 15. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS 16.300 PSI CURB STOPS, CORPS, AND WYES, ARE REQUIRED PER FORSYTH COUNTY STANDARDS.
- 17. ALL VALVES SHALL BE GATE VALVES. 18. GATE VALVES OVER 5' DEEP SHALL HAVE STEM EXTENSIONS.
- 19.NO DEVIATIONS FROM APPROVED DRAWINGS ARE ALLOWED WITHOUT APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.
- 20.LINES ARE TO BE PRESSURE TESTED AND DISINFECTED PER COUNTY SPECIFICATIONS. 21.ALL MANHOLES OUTSIDE OF PAVEMENT SHALL BE 2' ABOVE GRADE WITH BOLT-DOWN WATERTIGHT COVERS.
- 22. SEWER LATERALS SHALL BE SAME MATERIAL AS SEWER MAIN.
- 23.SEWER LATERALS SHALL BE INSTALLED WITH A 6" CLEANOUT, STUBBED UP 5' ABOVE GRADE AND CAPPED. 24.NO FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS ARE ALLOWED ON DSANITARY SEWER EASEMENTS.
- 25. SEWER LINES TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT. 26.NO BURY PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
- 27.NO AIR CONDITIONING CONDENSATE, DUMPSTER PADS, ROOF OR POOL DRAIN ALLOWED INTO SANITARY SEWER SYSTEM. 28.16' IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 16', WHETHER OR NOT SHOWN ON THE PLANS, MUST BE INSTALLED AS DIP.
- 29.ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICTAE OF OCCUPANCY.
- 30.SEWER LATERAL CLEANOUTS TO BE LOCATED 1' BEHIND R/W, OR ON SSE LINE.
- 31. WHERE SEWER IS INSTALLED IN R/W, BACKFILL MUST BE COMPACTED TO 95% PROCTOR. 32. SEWER LINES SHALL BE CLASS 50 DIP (OR GREATER, DEPENDING ON DEPTH), OR SDR-26 PVC.
- 33.PROPOSED SEWER MANHOLES ARE TO BE VACUUM TESTED.
- 34.INTERNAL WATER LINES MUST BE SIZED TO MEET FIRE FLOW OF 1500 GPM OR IRRIGATION FLOWS OF 20 GPM PER LOT (WHICHEVER IS GREATER). ANY EXTENSIONS OR UPGRADES TO WATER LINES REQUIRED BY THE DEVELOPMENT SHALL BE DONE AT OWNER'S EXPENSE.

## **UTILITY NOTES:**

- ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- 2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
- 3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FORSYTH COUNTY SANITARY SEWER AND FORSYTH COUNTY WATER DETAILS AND SPECIFICATIONS.
- . ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- 5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
- . ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
- B. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

## **UTILITY LEGEND:**

---- W ----- PROPOSED WATER LINE — UGP — PROPOSED ELECTRIC LINE PROPOSED TELEPHONE LINE

PROPOSED SANITARY SEWER PIPE

WATER VALVE

POST INDICATOR VALVE (PIV)



——— G ——— PROPOSED NATURAL GAS LINE PROPOSED SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE

SANITARY SEWER GREASE TRAP

FIRE DEPARTMENT CONNECTION (FDC) FIRE HYDRANT

WATER MAIN TAPPING SLEEVE

WATER CONNECTIONS AND BENDS

0

HALCYON BUILDINGS

GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 013623001

**UTILITY INSETS** 

SHEET NUMBER C4-10 C0-00, C5-04, C5-10-30

C5-03

**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST** 

COMMON DEVELOPMENT CONSTRUCTION PROJECTS (PRIMARY AND TERTIARY PERMITTEES)

SWCD:\_REGION 2 (UPPER CHATTAHOOCHEE RIVER)

Project Name: HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400 Address: TOWN SQUARE, ALPHARETTA, GA 30005

> City/County: FORSYTH COUNTY Date on Plans:\_04/24/2020\_

Name & email of person filling out checklist: DEREK ZITTRAUER, P.E. (derek.zittrauer@kimley-horn.com)

TO BE SHOWN ON ES&PC PLAN Page # Y/N The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed) C5-00

Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed) C5-00-04, C5-10-30, C5-80-81

Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist.\* (A copy of the written approval by EPD must be N/A

C0-00, C5-04, C5-10-30 Provide the name, address, email address, and phone number of primary permittee or tertiary permittee

C0-00, C5-10-30 Note total and disturbed acreage of the project or phase under construction.

Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees. C5-10-30

Description of the nature of construction activity.

Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions. C0-00, C5-10-30

Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary. C0-00, C5-04

Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected. C5-03, C5-10-30 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 23 of the permit. C5-01

C5-01 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 22 of the permit.\*

C5-02, C5-10-30 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV.A.5 page 27 of the permit.\*

C5-02, C5-10-30 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits." 16. Provide a description of any buffer encroachments and indicate where a buffer variance is required.

C5-03, C5-10-30 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."

The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls

C5-03, C5-10-30 18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit."\*

C5-03, C5-10-30 19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."

C5-03, C5-10-30 20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."

Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding." C5-03, C5-10-30

Indication that the applicable portion of the Plan applicable portion of the primary permittees ES&PC Plan is to be provided to each secondary permittees in the Plan or portion of the Plan applicable to their site. List the names and addresses of all secondary permittees. C5-01-04

Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of an Biota Impaired Stream Segment must comply with Part III.C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the N/A site which discharge to the Impaired Stream Segment.\*

24. If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 23 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan.\* N/A

C5-10-30, C5-81 25. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited.

A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, and (3) final BMPs.

26. Provide BMPs for the remediation of all petroleum spills and leaks. C5-02

C5-01 27. Description of the practices to provide cover for building materials and building products on site.\*

C5-04 28. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed.

C5-01 29. Description of the practices that will be used to reduce the pollutants in storm water discharges.\*

C5-04 [30. | Description and chart or timeline of the intended sequence of major activities, temporary and final stabilization).

C5-02 31. Provide complete requirements of inspections and record keeping by the primary permittee.\*

32. Provide complete requirements of sampling frequency and reporting of sampling results.\* C5-03

34. Description of analytical methods to be used to collect and analyze the samples from each location.\*

35. Appendix B rationale for NTU values at all outfall sampling points where applicable.\* N/A

33. Provide complete details for retention of records as per Part IV.F. of the permit.

36. Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. C5-10-30

intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase.

38. Plan addresses BMPs for all phases of common development including individual building lots and out-parcels, etc. regardless of who owns or operates the individual sites. Include a typical and any situational lots applicable.

40. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following: C5-10-30

Ground Slope Contour Intervals, ft. inch = 100 ft or larger scale Flat 0 - 2% 0.5 or 1

Rolling 2 - 8% Steep 8% + 2,5 or 10 41. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gaswcc.org. N/A

44. Delineation of on-site wetlands and all State waters located on and within 200 feet of the project site.

N/A 42. Use of alternative BMP for application to the Equivalent BMP List . Please refer to Appendix A-2 of the Manual for Erosion and Sediment Control in Georgia 2016 Edition.\*

N/A 43. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.

39. Graphic scale and North arrow.

45. Delineation and acreage of contributing drainage basins on the project site.

46. Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions.\* SEE HYDRO An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.

C5-80 48. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.

49. Soil series for the project site and their delineation.

50. The limits of disturbance for each phase of construction.

rovide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the C5-10-30, C5-82 Manual must be included for structural BMPs and all calculations used by the professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the plan.

52. Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend. CERTIFICATION NUMBER \_\_\_\_\_\_\_\_0000076500 C5-10-30, C5-04 ISSUED: 03/10/2019 EXPIRES: 03/10/2022 53. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

Frovide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia. \* This requirement of the Common Development permit is not applicable to Tertiary Permittees with a Plan(s) for a typical individual lot (s), if the total land disturbance within each individual lot is less than one (1) acre. If applicable, the \* checklist item would be N/A

C5-10-30

N/A

C5-10-30

DEREK M. ZITTRAUER

**Level II Certified Design Professional** 

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



(LEVEL II) 0000076500 DRAWN BY DESIGNED BY

REVIEWED BY

04/24/2020 PROJECT NO. 013623001

> **EROSION** CONTROL

C5-00

SHEET NUMBER

Effective January 1, 2020

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

04/24/2020

"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

DESIGN PROFESSIONAL'S SIGNATURE

04/24/2020
DATE

03/10/2022

KPIRATION DATE

DESIGN PROFESSIONAL'S SIGNATURE

0000076500

LEVEL II CERTIFICATION NUMBER

THE PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND O.C.G.A. 12-7-6, AS WELL AS THE FOLLOWING:

(i). EXCEPT AS PROVIDED IN PART IV. (iii). BELOW, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR HAS DETERMINED TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF NATURAL RESOURCES AND THE ENVIRONMENT IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A DRAINAGE STRUCTURE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED, OR ALONG ANY EPHEMERAL STREAM, OR WHERE BULKHEADS AND SEAWALLS MUST BE CONSTRUCTED TO PREVENT THE EROSION OF THE SHORELINE ON LAKE OCONEE OR LAKE SINCLAIR. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (2) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (3) STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- (4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION;
- (6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT;
- (7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND
- (8) MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

(ii). NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS 'TROUT STREAMS' EXCEPT WHEN APPROVAL IS GRANTED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED; PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS 'TROUT STREAMS' WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITTEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF

WATER DISCHARGED BY THE STREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY, AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,
- (2) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER
- (3) STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- (4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OF DISTURBED AREAS WITHIN THE BUFFER
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION.
- (6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT,
- 7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND
- (8) MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

(iii). EXCEPT AS PROVIDED ABOVE, FOR BUFFERS REQUIRED PURSUANT TO PART IV. (i). AND (ii)., NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED. DURING COVERAGE UNDER THIS PERMIT, A BUFFER CANNOT BE THINNED OR TRIMMED OF VEGETATION AND A PROTECTIVE VEGETATIVE COVER MUST REMAIN TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY MUST BE LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL IDENTIFY ALL POTENTIAL SOURCES OF POLLUTION WHICH MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE. IN ADDITION, THE PLAN SHALL DESCRIBE AND THE APPLICABLE PERMITTEE SHALL ENSURE THE IMPLEMENTATION OF PRACTICES WHICH WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT THE SITE AND TO ASSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE APPLICABLE PERMITTEE MUST IMPLEMENT AND MAINTAIN THE PROVISIONS OF THE PLAN REQUIRED UNDER THIS PART AS A CONDITION OF THIS PERMIT.

EXCEPT AS PROVIDED IN PART IV.A.2., A SINGLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY THE PRIMARY PERMITTEE FOR THE STAND ALONE CONSTRUCTION PROJECT.

#### A. DEADLINES FOR PLAN PREPARATION AND COMPLIANCE

1. EXCEPT AS PROVIDED IN PART IV.A.2., AND PART IV.A.6., THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE COMPLETED PRIOR TO SUBMITTING THE NOI AND PRIOR TO CONDUCTING ANY CONSTRUCTION ACTIVITY BY ANY PERMITTEE.

2. FOR CONSTRUCTION ACTIVITES THAT BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT AND WERE SUBJECT TO THE REGULATIONS UNDER THE PREVIOUS PERMIT, THE PERMITTEE(S) SHALL CONTINUE TO OPERATE UNDER THE EXISTING PLAN.

3. FOR CONSTRUCTION ACTIVITIES THAT BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE SHALL BE REQUIRED TO PREPARE THE PLAN FOR THAT PHASE OF THE STAND ALONE DEVELOPMENT THAT CORRESPONDS WITH THE NOI BEING SUBMITTED AND THE PRIMARY PERMITTEE(S) SHALL IMPLEMENT THE PLAN ON OR BEFORE THE DAY CONSTRUCTION ACTIVITIES

#### 4. ADDITIONAL PLAN SUBMITTALS.

- a. FOR ALL PROJECTS IDENTIFIED UNDER PART I.C.1.b., WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, IN A JURISDICTION WHERE THERE IS NO CERTIFIED LOCAL ISSUING AUTHORITY REGULATING THAT PROJECT, A SINGLE COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD WATERSHED PROTECTION BRANCH AND A SECOND COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD DISTRICT OFFICE PRIOR TO OR CONCURRENT WITH THE NOI SUBMITTAL. THE SECOND COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE. THE EPD WATERSHED PROTECTION BRANCH WILL REVIEW PLANS FOR DEFICIENCIES USING THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.
- b. FOR SITES THAT ARE EQUAL TO OR GREATER THAN 50 ACRES OF DISTURBED AREA, REGARDLESS OF THE EXISTENCE OF A CERTIFIED LOCAL ISSUING AUTHORITY IN THE JURISDICTION, ONE OF THE FOLLOWING SUBMISSIONS IS ALSO REQUIRED:

(i). FOR ALL PROJECTS WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.

(ii). FOR ALL PROJECTS WHICH BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN, IF AMENDED, SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF

THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.

- c. FOR ALL PROJECTS WHERE THE CONSTRUCTION ACTIVITY AS INDICATED ON THE EXISTING NOI HAS CHANGED, THE AMENDED PLANS MUST BE SUBMITTED IN ACCORDANCE WITH PART IV.A.4.a. IN ADDITION, THE PERMITTEE MUST FILE A CHANGE OF INFORMATION NOI IN ACCORDANCE WITH PART II.
- 5. FOR COMMON DEVELOPMENTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPS HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED. THIS REQUIREMENT OF THIS PERMIT IS NOT APPLICABLE TO TERTIARY PERMITTES WITH A PLAN(S) FOR A TYPICAL INDIVIDUAL LOT(S), IF THE TOTAL LAND DISTURBANCE WITHIN THE CONSTRUCTION SITE IS LESS THAN FIVE (5) ACRES AND THE TOTAL LAND DISTURBANCE WITHIN EACH INDIVIDUAL LOT IS LESS THAN ONE (1) ACRE.
- 6. FOR STORM- OR EMERGENCY-RELATED REPAIR WORK, THE PERMITTEE SHALL IMPLEMENT APPROPRIATE BMPS AND CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. IF THE STORM- OR EMERGENCY-RELATED REPAIR WORK WILL NOT BE COMPLETED WITHIN SIXTY (60) DAYS OF COMMENCEMENT OF CONSTRUCTION ACTIVITY, A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO EPD AND THE PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT ON THE SIXTY-FIRST (61ST) DAY.

#### B. SIGNATURE AND PLAN REVIEW.

- 1. THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE SIGNED IN ACCORDANCE WITH PART IV., AND BE RETAINED ON THE SITE (OR, IF NOT POSSIBLE, AT A READILY ACCESSIBLE LOCATION) WHICH GENERATES THE STORM WATER DISCHARGE IN ACCORDANCE WITH PART IV.F. OF THIS PERMIT. THE PRIMARY PERMITTEE SHALL ENSURE, AS PROVIDED FOR ELSEWHERE IN THIS PERMIT, THAT EACH SECONDARY PERMITTEE IS PROVIDED WITH A COPY OF THE PLAN AND THAT THE SECONDARY PERMITTEE UNDERSTANDS THEIR ROLE IN IMPLEMENTING THE PLAN. THE SECONDARY PERMITTEE SHALL SIGN THE PLAN OR THE PORTION OF THE PLAN APPLICABLE TO THEIR SITE IN ACCORDANCE WITH PART V.G.1. AND THE PLAN OR APPLICABLE PORTION THEREOF SHALL BE RETAINED ON THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
- 2. THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) SHALL MAKE PLANS AVAILABLE UPON REQUEST TO THE EPD; TO DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. A SECONDARY SHALL MAKE THE PLAN OR PORTION OF THE PLAN APPLICABLE TO THEIR SITE AVAILABLE UPON REQUEST TO THE EPD; TO THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM. THE PLAN MUST BE SUBMITTED TO EPD OR TO THE LOCAL GOVERNMENT WITHIN THREE BUSINESS DAYS OF SUCH NOTIFICATION OR WITHIN AN ALTERNATE TIME FRAME ESTABLISHED BY EPD.
- 3. EPD MAY NOTIFY THE PRIMARY, SECONDARY OR TERTIARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PART. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE PRIMARY OR TERTIARY PERMITTEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, EPD MAY NOTIFY THE SECONDARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PERMIT. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD), THE SECONDARY PERMITTEE SHALL IMPLEMENT THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FOR SITES COMMENCING CONSTRUCTION AFTER THE EFFECTIVE DATE OF THIS PERMIT, WHEN EPD NOTIFIES A SECONDARY PERMITTEE OF ANY PLAN DEFICIENCIES, THE SECONDARY PERMITTEE MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF THE DEFICIENCIES. THE PRIMARY PERMITTEE MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPS WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. WHEN

  26 THE PLAN IS AMENDED. THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ANY AND ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEES MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE.

#### C. KEEPING PLANS CURRENT.

THE PRIMARY, SECONDARY OR TERTIARY PERMITTEES, AS APPLICABLE, SHALL AMEND THEIR PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT (I.E., THOSE BMPS WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND RETURN FREQUENCY OF STORMS) OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART IV.D.3. OF THIS PERMIT. AMENDMENTS TO THE PLAN MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT. SECONDARY PERMITTEES MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF BECOMING AWARE OF ANY SUSPECTED BMP DESIGNED DEFICIENCIES WHICH ARE NOT EFFECTIVE IN CONTROLLING THE DISCHARGE OF POLLUTANTS FROM THE SECONDARY PERMITTEE'S SITE. THE PRIMARY PERMITTEE MUST EVALUATE WHETHER THESE DEFICIENCIES EXIST WITHIN 48-HOURS OF SUCH NOTICE, AND IF THESE DEFICIENCIES ARE FOUND TO EXIST MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPS WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ALL AFFECTED SECONDARY PERMITTEES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEE(S) MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS AFFECTING THEIR SITE(S) WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE. NOTWITHSTANDING THE FOREGOING, THE PRIMARY OR TERTIARY PERMITTEE REMAINS RESPONSIBLE FOR INSURING THAT THE PLAN, AS APPROPRIATE, MEETS THE REQUIREMENTS OF THIS PERMIT.

#### D. CONTENTS OF PLAN.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, AS WELL AS THE FOLLOWING:

#### 1. CHECKLIST.

EACH PLAN SHALL INCLUDE A COMPLETED EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND AMENDMENTS TO THE APPLICABLE CHECKLIST AS APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION UP UNTIL THE DATE OF THE NOI SUBMITTAL. THE APPLICABLE CHECKLISTS ARE AVAILABLE ON THE EPD WEBSITE, WWW.GAEPD.ORG.

EACH SITE-SPECIFIC PLAN SHALL PROVIDE A DESCRIPTION OF POLLUTANT SOURCES AND OTHER INFORMATION AS INDICATED:

#### a. A DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY;

b. A DETAILED DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE (I.E., INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER BMPs, CLEARING AND GRUBBING ACTIVITIES,

EXCAVATION ACTIVITIES, GRADING ACTIVITIES, INFRASTRUCTURE ACTIVITIES, IMMEDIATE AND FINAL STABILIZATION ACTIVITIES);

c. ESTIMATES OF THE TOTAL AREA OF THE SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES;

d. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO THE CONSTRUCTION ACTIVITIES AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE;

e. A SITE-SPECIFIC MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF SOIL DISTURBANCE, AN OUTLINE OF AREAS WHICH ARE NOT TO BE DISTURBED, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER; AND

f. IDENTIFY THE RECEIVING WATER(S) AND AREAL EXTENT OF WETLAND ACREAGE AT THE SITE;

g. FOR PLANS PREPARED BY A PRIMARY PERMITTEE FOR A COMMON DEVELOPMENT, A LIST OF THE NAMES AND ADDRESSES OF ALL SECONDARY PERMITTEES MUST BE INCLUDED IN THE PLAN AND BE AMENDED AS APPROPRIATE. THESE AMENDMENTS ARE NOT SUBJECT TO THE DESIGN PROFESSIONAL CERTIFICATION REQUIREMENTS SPECIFIED IN PART IV.C.

#### 3 CONTROLS

EACH PLAN SHALL INCLUDE A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND THE PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMPS INTO A SINGLE PHASE PLAN. THE PLAN WILL INCLUDE APPROPRIATE STAGING AND ACCESS REQUIREMENTS FOR CONSTRUCTION EQUIPMENT. PLANS SUBMITTED AFTER THE EFFECTIVE DATE OF THIS PERMIT SHALL LIMIT THE AMOUNT OF DISTURBED AREA TO NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE APPROPRIATE EPD DISTRICT OFFICE ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. EPD WILL APPROVE OR DISAPPROVE SUCH REQUESTS WITHIN 35 DAYS OF RECEIPT. FAILURE OF EPD TO ACT WITHIN 35 DAYS SHALL BE CONSIDERED AN APPROVAL OF SUCH REQUESTS. IF THE EPD DISTRICT OFFICE APPROVES A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE BEST MANAGEMENT PRACTICES LISTED IN PART III.C.2. OF THIS PERMIT.

THE PLAN WILL CLEARLY DESCRIBE FOR EACH MAJOR ACTIVITY IDENTIFIED IN PART IV.D.2.b. APPROPRIATE CONTROL MEASURES AND THE TIMING DURING THE CONSTRUCTION PROCESS THAT THE MEASURES WILL BE IMPLEMENTED. THE PRIMARY PERMITTEE IS ENCOURAGED TO UTILIZE THE DOCUMENT, DEVELOPING YOUR STORMWATER POLLUTION PREVENTION PLAN: A GUIDE FOR CONSTRUCTION SITES, EPA 833-R-060-04, MAY 2007 (WWW.EPA.GOV/NPDES/PUBS/SW SWPPP GUIDE.PDF), WHEN PREPARING THE PLAN. THE DESCRIPTION AND IMPLEMENTATION OF CONTROLS SHALL ADDRESS THE FOLLOWING MINIMUM COMPONENTS:

#### a. EROSION AND SEDIMENT CONTROLS.

(1). STABILIZATION MEASURES. A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION MEASURES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE MEASURES. SITE PLANS SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED AND THAT DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION MEASURES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED SHALL BE INCLUDED IN THE PLAN. EXCEPT AS PROVIDED IN PARAGRAPHS IV.D.3.(a).(1).(a). AND (b). BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(a). WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(b). WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

(2). STRUCTURAL PRACTICES. A DESCRIPTION OF STRUCTURAL PRACTICES TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE TO THE DEGREE ATTAINABLE. SUCH PRACTICES MAY INCLUDE SILT FENCES, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM DRAIN INLET PROTECTION, ROCK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS, GABIONS, AND TEMPORARY OR PERMANENT SEDIMENT BASINS. STRUCTURAL PRACTICES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA.

(3). SEDIMENT BASINS. FOR COMMON DRAINAGE LOCATIONS AT A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE DRAINED, OR EQUIVALENT CONTROL MEASURES, SHALL BE PROVIDED UNTIL FINAL STABILIZATION OF THE SITE. THE 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHERE A TEMPORARY SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE ARE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, SEDIMENT TRAPS, SILT FENCES, WOOD MULCH BERMS OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDE SLOPE AND DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA. WHEN THE SEDIMENT FILLS TO A VOLUME AT MOST OF 22 CUBIC YARDS PER ACRE FOR EACH ACRE OF DRAINAGE AREA, THE SEDIMENT SHALL BE REMOVED TO RESTORE THE ORIGINAL DESIGN VOLUME. THIS SEDIMENT MUST BE PROPERLY DISPOSED. SEDIMENT BASINS MAY NOT BE FEASIBLE AT SOME CONSTRUCTION PROJECTS. CAREFUL CONSIDERATION MUST BE USED TO DETERMINE WHEN A SEDIMENT BASIN CANNOT BE USED AND/OR WHEN 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED IS NOT ATTAINABLE AND A WRITTEN JUSTIFICATION EXPLAINING THE DECISION(S) MUST BE INCLUDED IN THE PLAN. PERENNIAL AND INTERMITTENT WATERS OF THE STATE SHALL NOT BE USED FOR TEMPORARY OR PERMANENT SEDIMENT DETENTION.

WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE TEMPORARY BMPs AND MUST BE REMOVED PRIOR TO SUBMITTING A NOTICE OF TERMINATION. FOR CONSTRUCTION ACTIVITIES WHERE THE NOI WAS SUBMITTED PRIOR TO JANUARY 1, 2014, THIS REQUIREMENT OF THE PERMIT IS NOT APPLICABLE.

CSWCC GEORGIA SOIL AND WA CONSERVATION COMMI

\_\_\_\_DEREK M. ZITTRAUER
Level II Certified Design Professional

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TITLE

EROSION

CONTROL

C5-01

ALCYON UILDING (5). HIGH PERFORMANCE BMPs. THE USE OF INFILTRATION TRENCHES, SEEP BERMS, SAND FILTERS, DRY WELLS, POLYACRYLAMIDE, ETC. FOR MINIMIZING POINT SOURCE DISCHARGES EXCEPT FOR LARGE RAINFALL EVENTS IS ENCOURAGED.

. STORM WATER MANAGEMENT. A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. STRUCTURAL MEASURES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA. THIS PERMIT ONLY ADDRESSES THE INSTALLATION OF STORM WATER MANAGEMENT MEASURES, AND NOT THE ULTIMATE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION. OPERATORS ARE ONLY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT MEASURES PRIOR TO FINAL STABILIZATION OF THE SITE, AND ARE NOT RESPONSIBLE FOR MAINTENANCE AFTER STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY HAVE BEEN ELIMINATED FROM THE SITE.

(1). SUCH PRACTICES MAY INCLUDE: STORM WATER DETENTION STRUCTURES (INCLUDING WET PONDS); STORM WATER RETENTION STRUCTURES; FLOW ATTENUATION BY USED OF OPEN VEGETATED SWALES AND NATURAL DEPRESSIONS; INFILTRATION OF RUNOFF ON-SITE; AND SEQUENTIAL SYSTEMS (WHICH COMBINE SEVERAL PRACTICES). THE PLAN SHALL INCLUDE AN EXPLANATION OF THE TECHNICAL BASIS USED TO SELECT THE PRACTICES TO CONTROL POLLUTION WHERE FLOWS EXCEED PRE-DEVELOPMENT LEVELS.

(2). VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL FOR THE PURPOSE OF PROVIDING A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., NO SIGNIFICANT CHANGES IN THE HYDROLOGICAL REGIME OF THE RECEIVING WATER(S)).

(3). INSTALLATION AND USE OF GREEN INFRASTRUCTURE APPROACHES AND PRACTICES THAT MIMIC NATURAL PROCESSES AND DIRECT STORM WATER WHERE IT CAN BE INFILTRATED, EVAPOTRANSPIRATED OR RE-USED WITH SIGNIFICANT UTILIZATION OF SOILS AND VEGETATION RATHER THAN TRADITIONAL HARDSCAPE COLLECTION, CONVEYANCE AND STORAGE STRUCTURES ARE ENCOURAGED TO THE MAXIMUM EXTENT PRACTICABLE. GREEN INFRASTRUCTURE PRACTICES OR APPROACHES INCLUDE PERMEABLE OR POROUS PAVING, VEGETATED SWALES INSTEAD OF CURBS AND GUTTERS, GREEN ROOFS, TREE BOXES, RAIN GARDENS, CONSTRUCTED WETLANDS, INFILTRATION PLANTERS, VEGETATED MEDIAN STRIPS, PROTECTION AND ENHANCEMENT OF RIPARIAN BUFFERS AND FLOODPLAINS. AND THE OVERALL REDUCTION IN SITE DISTURBANCE AND IMPERVIOUS AREA. DESIGN INFORMATION ON GREEN INFRASTRUCTURE PRACTICES AND OTHER WAYS TO MANAGE STORM WATER CAN BE FOUND IN THE GEORGIA STORMWATER MANAGEMENT MANUAL (WWW.GEORGIASTORMWATER.COM) AND THE GEORGIA GREEN GROWTH GUIDELINES (WWW.COASTALGADNR.ORG/CM/GREEN/GUIDE). ADDITIONAL INFORMATION ON GREEN INFRASTRUCTURE CAN BE FOUND AT WATER.EPA.GOV/INFRASTRUCRURE/ GREENINFRASTRUCTURE/INDEX/CFM.

#### . OTHER CONTROLS.

(1). WASTED DISPOSAL. LOCATE WASTE COLLECTION AREAS AWAY FROM STREETS, GUTTERS, WATERCOURSES AND STORM DRAINS. WASTE COLLECTION AREAS, SUCH AS DUMPSTERS, ARE OFTEN BEST LOCATED NEAR CONSTRUCTION SITE ENTRANCES TO MINIMIZE TRAFFIC ON DISTURBED SOILS. THE PLAN SHOULD INCLUDE SECONDARY CONTAINMENT AROUND LIQUID WASTE COLLECTION AREAS TO FURTHER MINIMIZE THE LIKELIHOOD OF CONTAMINATED DISCHARGES. SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

(2). OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR CONSTRUCTION ACTIVITY.

(3). NOTHING IN THIS PERMIT RELIEVES A PERMITTEE FROM ANY OBLIGATION TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS OF WASTE DISPOSAL, SANITARY SEWER, SEPTIC AND PETROLEUM STORAGE SYSTEMS.

(4). THE PLAN SHALL INCLUDE BEST MANAGEMENT PRACTICES FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS AS APPROPRIATE.

(5). THE PLAN SHALL INCLUDE BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, AND THE REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. ADDITIONAL INFORMATION ABOUT BEST MANAGEMENT PRACTICES FOR CONCRETE WASHOUT IS AVAILABLE AT WWW.EPA.GOV/NPDES/PUBS/CONCRETEWASHOUT.PDF.

(6.). ALL PERMITTEES ARE REQUIRED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING TRENCHES AND EXCAVATIONS. DISCHARGES ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE CONTROLS.

#### 4. INSPECTIONS.

#### a. PERMITTEE REQUIREMENTS.

(1). EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

(2). MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSED OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.

(3). CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D. 4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

(4). CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).

(5). BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

(6). A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

#### b. SECONDARY PERMITTEE.

(1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A SECONDARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE SECONDARY PERMITTEE SHALL INSPECT: (A) ALL AREAS USED BY THE SECONDARY PERMITTEE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT; AND (B) ALL LOCATIONS AT THE SECONDARY PERMITTEE SITE WHERE THAT PERMITTEE'S VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS IF THEY ARE SECONDARY PERMITTEES.

(2) CERTIFIED PERSONNEL (PROVIDED BY THE UTILITY COMPANIES AND UTILITY CONTRACTORS IF THEY ARE SECONDARY PERMITTEES) SHALL INSPECT THE FOLLOWING EACH DAY ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT THE CONSTRUCTION SITE: (A) AREAS OF THE CONSTRUCTION SITE DISTURBED BY THE UTILITY COMPANIES AND UTILITY CONTRACTORS THAT HAVE NOT UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION: (B) AREAS USED BY THE UTILITY COMPANIES AND UTILITY CONTRACTORS FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION THAT HAVE NOT UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE UTILITY COMPANIES AND UTILITY CONTRACTORS' CONSTRUCTION ACTIVITIES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS WHEN THEY ARE SECONDARY PERMITTEES PERFORMING SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

(3) CERTIFIED PERSONNEL (PROVIDED BY THE SECONDARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE SECONDARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE SECONDARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE SECONDARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.B.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS IF THEY ARE SECONDARY PERMITTEES.

(4) CERTIFIED PERSONNEL (PROVIDED BY THE SECONDARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS SUBMITTED TO EPD) THE AREAS OF THEIR SITES THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS IF THEY ARE SECONDARY PERMITTEES.

(5) BASED ON THE RESULTS OF EACH INSPECTION, THE SECONDARY PERMITTEE MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF ANY SUSPECTED BMP DESIGN DEFICIENCIES. THE PRIMARY PERMITTEE MUST EVALUATE WHETHER THESE DEFICIENCIES EXIST WITHIN 48-HOURS OF SUCH NOTICE, AND IF THESE DEFICIENCIES ARE FOUND TO EXIST MUST AMEND THE PLAN IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT TO ADDRESS THOSE DEFICIENT BMPS WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ALL AFFECTED SECONDARY PERMITTEE(S) WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEES MUST IMPLEMENT ANY NEW PLAN REQUIREMENTS AFFECTING THEIR SITE(S) WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE.

(6) A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.B.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND /OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS IF THEY ARE SECONDARY PERMITTEES PERFORMING ONLY SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

#### c. TERTIARY PERMITTEE.

(1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A TERTIARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE TERTIARY PERMITTEE SHALL INSPECT: (A) ALL AREAS USED BY THE TERTIARY PERMITTEE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT; AND (B) ALL LOCATIONS AT THE TERTIARY PERMITTEE SITE WHERE THAT PERMITTEE'S VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS PERFORMING ONLY SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

(2) MEASURE RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL

VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.

(3) CERTIFIED PERSONNEL (PROVIDED BY THE TERTIARY PERMITTEE) SHALL INSPECT AT LEAST THE FOLLOWING ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE TERTIARY PERMITTEE'S CONSTRUCTION SITE (B) AREAS USED BY THE TERTIARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE TERTIARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.C.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS PERFORMING ONLY SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

(4) CERTIFIED PERSONNEL (PROVIDED BY THE TERTIARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS SUBMITTED TO EPD) THE AREAS OF THEIR SITES THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS PERFORMING ONLY SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

(5) BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION.

(6) A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.C.(5) OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT. THIS PARAGRAPH IS NOT APPLICABLE TO UTILITY COMPANIES AND UTILITY CONTRACTORS PERFORMING ONLY SERVICE LINE INSTALLATIONS OR WHEN CONDUCTING REPAIRS ON EXISTING LINE INSTALLATIONS.

#### 5. MAINTENANCE.

THE PLAN SHALL INCLUDE A DESCRIPTION OF PROCEDURES TO ENSURE THE TIMELY MAINTENANCE OF VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SITE PLAN.

#### 6. SAMPLING REQUIREMENTS.

THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIRE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.

#### a. SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:

(1) A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;

(2) A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;

(3) WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND

(4) ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

b. SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

(1) SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

(2) SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

(3) LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.

(4) MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.

(5). SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

c. SAMPLING POINTS.

(1) FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING

WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:

(a) THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.

(b). THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

FOR THE DOWNSTREAM TURBIDITY VALUE.

(c). IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).

(d). CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.

(e). THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

#### (f). THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

(g). PERMITTEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).

(h). ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.

#### d. SAMPLING FREQUENCY.

(1). THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.

(2). HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.

(3). SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

(a). FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;

(b). IN ADDITION TO (a) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOTICE OF TERMINATION, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST;

(c). AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (a) AND (b) ABOVE, IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS\* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;

(d). WHERE SAMPLING PURSUANT TO (a), (b) OR (c) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.A.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (a), (b) OR (c) ABOVE; AND

(e). EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (a) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (b) . THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (b) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (c) ABOVE.

\*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (a) AND (b) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

#### 7. NON-STORMWATER DISCHARGES.

EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORMWATER LISTED IN PART III.A.2 OF THE PERMIT THAT ARE COMBINED WITH STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE IDENTIFIED IN THE PLAN. THE PLAN SHALL IDENTIFY AND ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE.

GSWCC GEORGE CONS

DEREK M. ZITTRAUER
Level II Certified Design Professional

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No. ISSUANCE AND REVISION DESCRIPTIONS DATE

HALCYON VILLAGE CENTE BUILDINGS 1100, 1300, 140



DATE 04/24/2020
PROJECT NO. 013623001

EROSION
CONTROL
NOTES

C5-02

HEET NUMBER

2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;b. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;

c. THE DATE(S) ANALYSES WERE PERFORMED;

d. THE TIME(S) ANALYSES WERE INITIATED;

e. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
f. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL

TECHNIQUES

OR METHODS USED;
g. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS,

COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;

h. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND i. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.

#### F. RETENTION OF RECORDS

1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI:

a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;

b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS

c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT:

d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT; e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV .D.4.A. OF THIS PERMIT.

f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND

g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.

2. EACH SECONDARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:

a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;

b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT OR THE APPLICABLE PORTION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN FOR THEIR ACTIVITIES AT THE CONSTRUCTION SITE REQUIRED BY THIS PERMIT;
 c. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.B. OF THIS PERMIT; AND

d. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT.

3. EACH TERTIARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI

a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;

b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS DERMIT:

c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;

d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;

e. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT,

PERMIT;
f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN

A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GE
 ACCORDANCE WITH PART III.D.2. OF THIS PERMIT: AND.

g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.C.(2). OF THIS

4. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

#### PROJECT DESCRIPTION

PROJECT SUMMARY AND NATURE OF CONSTRUCTION ACTIVITY

THE EXISTING PROJECT SITE IS PART OF AN OVERALL MASTER DEVELOPED SITE NAMED THE HALCYON VILLAGE. CLEARING AND GRUBBING AND MASS GRADING HAS BEEN PERFORMED BY THE MASTER DEVELOPER AND A PAD GRADED AND FULLY STABILIZED SITE HAS BEEN PROVIDED FOR THE PROPOSED DEVELOPMENT. UTILITIES HAVE BEEN STUBBED AROUND THE FRONTAGE OF THE PROPERTY ALONG THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT.

THE PROPOSED PROJECT IS A MIXED-USE, OFFICE DEVELOPMENT. IT WILL CONTAIN OFFICE BUILDINGS, 1 MIXED-USE BUILDING, AND 1 RETAIL BUILDING. THE PROJECT ALSO INCLUDES THE CONSTRUCTION SURFACE PARKING, STORMWATER CONVEYANCE AND WATER QUALITY, AND ALL ASSOCIATED UTILITIES. THE TOTAL AREA ON SITE IS 12.69 ACRES, AND THE TOTAL DISTURBED AREA IS 2.33 ACRES INCLUDING PUBLIC ROW.

THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK.

PRE DEVELOPED RUNOFF COEFFICIENT: 0.50

POST DEVELOPED RUNOFF COEFFICIENT: 0.50

POST DEVELOPED RUNOFF COEFFICIENT: 0.80

(WATER QUALITY AND DETENTION FOR THIS SITE IS BEING PROVIDED BY THE MASTER DEVELOPER FOR MORE INFORMATION, REFERENCE THE HYDROLOGY REPORT BY PAULSON MITCHELL, INC. PREPARED FOR ROCAPOINT PARTNERS, LLC.

ANY SEDIMENT THAT ENCROACHES INTO THE INTERNAL DRIVES TO THE MASTER DEVELOPMENT SHALL BE SWEPT.

POST-CONSTRUCTION MEASURES FOR CONTROLLING POLLUTANTS IN STORMWATER AND STORMWATER DISCHARGES WILL BE CONTROLLED POST-CONSTRUCTION BY THE MASTER DETENTION FACILITY FOR THE MASTER DEVELOPMENT WITH DESIGN OUTLET CONTROL STRUCTURE.

EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES

AUTHORIZED BY A SECTION 404 PERMIT.

1. COMPREHENSIVE

A. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENT AND PERIMETER CONTROL BMPS AND WITHIN 7 DAYS AFTER INSTALLATION.

B. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

C. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS

WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

D. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS

E. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

F. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

G. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

H. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY CODES GOVERNING EROSION AND SEDIMENTATION CONTROL. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

I. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, CURRENT EDITION, AND FORSYTH COUNTY STANDARDS.

J. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

K. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.

L. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT, OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

M. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.

N. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION.

O. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY DEMOLITION.

P. SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, CURRENT EDITION, THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION, AND FORSYTH COUNTY STANDARDS.

Q. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.

#### 2. DURING CONSTRUCTION:

 A. ON SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.

B. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.

C. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORMWATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST MEET THE TURBIDITY REQUIREMENTS OUTLINED IN THE SITE SPECIFIC EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN UNTIL IT MEETS THE TURBIDITY REQUIREMENTS. ONCE THE TURBIDITY REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM. AS A MINIMUM TURBIDITY TESTS SHOULD BE PERFORMED AS DESCRIBED IN THE PERMIT. THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORMWATER DISCHARGES UNDER THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES (DNR) ENVIRONMENTAL PROTECTION DIVISION (EPD) GENERAL PERMIT NO. GAR 100003, AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

3. SOIL CLEANUP AND CONTROL PRACTICES REGARDING PETROLEUM SPILLS AND LEAKS

A. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.

B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDE, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

C. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.

D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.

E. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

F. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

G. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.

H. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

I. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ON SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL

THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY A LICENSED PROFESSIONAL.

#### 4. PRODUCT SPECIFIC PRACTICES

A. PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS, AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHOD WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

B. PAINTS, FINISHES, AND SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCTS, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND STANDARDS.

C. CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.

D. FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

E. BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

#### 5. WASTE MATERIALS

A. NO WASTE WILL BE DISPOSED OF INTO STORMWATER INLETS OR WATERS OF THE STATE.

B. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.

C. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

#### 6. <u>HAZARDOUS WASTES</u>

A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOBSITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

B. THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOBSITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

#### 7. SANITARY WASTES

A. A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE (1) TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

B. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPs MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIFICALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, SHEET C5-20, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

C. SANITARY SEWER WILL BE PROVIDED BY <u>FORSYTH COUNTY</u> AT THE COMPLETION OF THIS PROJECT.

#### . <u>BUILDING MATERIALS</u>

A. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (e.g. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

#### 9. <u>OFFSITE VEHICLE TRACKING</u>

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEETS C5-10-30, C5-80 FOR CONSTRUCTION EXIT LOCATIONS AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

B.

<u>2</u> >



**EXPIRES:** 03/10/2022

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720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
DI LONIT (772) 640 4300

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

ENTER

9, 1400

No. ISSUANCE AND REVISION DESCRIPTIONS

DATE

30 30 30

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HALCYON

HALCYON

BUILDING

BUILDING

GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

REVIEWED BY DMZ

DATE 04/24/2020

PROJECT NO. 013623007

TITLE

EROSION

CONTROL

C5-03

HEET NUMBER

**NOTES** 

#### **EROSION CONTROL LEGEND VEGETATIVE MEASURES: BUFFER ZONE** Cs COASTAL DUNE STABILIZATION Ds1 DISTURBED AREA STABILIZATION: (WITH MULCHING ONLY) Ds2 DISTURBED AREA STABILIZATION: (WITH TEMPORARY SEEDING) Ds3 DISTURBED AREA STABILIZATION: (WITH PERMANENT VEGETATION) DISTURBED AREA STABILIZATION: Ds4 (WITH SODDING) Du DUST CONTROL ON DISTURBED AREAS FLOCCULANTS COAGULANTS STREAMBANK STABILIZATION: Sb (USING PERMANENT VEGETATION) Ss SLOPE STABILZATION Sp SAMPLING POINT Tac TACKIFIERS AND BINDERS STRUCTURAL MEASURES: STONE CHECK DAM STRAW- BALE CHECK DAM STRAW- BALE CHECK DAM CHANNEL STABILIZATION: VEGETATED LINING CHANNEL STABILIZATION: ROCK RIP-RAP LINING CHANNEL STABILIZATION: CONCRETE LINING CONSTRUCTION EXIT CONSTRUCTION ROAD STABILIZATION STREAM DIVERSION CHANNEL DIVERSION TEMPORARY DOWNDRAIN STRUCTURE

Site Disturbing Activities: STRUCTURAL MEASURES (continued): FILTER FABRIC WITH SUPPORTING FRAME CONSTRUCTION WILL BEGIN WITH PLACEMENT OF PERIMETER SILT PROTECTION BARRIERS, INLET PROTECTION, TIRE WASH, CONCRETE WASH AREA, SEDIMENT TRAPS WITH DIVERSIONS, AND CONSTRUCTION ENTRANCES. 7 DAY LETTER TO BE PROVIDED TO INLET SEDIMENT TRAP: FORSYTH COUNTY. AFTER THESE EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN INSTALLED, INSTALLATION OF ADDITIONAL EXCAVATED SEDIMENT TRAPS WITH INLET SEDIMENT TRAP: DIVERSION, PRELIMINARY GRADING WILL COMMENCE IN AREAS THAT ARE TO BE BLOCK AND GRAVEL DROP INLET PROTECTION DISTURBED. THE SITE WILL THEN BE GRADED AND UTILITIES WILL BE TRENCHED. RETAINING WALLS ARE THEN ERECTED AND ONCE BROUGHT TO FINAL GRADE, THE INLET SEDIMENT TRAP: DRIVES WILL BE PAVED WHILE ALL OTHER EXPOSED AREAS WILL BE STABILIZED WITH GRAVEL DROP INLET PROTECTION VEGETATION, SIDEWALKS OR STRUCTURES. INLET SEDIMENT TRAP: **SOIL DISTURBING ACTIVITIES INCLUDE:** SOD INLET PROTECTION . INSTALLING A STABILIZED CONSTRUCTION EXIT, PERIMETER SILT FENCE, TIRE WASH INLET SEDIMENT TRAP: AREA, CONCRETE WASH OUT AREA, SEDIMENT TRAPS WITH DIVERSIONS, AND INLET CURB INLET PROTECTION INLET SEDIMENT TRAP: OTHER EROSION AND SEDIMENT CONTROLS AS NECESSARY. •• PRELIMINARY SITE GRADING. •• EXCAVATION AND INSTALLATION OF THE FOUNDATION. TEMPORARY SEDIMENT BASIN •• GRADING, EXCAVATION, AND INSTALLATION OF UTILITIES. • CONSTRUCTION OF RETAINING WALLS. TEMPORARY SEDIMENT TRAP BUILDING CONSTRUCTION. FINE GRADING OF THE SITE. • PREPARATION FOR FINAL PLANTING AND SEEDING. TEMPORARY SEDIMENT TRAP: • COMPLETION OF ON-SITE STABILIZATION. COMBINATION STRAW BALE & SILT FENCE OUTLET • REMOVAL OF SEDIMENT CONTROL MEASURES TEMPORARY SEDIMENT TRAP: **ROCK OUTLET** SEQUENCE OF MAJOR ACTIVITIES

•• SUBMIT 7 DAY LETTER TO BE PROVIDED TO FORSYTH COUNTY. •• INSTALL ADDITIONAL TEMPORARY EXCAVATED SEDIMENT TRAPS & DIVERSIONS, AND SEE SPECIFIC SEQUENCE OF CONSTRUCTION NOTES AND THE CONSTRUCTION SCHEDULE FILTER SURFACE SKIMMER (ON THIS SHEET) SHOWN ON SHEET C5-10 THROUGH C5-30. SEEP BERM Site Disturbance Breakdown: TEMPORARY STREAM CROSSING STORM DRAIN OUTLET PROTECTION TOTAL SITE AREA = 12.69 ACRES INITIAL PHASE DISTURBED AREA = 2.33 ACRES SURFACE ROUGHENING INTERMEDIATE PHASE DISTURBED AREA = 2.33 ACRES TURBIDITY CURTAIN FINAL PHASE DISTURBED AREA = 2.33 ACRES TOPSOILING

WARM WATER (SUPPORTING WARM WATER FISHERIES) SURFACE WATER DRAINAGE AREA, SQUARE MILES 5-9.99 10-24.99 25-49.99 50-99.99 100-249.99 250-499.99 500+ ? 1.00-10 200 300 500 100 200 300 25.01-50 100 50 100 150 100.01+ 50 50 APPENDIX B



750

750

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GSWCC NO.

DESIGNED BY

REVIEWED BY

(LEVEL II) 0000076500

PROJECT NO. 01362300

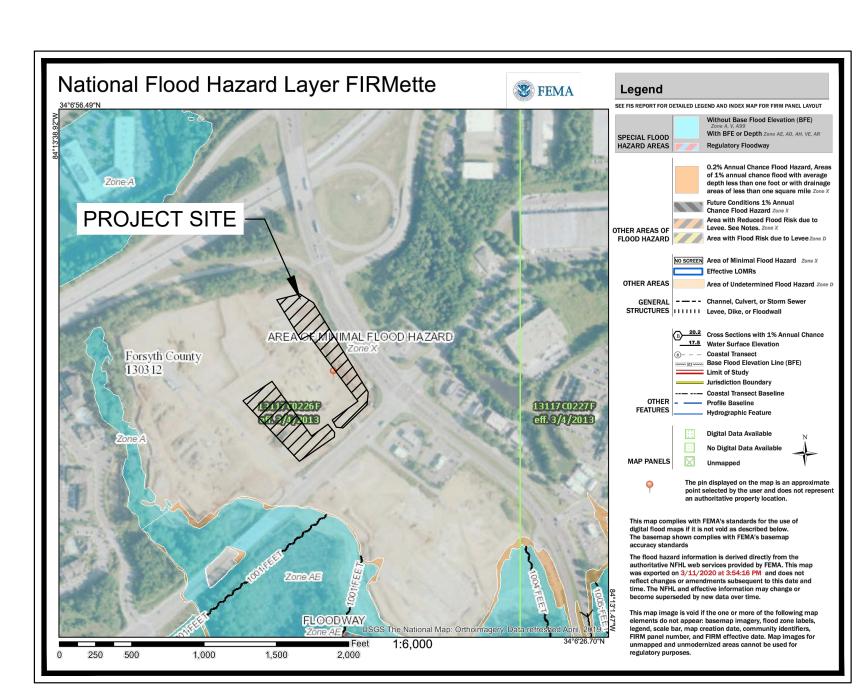
**EROSION** 

CONTROL

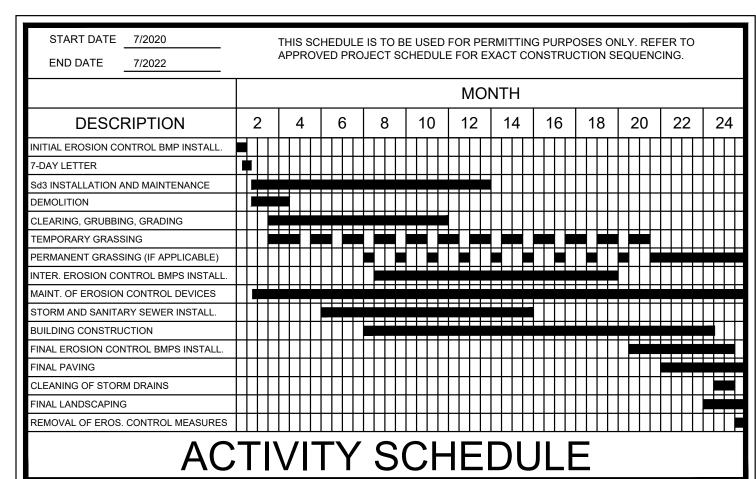
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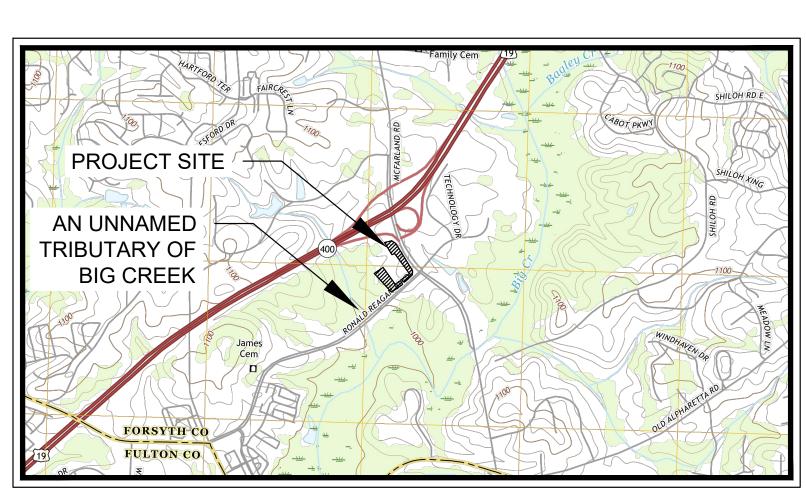
SHEET NUMBER

04/24/2020



FEMA MAP





U.S.G.S. TOPOGRAPHIC MAP DULUTH, GA QUAD MAP

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750 750 300 600 100 200 NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLE TREE PROTECTION VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL **EROSION CONTROL LINETYPES / SYMBOLS** TREE PROTECTION FENCE SOIL TYPE DELINEATION PERMANENT DOWNDRAIN STRUCTURE PROJECT SITE LIMITS OF DISTURBANCE FILTER RING **GABION** GRADE STABILIZATION STRUCTURE LEVEL SPREADER ROCK FILTER DAM RETAINING WALL HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400 RETROFITTING: PERFORATED HALF-ROUND PIPE RETROFITTING: SLOTTED BOARD DAM WITH STONE OR FILTER FABRIC Sd1-S SEDIMENT BARRIER - SENSITIVE AREAS

Sd1-NS

Sd1-BB

SITE AREA SUMMARY: TOTAL SITE AREA = 12.69 ACRES TOTAL DISTURBED AREA = 2.33 ACRES

PHONE: 404.855.5854

24-HOUR CONTACT:

NAME: PATRICK LEONARD COMPANY: ROCAPOINT PARTNERS

PRIMARY PERMITTEE: NAME: PATRICK LEONARD COMPANY: GT-RP HALCYON

SUITE 825

ADDRESS: 309 EAST PACES FERRY ROAD

ATLANTA, GA 30305

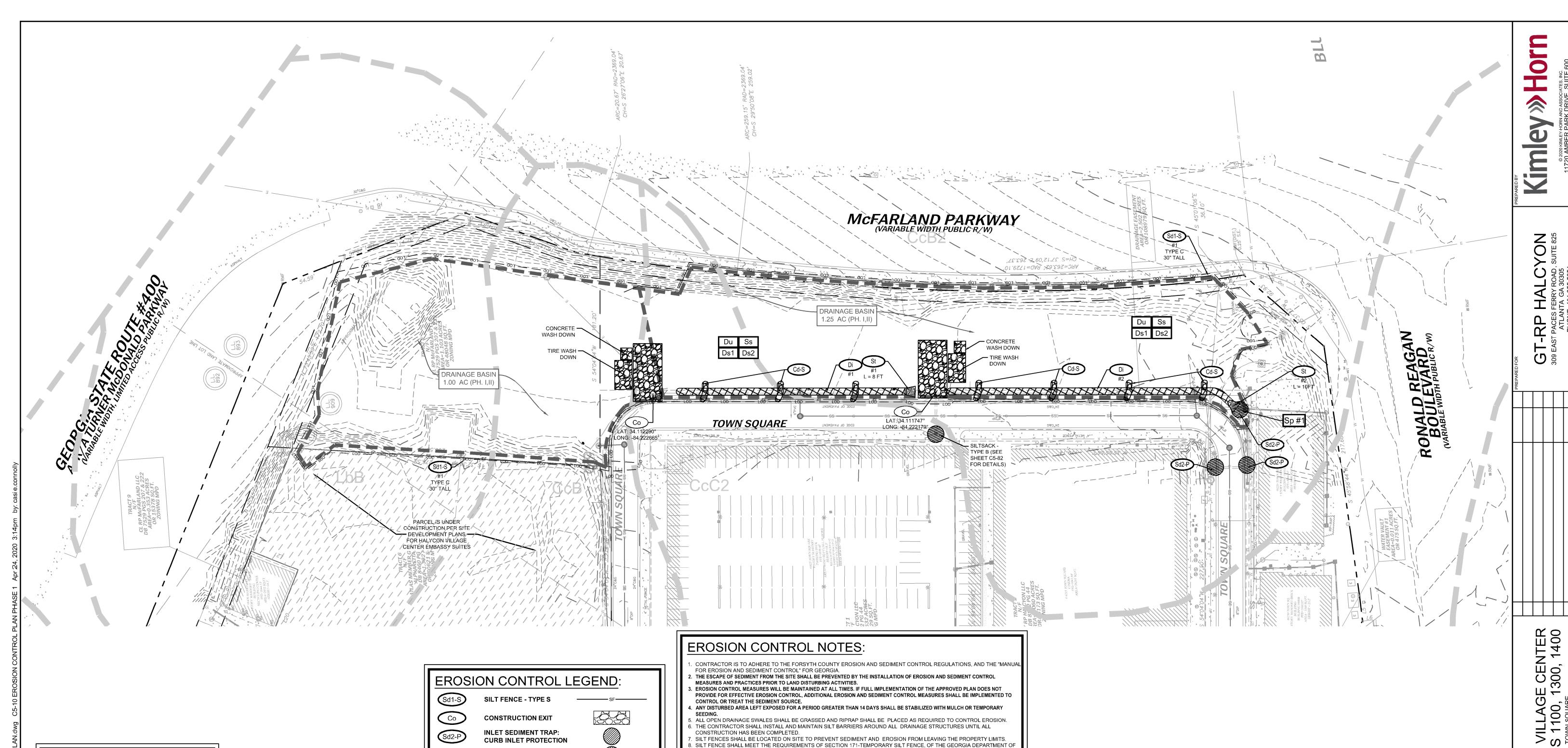
NUMBER: 404.855.5854

DEREK M. ZITTRAUER **Level II Certified Design Professional** CERTIFICATION NUMBER 0000076500

SEDIMENT BARRIER - NON SENSITIVE AREAS

SEDIMENT BARRIER - BRUSH BARRIER

ISSUED: <u>03/10/2019</u> EXPIRES: <u>03/10/2022</u>



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### **SAMPLING NOTES:**

- OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
- . CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 75 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 1.00 - 10 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE
- SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- . SEE SHEETS C5-01 C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

## **EROSION CONTROL PH. I SEQUENCING:**

INSTALL CONSTRUCTION EXIT, TIRE WASH DOWN & FUEL STORAGE AREAS.

INSTALL PERIMETER EROSION CONTROL DEVICES.

SCHEDULE INSPECTION WITH PROJECT DESIGN PROFESSIONAL PRIOR TO BEGINNING DEMOLITION ACTIVITIES.

SITE AREA SUMMARY: TOTAL SITE AREA = 12.69 ACRES TOTAL DISTURBED AREA = 2.33 ACRES

PRIMARY PERMITTEE NAME: PATRICK LEONARD

ADDRESS: 309 EAST PACES FERRY ROAD SUITE 825 ATLANTA, GA 30305 404.855.5854

Ds2

24-HOUR CONTACT: NAME: PATRICK LEONARD COMPANY: ROCAPOINT PARTNERS NUMBER: 404.855.5854

COMPANY: GT-RP HALCYON

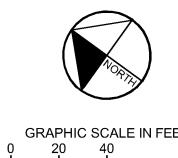
patrick.leonard@rocapoint.com

- TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
- 0.MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS 2:1, FILL AREAS 2:1. I. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS. 2. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR
- 3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
- 4. FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OF AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRE 5. THE CONTRACTOR SHALL KEEP AND MAINTAIN ONSITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF
- RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES 16. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER
- 7. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING. 18. SEE DETAILS FOR Ds2 AND Ds3 SEEDING AND MULCHING REQUIREMENTS.
- 19. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM. 20.PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT
- FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION. 1.THIS PROJECT <u>DOES NOT</u> LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013.
- 22. WETLANDS <u>DO NOT</u> EXIST ON SITE.
  23. SITE <u>DOES NOT</u> LIE WITHIN 200 FEET OF A JURISDICTIONAL STREAM.
- 4. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 25.AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- 26.THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION. 27.ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE
- 28.THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT <u>IS NOT</u> WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND <u>DOES NOT</u> DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM
- 29.NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND
- 30. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY. 31.INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100003 32.NO ALTERNATE BMPs WERE USED IN THIS PROJECT

DEREK M. ZITTRAUER Level II Certified Design Professional

CERTIFICATION NUMBER \_\_\_\_\_0000076500 EXPIRES: 03/10/2022





GRAPHIC SCALE IN FEET

REVIEWED BY PROJECT NO. 01362300′ **EROSION** CONTROL PLAN PHASE 1 HEET NUMBER

C5-10

(LEVEL II) 0000076500

04/24/2020

DRAWN BY

DESIGNED BY

**INLET SEDIMENT TRAP:** 

**INLET SEDIMENT TRAP:** 

TRAP:BAFFLE BOX

STORM DRAIN OUTLET

**EXCAVATED INLET SEDIMENT** 

FILTER FABRIC

**SILT SAVER** 

PROTECTION

**DIVERSION** 

**CHECK DAM** 

**RETAINING WALL** 

DISTURBED AREA

DUST CONTROL

SAMPLING POINT

SLOPE STABILIZATION

LIMITS OF DISTURBANCE

SOIL TYPE DELINEATION

DRAINAGE BASIN

DELINEATION

STABILIZATION (MULCHING)

(PERMANENT VEGETATION)

(TEMPORARY SEEDING)

DISTURBED AREA STABILIZATION

DISTURBED AREA STABILIZATION

St

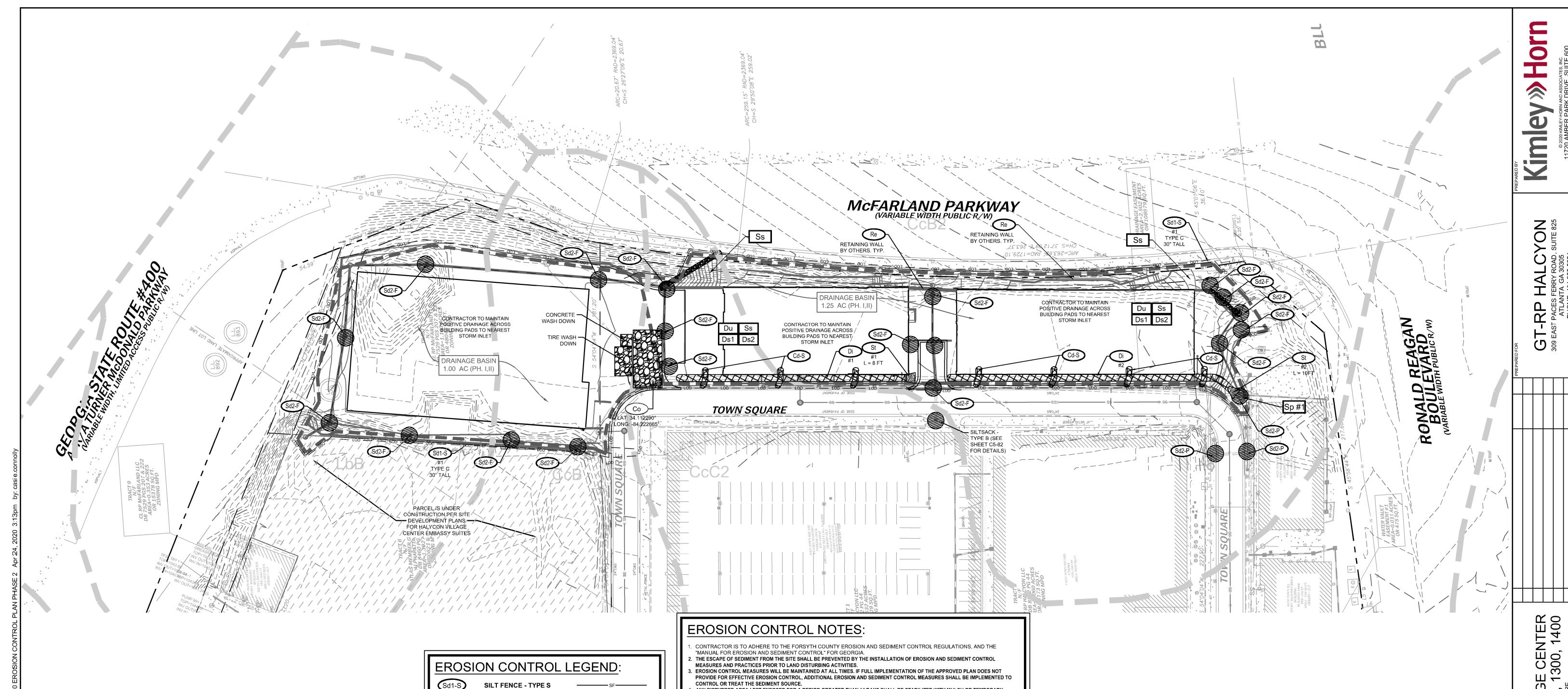
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NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### **SAMPLING NOTES:**

OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.

2. CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 25.01 - 50 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE

- SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- SEE SHEETS C5-01 C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

#### **EROSION CONTROL PH. 2 SEQUENCING:**

- INSPECT AND MAINTAIN ALL EXISTING BMP'S.
- 2. BEGIN TO TIE OFFSITE CONVEYANCE LINES INTO THE NEW TRUNK LINE & REMOVE THE OLD CONVEYANCE PIPE. INSTALL INLET/OUTLET EROSION PROTECTION.
- BEGIN CUT/FILL ACTIVITIES. CONTRACTOR TO COORDINATE AND SCHEDULE REMOVAL OF UNSUITABLE FILL MATERIAL DURING THIS PHASE
- I. INSTALL REMAINING SITE UTILITIES.
- 5. ONCE C&G HAS BEEN POURED ADJACENT TO Sd2-F's, THE Sd2-F's TO BE REPLACED BY Sd2-P's (SEE SHEET C5-30 FOR Sd2-P LOCATIONS).

SITE AREA SUMMARY: TOTAL SITE AREA = 12.69 ACRES TOTAL DISTURBED AREA = 2.33 ACRES PHASE DISTURBED AREA = XX.X ACRES

24-HOUR CONTACT: NAME: PATRICK LEONARD COMPANY: ROCAPOINT PARTNERS

NUMBER: 404.855.5854

PRIMARY PERMITTEE NAME: PATRICK LEONARD

COMPANY: GT-RP HALCYON ADDRESS: 309 EAST PACES FERRY ROAD SUITE 825 ATLANTA, GA 30305 PHONE: 404.855.5854

patrick.leonard@rocapoint.com

Co **CONSTRUCTION EXIT** 

**INLET SEDIMENT TRAP: CURB INLET PROTECTION INLET SEDIMENT TRAP:** FILTER FABRIC

**INLET SEDIMENT TRAP:** SILT SAVER **EXCAVATED INLET SEDIMENT** 

TRAP:BAFFLE BOX STORM DRAIN OUTLET PROTECTION

DIVERSION **CHECK DAM** 

**RETAINING WALL** 

DISTURBED AREA STABILIZATION (MULCHING) Ds2 Ds3 DISTURBED AREA STABILIZATION (TEMPORARY SEEDING) DISTURBED AREA STABILIZATION

(PERMANENT VEGETATION) DUST CONTROL

SLOPE STABILIZATION

Ss Sp SAMPLING POINT Tr

St

Di

Cd

Du

LOD

TREE PROTECTION FENCE LIMITS OF DISTURBANCE

SOIL TYPE DELINEATION DRAINAGE BASIN DELINEATION

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.

THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL

CONSTRUCTION HAS BEEN COMPLETED. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE. OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS

NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION. 0.MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1, FILL AREAS - 2:1. 1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.

2. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR 3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN

ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS. 4. FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS

OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED 5. THE CONTRACTOR SHALL KEEP AND MAINTAIN ONSITE A LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF

RAINFALL RECEIVED, DURATION OF RAINFALL EVENT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES. 16. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT.

7. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.

8. SEE DETAILS FOR Ds2 AND Ds3 SEEDING AND MULCHING REQUIREMENTS. 19. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.

20.PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION. 1.THIS PROJECT <u>DOES NOT</u> LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD

BOUNDARY MAP" COMMUNITY PANEL NUMBER 13117C226F, DATED 03/04/2013. 22.WETLANDS <u>DO NOT</u> EXIST ON SITE. 23.SITE <u>DOES NOT</u> LIE WITHIN 200 FEET OF A JURISDICTIONAL STREAM.

24. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 25.AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

26.THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION. 27.ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE

28.THE RECEIVING WATER FOR THE PROJECT IS AN UNNAMED TRIBUTARY OF BIG CREEK. THE PROJECT <u>IS NOT</u> WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND <u>DOES NOT</u> DISCHARGE DIRECTLY INTO AN IMPAIRED STREAM

9.NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES 30.EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.

1.INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL

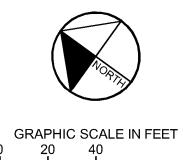
BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100003 32 NO ALTERNATE BMPs WERE USED IN THIS PROJECT

DEREK M. ZITTRAUER **Level II Certified Design Professional** 

CERTIFICATION NUMBER 0000076500 ISSUED: 03/10/2019 EXPIRES: 03/10/2022





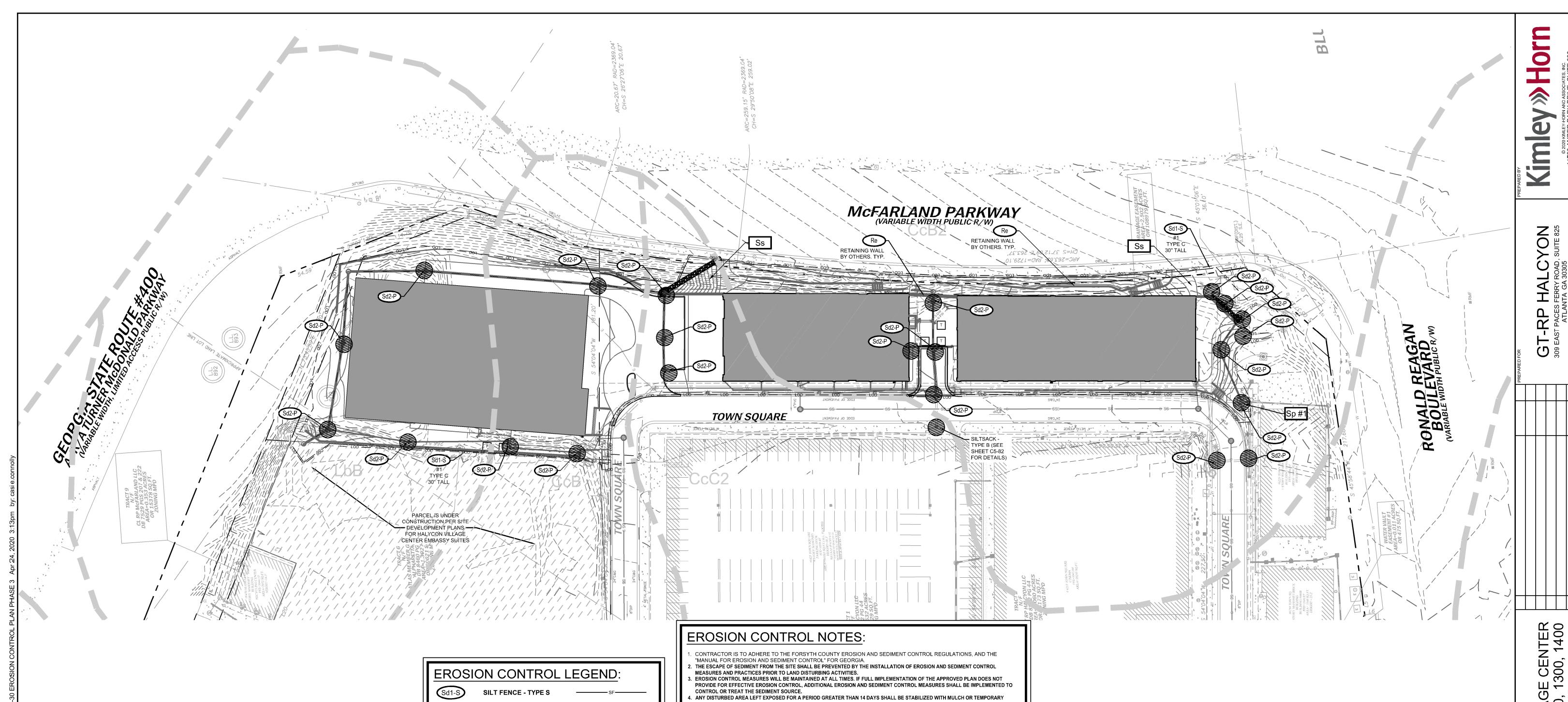


HALCYON BUILDING

GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY 04/24/2020

PROJECT NO. 01362300′ **EROSION** CONTROL PLAN

PHASE 2 HEET NUMBER C5-20



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165.

#### **SAMPLING NOTES:**

- . OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINT.
- 2. CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 25.01 - 50 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE
- . SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
- 4. SEE SHEETS C5-01 C5-03 FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

- **EROSION CONTROL PH. 3 SEQUENCING:**
- . POUR FOUNDATIONS AND INSTALL FINAL SLOPE STABILIZATION.
- . INSTALL ASPHALT AND CONCRETE DRIVE AISLES AND ROADWAYS. INSTALL STORM INLET PROTECTION MEASURES.
- . REMOVE ALL TEMPORARY BMP'S

SITE AREA SUMMARY: TOTAL SITE AREA = 12.69 ACRES TOTAL DISTURBED AREA = 2.33 ACRES

24-HOUR CONTACT: NAME: PATRICK LEONARD COMPANY: ROCAPOINT PARTNERS NUMBER: 404.855.5854

PRIMARY PERMITTEE NAME: PATRICK LEONARD COMPANY: GT-RP HALCYON

PHONE:

ADDRESS: 309 EAST PACES FERRY ROAD SUITE 825 ATLANTA, GA 30305 404.855.5854 patrick.leonard@rocapoint.com

- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS. . SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF
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- 6. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER ANY RAINFALL EVENT. 7. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.
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- 23.SITE <u>DOES NOT</u> LIE WITHIN 200 FEET OF A JURISDICTIONAL STREAM. 24. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404

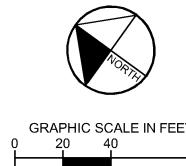
REQUIRED AND/OR DIRECTED

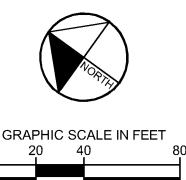
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DEREK M. ZITTRAUER Level II Certified Design Professional

CERTIFICATION NUMBER 0000076500 ISSUED: 03/10/2019 EXPIRES: 03/10/2022







(LEVEL II) 0000076500

PROJECT NO. 01362300′

**EROSION** 

CONTROL PLAN

PHASE 3

C5-30

HEET NUMBER

04/24/2020

DRAWN BY

DESIGNED BY

REVIEWED BY

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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Ss

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LOD

**CONSTRUCTION EXIT** 

**INLET SEDIMENT TRAP:** 

**INLET SEDIMENT TRAP:** 

**INLET SEDIMENT TRAP:** 

TRAP:BAFFLE BOX

STORM DRAIN OUTLET

**EXCAVATED INLET SEDIMENT** 

FILTER FABRIC

SILT SAVER

PROTECTION

DIVERSION

**CHECK DAM** 

**RETAINING WALL** 

DISTURBED AREA

DUST CONTROL

SAMPLING POINT

STABILIZATION (MULCHING)

(PERMANENT VEGETATION)

TREE PROTECTION FENCE

LIMITS OF DISTURBANCE

SOIL TYPE DELINEATION

DRAINAGE BASIN

DELINEATION

(TEMPORARY SEEDING)

SLOPE STABILIZATION

DISTURBED AREA STABILIZATION

DISTURBED AREA STABILIZATION

**CURB INLET PROTECTION** 

Ds1

JULCHING

FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION						
TYPES OF	PLANTING	FERTILIZER	RATE	N TOP DRESSING		
SPECIES	YEAR	(N-P-K)	(LBS./ACRE)	RATE (LBS./ACRE)		
COOL SEASON	FIRST	6-12-12	1500	50-100		
	SECOND	6-12-12	1000	-		
GRASSES	MAINTENANCE		400	30		
COOL SEASON GRASSES &	FIRST	6-12-12	1500	0-50		
LEGUMES	SECOND	0-10-10	1000	-		
LEGUIVIES	MAINTENANCE	0-10-10	400	-		
GROUND	FIRST	10-10-10	1300	-		
COVERS	SECOND	10-10-10	1300	-		
COVERS	MAINTENANCE	10-10-10	1100	-		
PINE			ONE 21-GRAM PELLET PER			
SEEDLINGS	FIRST	20-10-5	SEEDLING PLACED IN THE	-		
			CLOSING HOLE			
SHRUB	FIRST	0-10-10	700	-		
LESPEDEZA	MAINTENANCE	0-10-10	700	-		
TEMPORARY GROUND COVER CROPS SEEDED ALONE		10-10-10	500	30		
WARM SEASON	FIRST	6-12-12	1500	50-100		
GRASSES	SECOND	6-12-12	800	50-100		
GINOGLO	MAINTENANCE	10-10-10	400	30 50		
WARM SEASON GRASSES &	FIRST	6-12-12	1500	50		
LEGUMES	SECOND	0-10-10	1000	-		
LLOUIVILO	MAINTENANCE	0-10-10	400	-		

Ds3

PERMANENT SEEDING

APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1-2 TONS PER ACRE

PLANTS, PLANTING RATES, AND PLANTING DATES FOR							
TEMPORARY COVER OR COMPANION CROPS							
RATES PER   RATES   PLANTING DATES BY REGION							
SPECIES	_			NO DATES DI F	VEGION		
0. 20120	1,000 SQ. FT.	PER ACRE	M-L	Р	С		
BARLEY	3.3 LBS.	3 BU.	9/1-10/31	9/15-11/15	10/1-12/31		
OATS	2.9 LBS.	4 BU.	9/15-11/15	9/15-11/15	9/15-11/15		
TRITCALE	3.3 LBS.	3 BU.	-	-	10/15-12/15		
RYEGRASS, ANNUAL	0.9 LBS.	40 LBS.	8/15-11/15	9/1-12/15	9/15-12/31		
RYE LESPEDEZA,	0.6 LBS.	0.5 BU.	8/15-10/31	9/15-11/30	10/1-12/31		
ANNUAL	0.9 LBS.	40 LBS.	3/1-3/31	3/1-3/31	2/1-2/28		
WEEPING LOVEGRASS	0.1 LBS.	4 LBS.	4/1-5/31	4/1-5/31	3/1-5/31		
SUDANGRASS	1.4 LBS.	60 LBS.	4/1-8/31	4/1-8/31	3/1-7/31		
MILLET, BROWNTOP	0.9 LBS.	40 LBS.	4/15-6/15	4/15-6/30	4/15-6/30		
MILLET, PEARL	1.1 LBS.	50 LBS.	5/15-7/15	5/1-7/31	4/15-8/15		
WHEAT	4.1 LBS.	3 BU.	9/15-11/30	10/1-12/15	10/15-12/31		

1. TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL CROWN OUT PERENNIALS PLANTED TOO HEAVILY.

2. REDUCE SEEDING RATES BY 50% WHEN DRILLED.

3. UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.

4. SEEDING RATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS.

M-L REPRESENTS THE MOUNTAIN, BLUE RIDGE, AND RIDGES & VALLEYS MLRAS.

P REPRESENTS THE SOUTHERN PIEDMONT REGION MLRA.

C REPRESENTS THE SOUTHERN COASTAL PLAIN, SAND HILLS, BLACK LANDS, AND ATLANTIC COAST FLATWOODS MLRAS.

_								
	FERTILIZER REQUIREMENTS FOR TEMPORARY VEGETATION							
	TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	N TOP DRESSING RATE (LBS./ACRE)			
	COOL SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 100 400	50-100 - 30			
	COOL SEASON GRASSES & LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 0-10-10 0-10-10	1500 1000 400	0-50 - -			
	TEMPORARY COVER CROPS	FIRST	10-10-10	500	30			
	SEEDED ALONE WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 50-100 30			

Ds2

TEMPORARY SEEDING

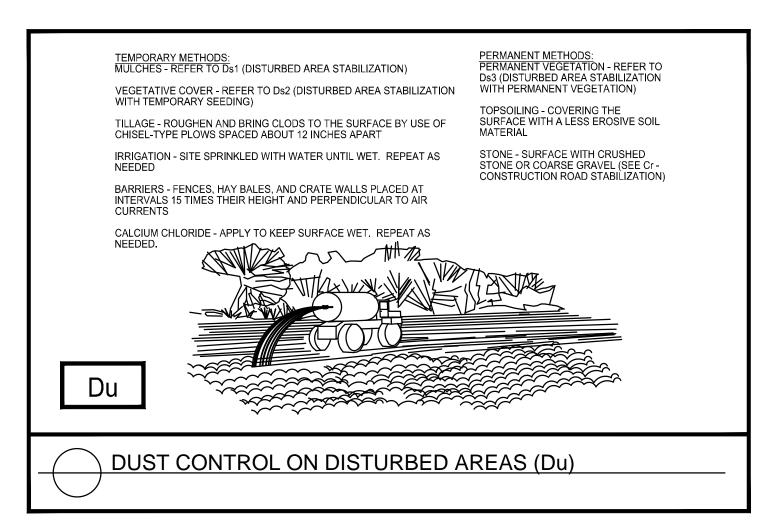
PLANTS	, PLANT	ING RAT	TES, AND P	LANTING	DATES FOI	R PERMANENT COVER
TYPES OF	RATES	RATES PER	PLANTI	NG DATES BY I	REGION	REMARKS
SPECIES	PER ACRE	1,000 SF	M-L	Р	С	REMARKS
BAHIA, PENSACOLA  ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	60 LBS. 30 LBS.	1.4 LBS. 0.7 LBS.	-	4/1-5/31	3/1-5/31	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
BAHIA, WILMINGTON  ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	60 LBS. 30 LBS.	1.4 LBS. 0.7 LBS.	3/15-5/31	3/1-5/31	-	LOW GROWING AND SOD FORMING. ALLOW TO ESTABLISH. WILL SPREAD INTO BERMUDA LAWNS.
BERMUDA, COMMON (HULLED SEED)  ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	10 LBS. 6 LBS.	0.2 LBS. 0.1 LBS.	-	4/1-5/31	3/15-5/31	QUICK COVER, LOW GROWING AND SOD FORMING. NEEDS FULL SUN
BERMUDA, COMMON (UNHULLED SEED)  ALONE OR WITH TEMPORARY COVER WITH PERENNIALS	10 LBS. 6 LBS.	0.2 LBS. 0.1 LBS.	-	10/1-2/28	11/1-1/31	PLANT WITH WINTER ANNUALS PLANT WITH TALL FESCUE
BERMUDA SPRIGS TEMPORARY COVER	40 CF SOD PLU	0.9 CF GS 3' X 3'	4/15-6/15	4/1-6/15	4/1-5/31	1 CF = 650 SPRIGS 1 BU. = 1.25 CF OR 800 SPRIGS.
CENTIPEDE	BLOCI		-	11/1-5/31	11/1-5/31	DROUGHT TOLERANT; FULL SUN OR PARTIAL SHADE; EFFECTIVE ADJACENT TO CONCRETE AND IN CONCENTRATED FLOW AREAS; IRRIGATION NEEDED UNTIL FULLY ESTABLISHED; DO NOT PLANT NEAR PASTURES
CROWN VETCH WITH WINTER ANNUALS OR COOL WINTER GRASSES	15 LBS.	0.3 LBS	9/1-10/15	9/1-10/10	-	MIX WITH 30 LBS. TALL FESCUE OF 15 LBS. RYE; INNOCULATE SEED; ONLY NORTH OF ATLANTA, DENSE GROWTH; DROUGHT TOLERANT AND FIRE RESISTENT
FESCUE, TALL ALONE WITH OTHER PERENNIALS	50 LBS. 30 LBS.	1.1 LBS 0.7 LBS	3/1-4/1 - OR - 8/15-10/15	9/1-10/15 - OR - 2/15-4/15	-	NOT FOR DROUGHTY SOILS. MIX WITH PERENNIAL LESPEDEZAS OR CROWNVETCH. APPLY TOPDRESSING IN SPRING FOLLOWING FALL PLANTINGS. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS. 227,000 SEED PER POUND.
LESPEDEZA, SERICEA	60 LBS.	1.4 LBS	4/1-5/31	3/15-5/31	3/1-5/15	WIDELY ADAPTED AND LOW MAINTENANCE. TAKES 2-3 YEARS TO ESTABLISH. EXCELLENT ON ROADBANKS. INOCULATE SEED WITH EL INOCULANT. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, HAHIA, OR TALL FESCUE.
SCARIFIED UNSCARIFIED SEED-BEARING HAY	75 LBS.	1.7 LBS	9/1-2/28	9/1-2/28	9/1-2/28	MIX WITH TALL FESCUE OR WINTER ANNUALS
	3 TONS	138 LBS.	10/1-2/28	10/1-1/31	9/15-1/15	CUT WHEN SEED IS MATURE, BUT BEFORE IT SHATTERS. ADD TALL FESCUE OR WINTER ANNUALS.
LESPEDEZA, AMBRO VIRGETA OR APPALOW  SCARIFIED UNSCARIFIED	60 LBS. 75 LBS.	1.4 LBS 1.7 LBS	4/1-5/31 9/1-2/28	3/15-5/31 9/1-2/28	3/15-5/15 9/1-2/28	SPREADING GROWTH WITH HEIGHT OF 18"-24". GOOD IN URBAN AREAS. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, TALL FESCUE, OR WINTER ANNUALS. DO NOT MIX WITH SERICEA LESPEDEZA. SLOW TO DEVELOP SOLID STANDS. INOCULATE SEED WITH EL INOCULANT.
LESPEDEZA, SHRUB LESPEDEZA BICOLOR OR LESPEDEZA THUMBERGIL) PLANTS	3' X 3' S	PACING	10/1-3/31	11/1-3/15	11/15-2/28	PLANT IN SMALL CLUMPS FOR WILDLIFE FOOD AND COVER.
LOVEGRASS, WEEPING ALONE WITH OTHER PERENNIALS	4 LBS. 2 LBS.	0.1 LBS 0.05 LBS	4/1-5/31	3/15-5/31	3/1-5/31	QUICK COVER. DROUGHT TOLERANT. GROWS WELL WITH SERICEA LESPEDEZA ON ROADBANKS.
MAIDENCANE SPRIGS	2' X 3' S	PACING	2/1-3/31	2/1-3/31	2/1-3/31	FOR VERY WET SITES SUCH AS RIVERBANKS AND SHORELINES. DIG SPRIGS LOCALLY. MAY CLOG CHANNELS.
PANICGRASS, ATLANTIC COASTAL	20 LBS.	0.5 LBS	-	3/1-4/30	3/1-4/30	GROWS WELL ON COASTAL SAND DUNES, BORROW AREAS, AND GRAVEL PITS. PROVIDES WINTER COVER FOR WILDLIFE. MIX WITH SERICEA LESPEDEZA EXCEPT ON SAND DUNES.
REED CANARY GRASS  ALONE WITH OTHER PERENNIALS	50 LBS. 30 LBS.	1.1 LBS 0.7 LBS	6/15-10/15	9/1-10/15	-	GROWS SIMILAR TO TALL FESCUE

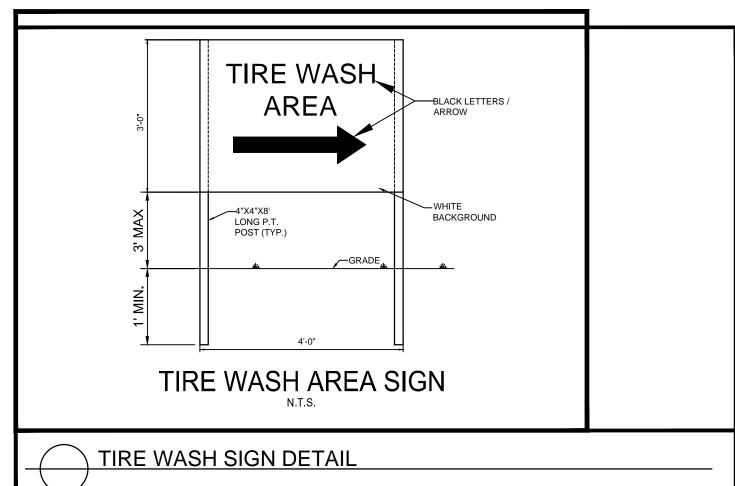
Ds3

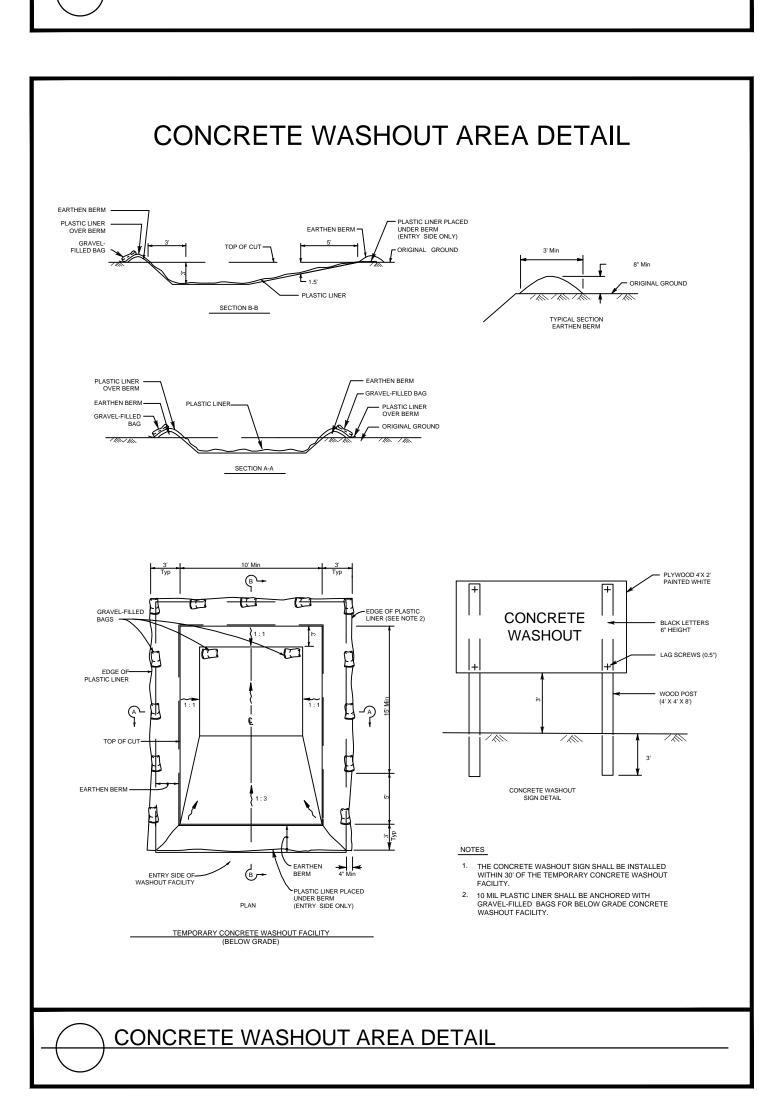
PERMANENT GRASSING

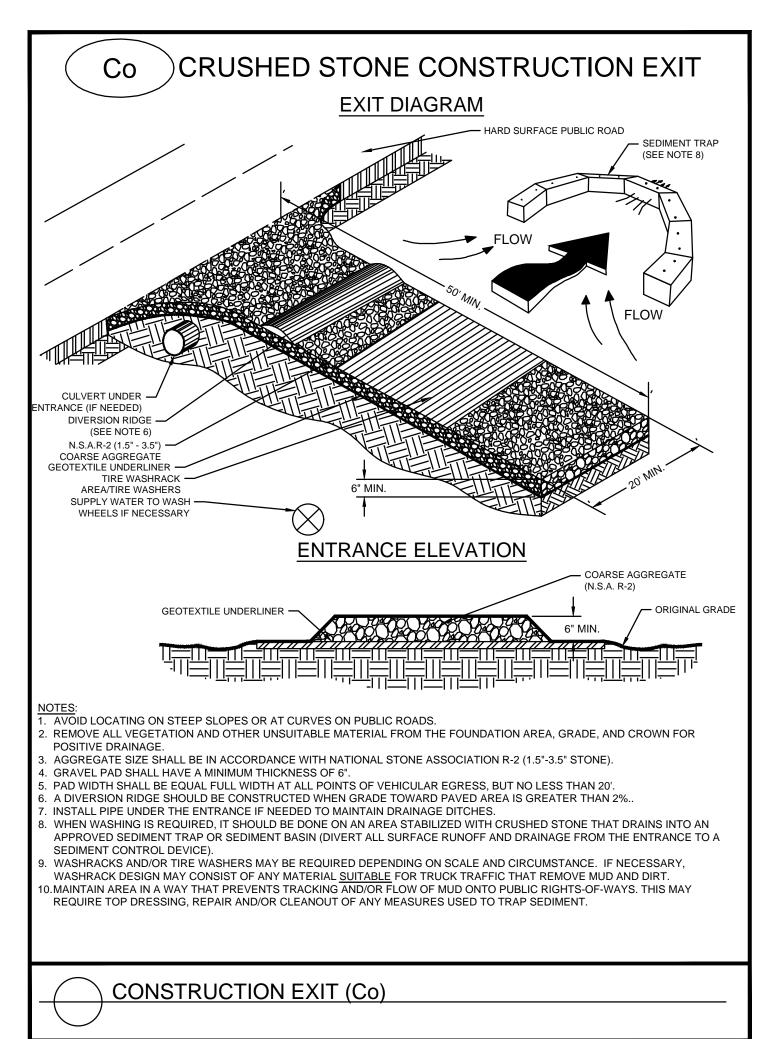
OISTURBED AREA STABILIZATION

SUNFLOWER, 'AZTEC' MAXIMILLIAN











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GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

REVIEWED BY DMZ

DATE 04/24/2020

EROSION CONTROL DETAILS

PROJECT NO. 01362300′

C5-80

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

10 LBS. | 0.2 LBS | 4/15-5/31 | 4/15-5/31 | 4/1-5/31 | MIX WITH WEEPING LOVEGRASS, LEGUMES, OR OTHER LOW GROWING GRASSES.

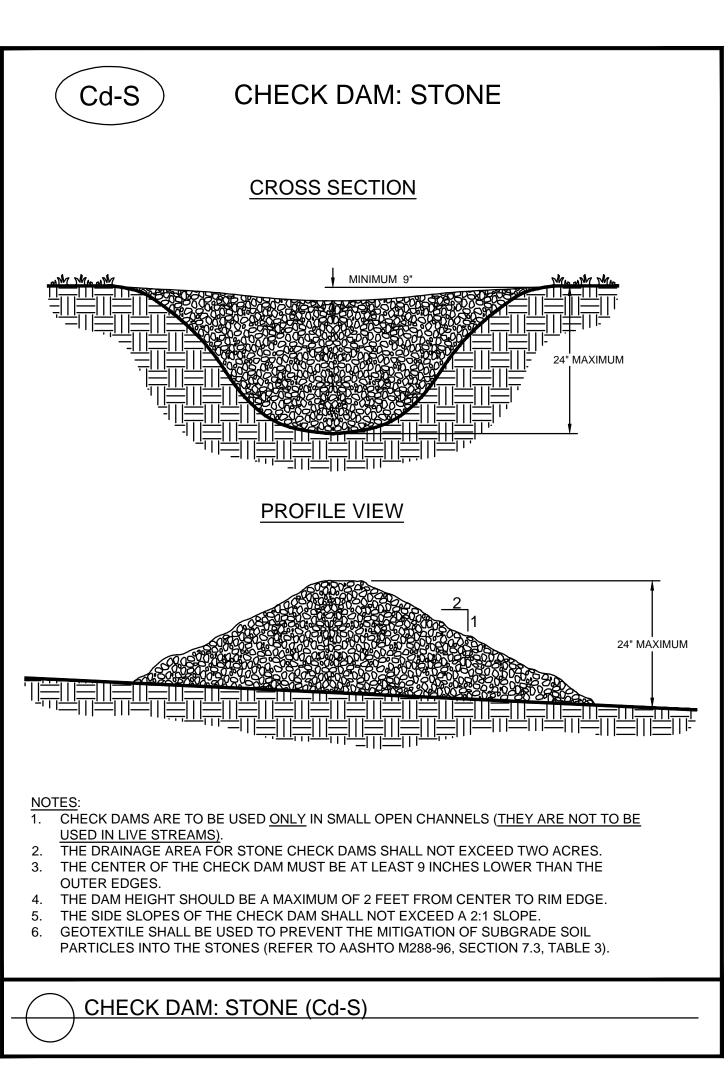
JINDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.

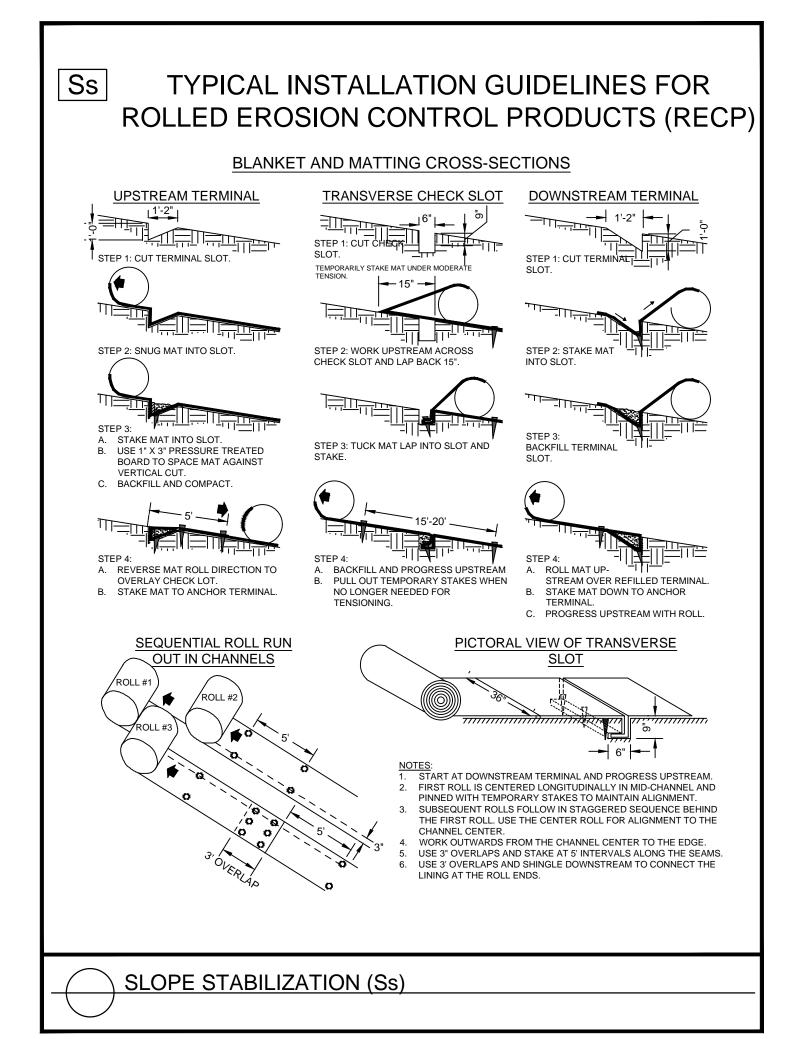
IG IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN DIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A VITROL DEVICE).

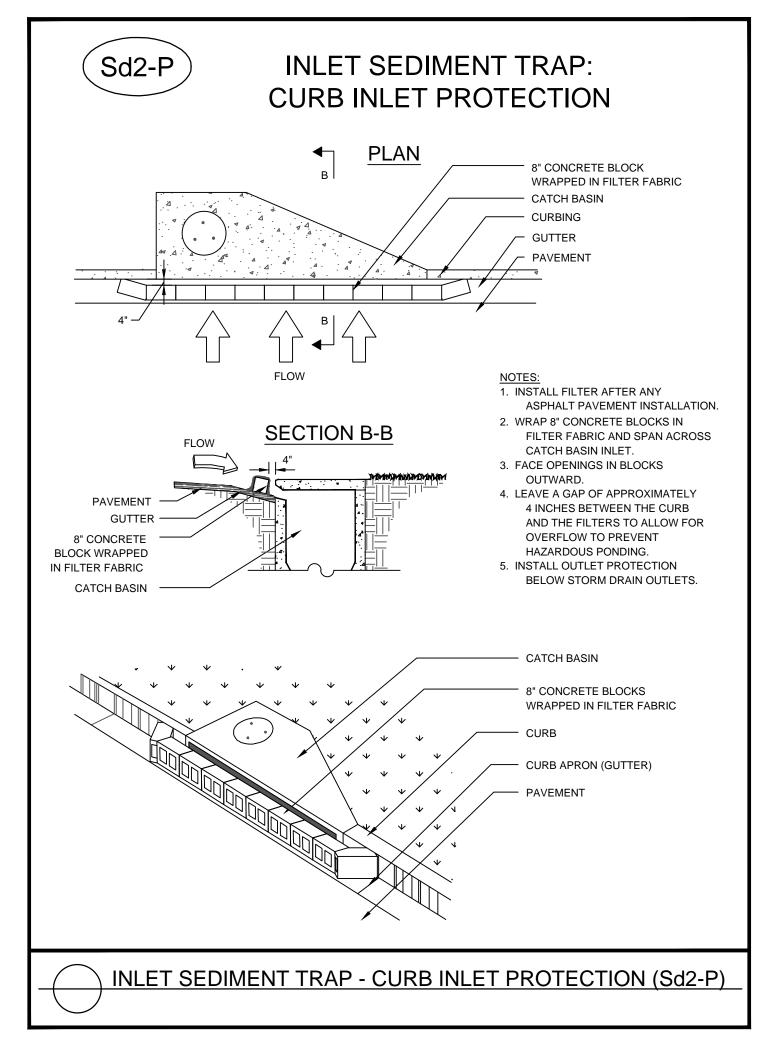
INDIOR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, SIGN MAY CONSIST OF ANY MATERIAL <u>SUITABLE</u> FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.

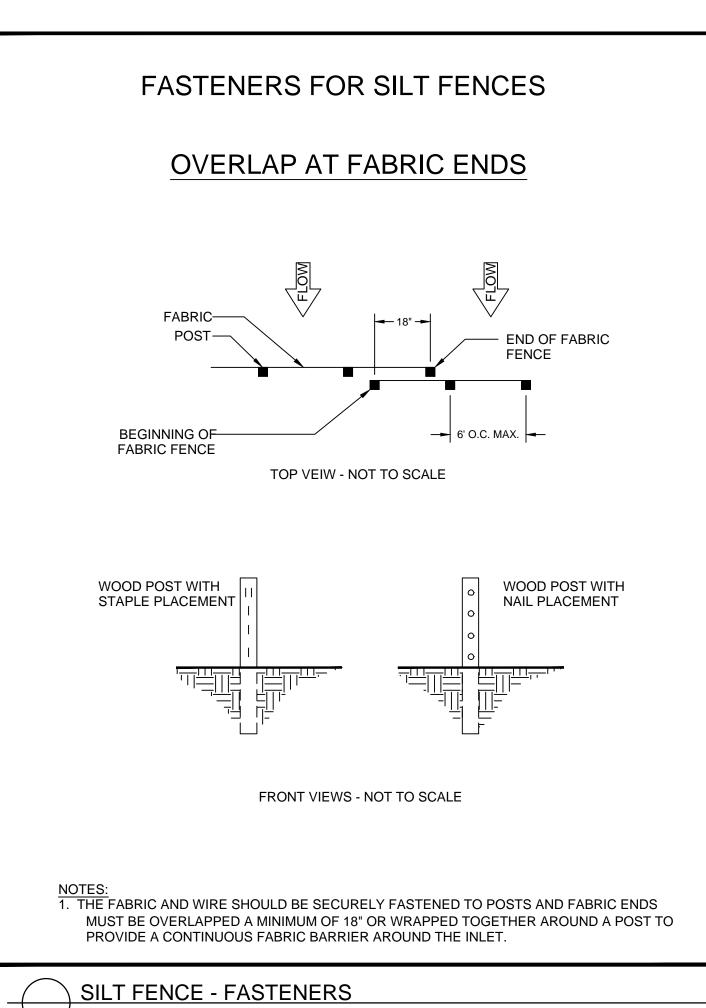
A IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

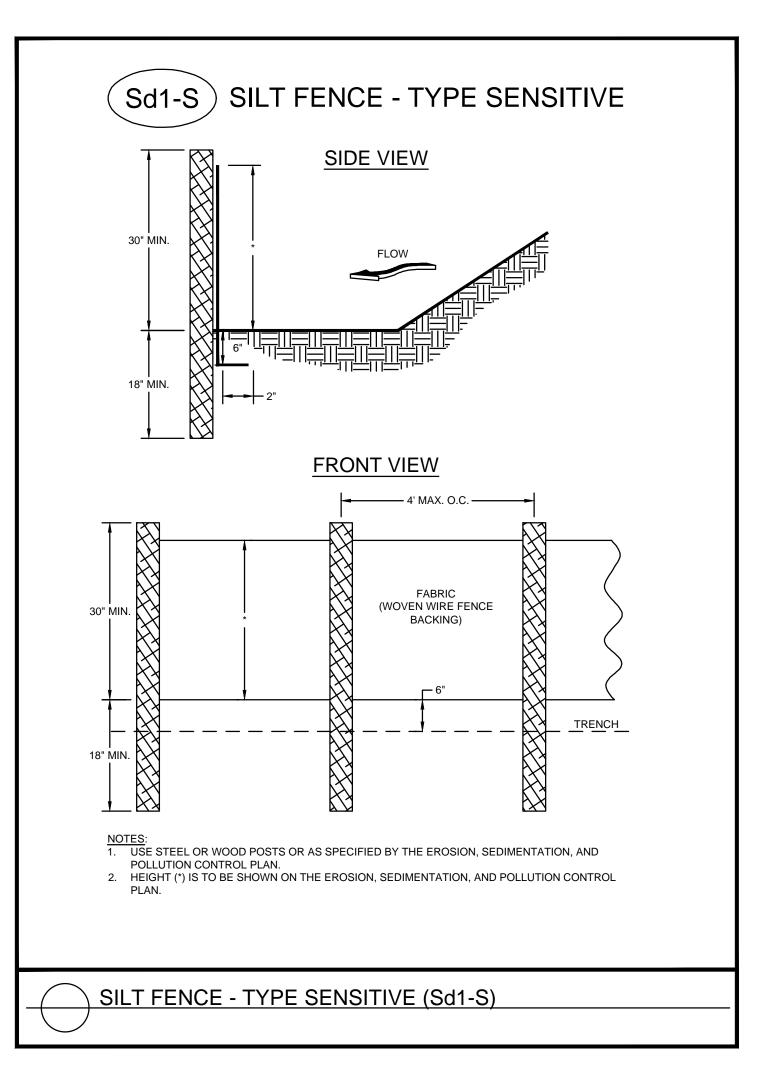
ONSTRUCTION EXIT (Co)

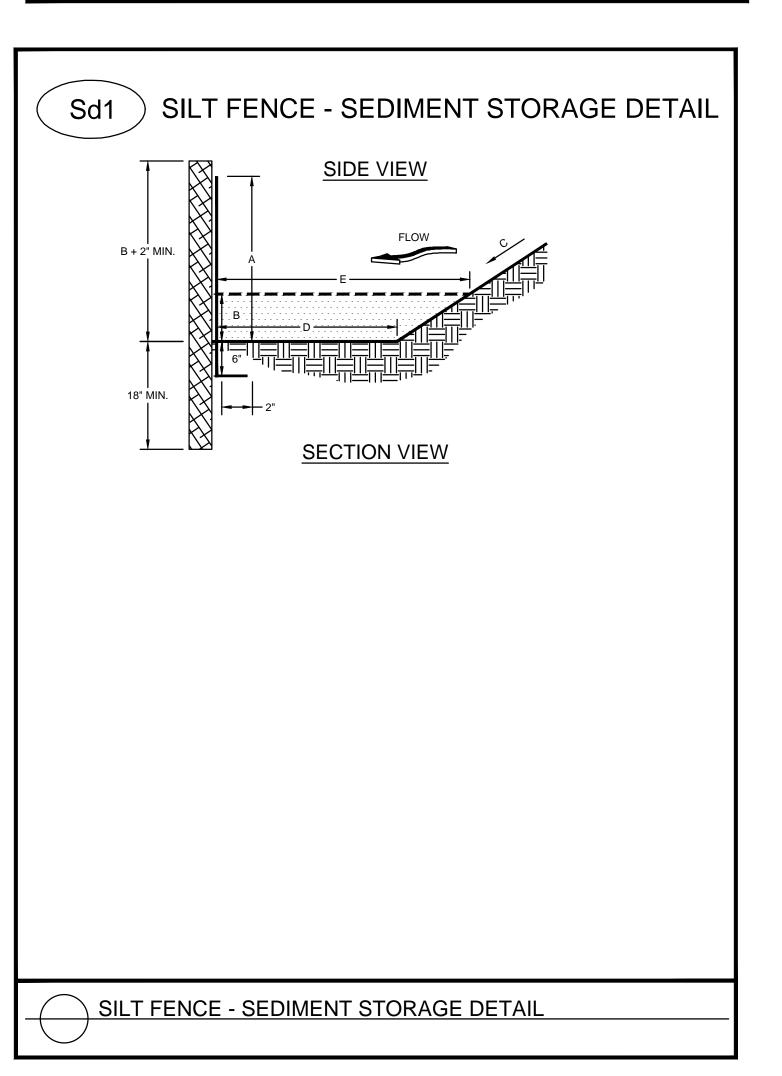


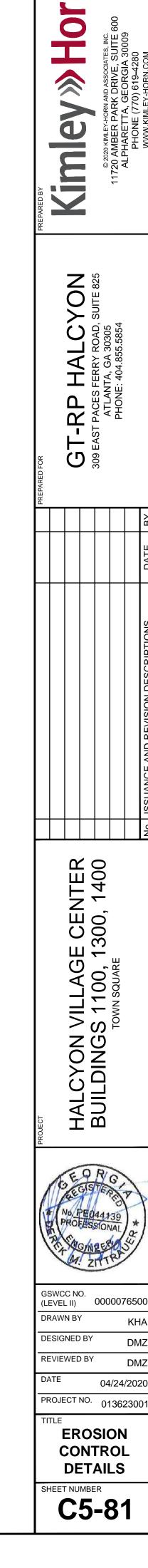


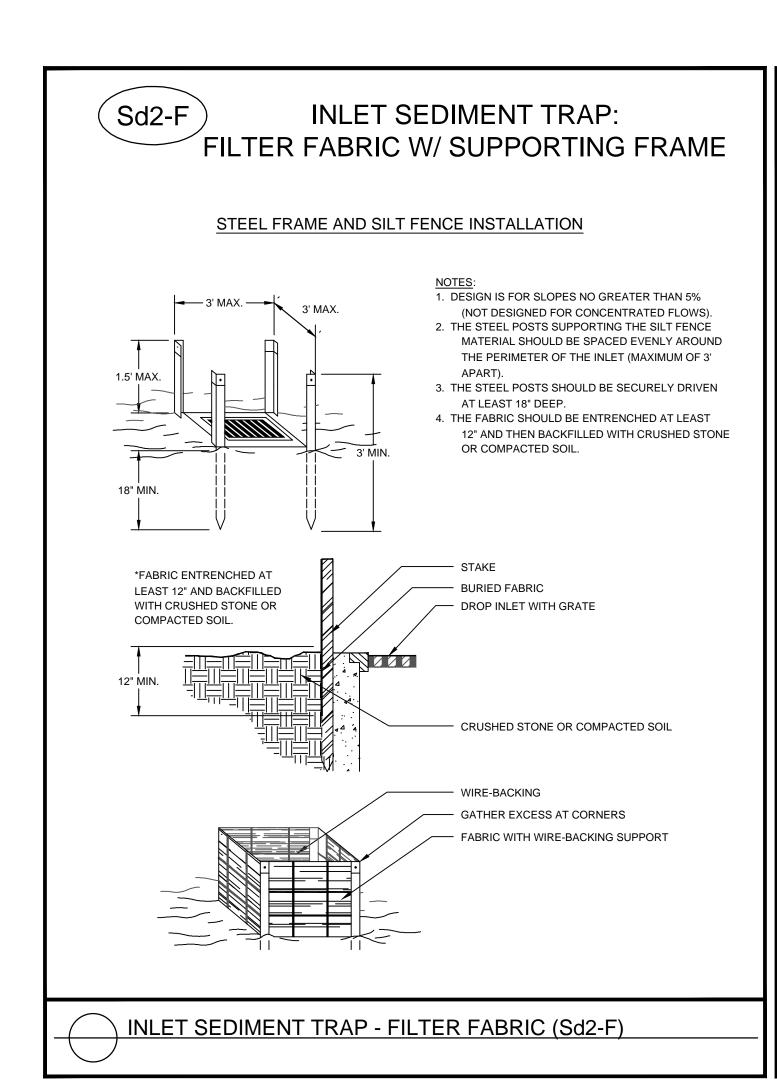


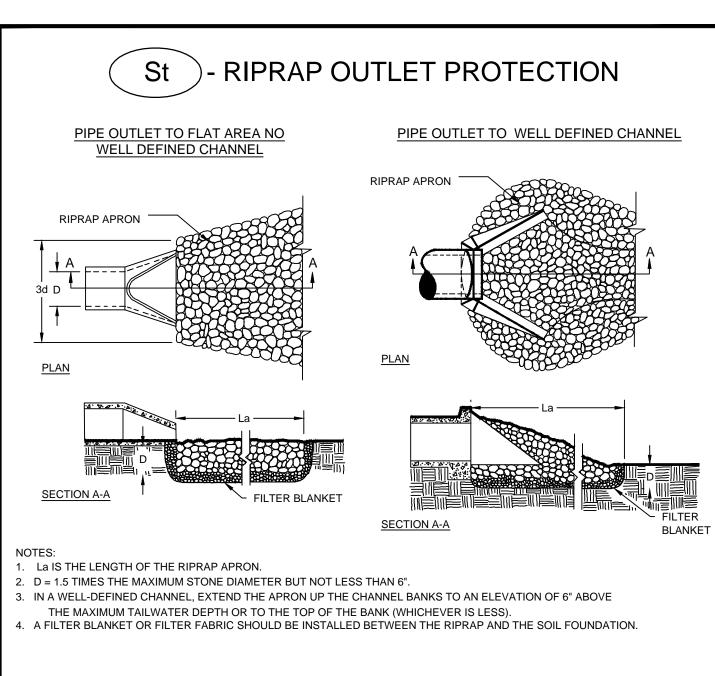


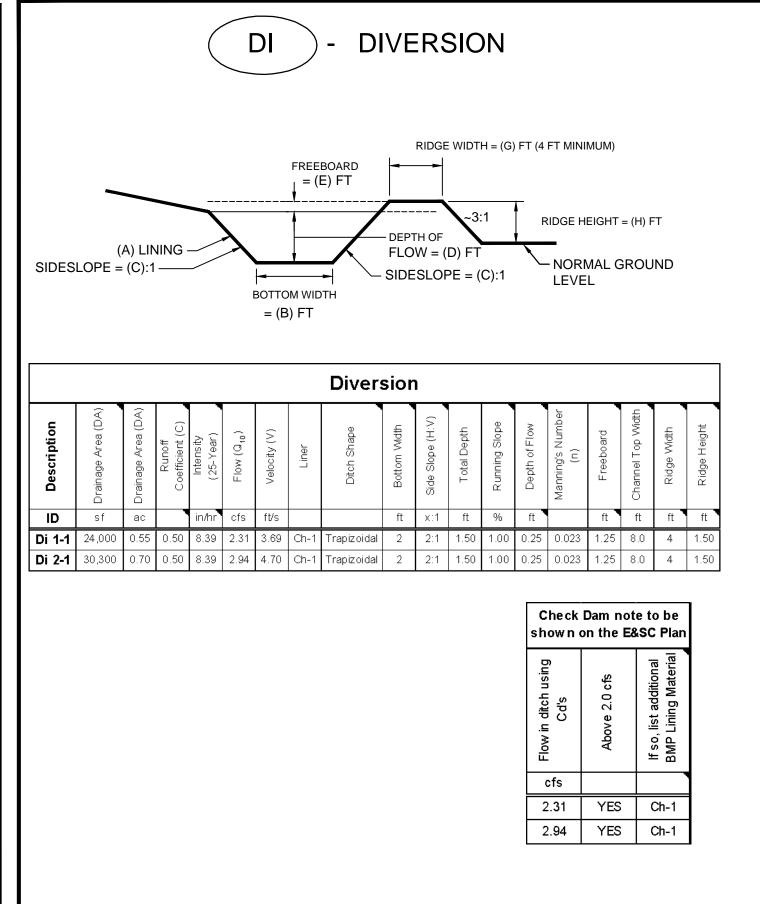


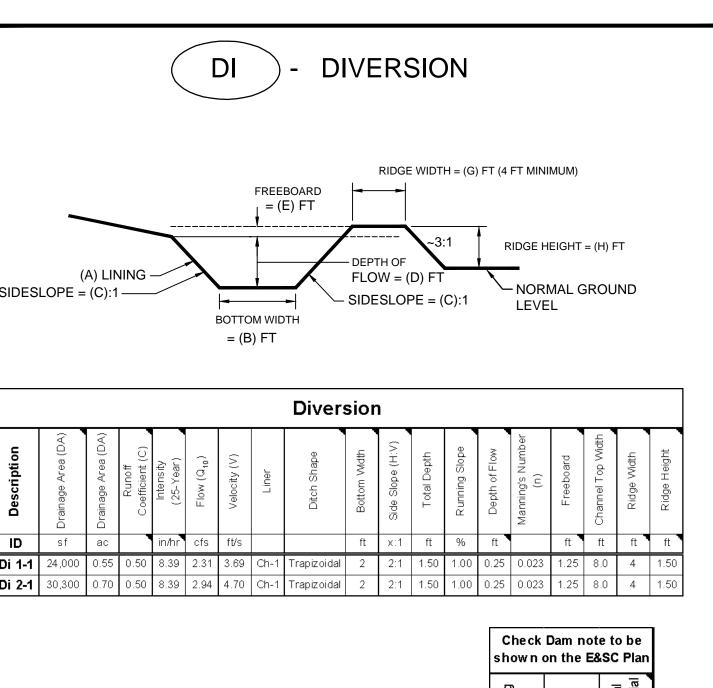


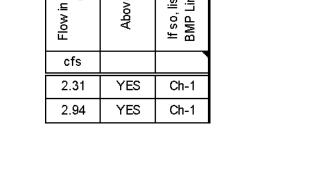












RETAINING WALL (Re)

DEFINITION

CONDITIONS

**DESIGN CRITERIA** 

AND APPEARANCE.

DESIGN PROFESSIONAL.

**GABIONS** 

STEEL PILING

STONE DRYWALL

ROCK RIPRAP, ETC.

TREATED TIMBERS

CONCRETE MASONRY

CONCRETE CRIBBING

**GENERAL** 

DRYWALL, ROCK RIPRAP, ETC.

TO PROVIDE LOADING SPACE.

ATTAINABLE WITHOUT THE USE OF THE WALL.

CONSTRUCTION OF THE WALL. SOME METHODS ARE:

GEOTEXTILE WRAPPED-FACE WALL

9. GEOTEXTILE REINFORCED STEEP SLOPES

A WALL CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING: CONCRETE MASONRY, REINFORCED CONCRETE CRIBBING, TREATED TIMBERS, STEEL PILINGS, GABIONS, STONE

TO ASSIST IN THE STABILIZATION OF CUT OR FILL SLOPES WHERE STABLE SLOPES ARE NOT

USE IN CONJUNCTION WITH CUT OR FILL SLOPES THAT, BECAUSE OF SPACE LIMITATIONS OR

UNSTABLE MATERIAL, DO NOT ALLOW THE STABLE SLOPE CRITERIA LISTED ABOVE, E.G. CUTS

INTO STEEP HILLSIDES ON SMALL LOTS OR CUTS INTO HILLSIDES BEHIND SHOPPING CENTERS

THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE

DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS AND FOOTING DIMENSIONS.

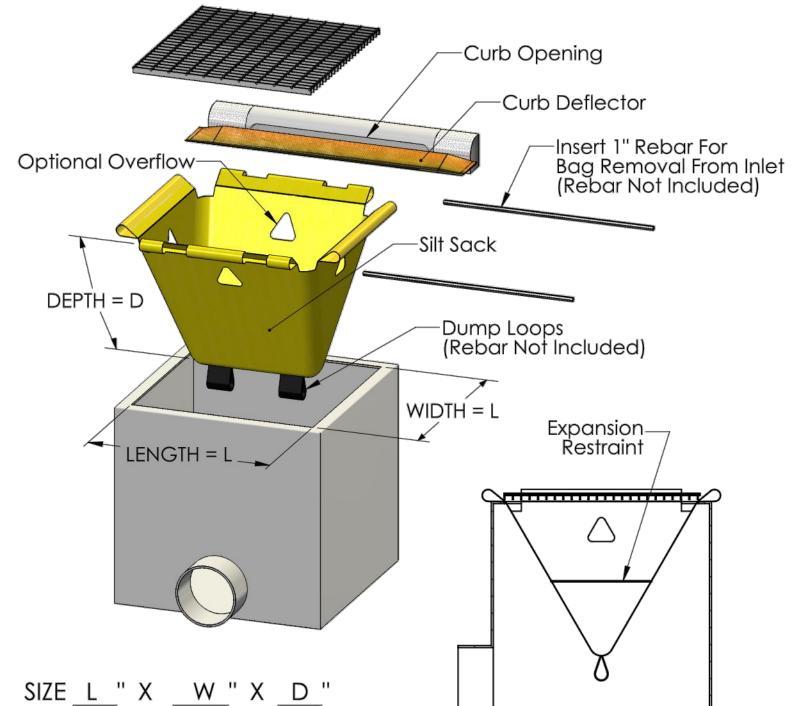
ADDITIONAL DESIGN FACTORS ARE SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE

CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO

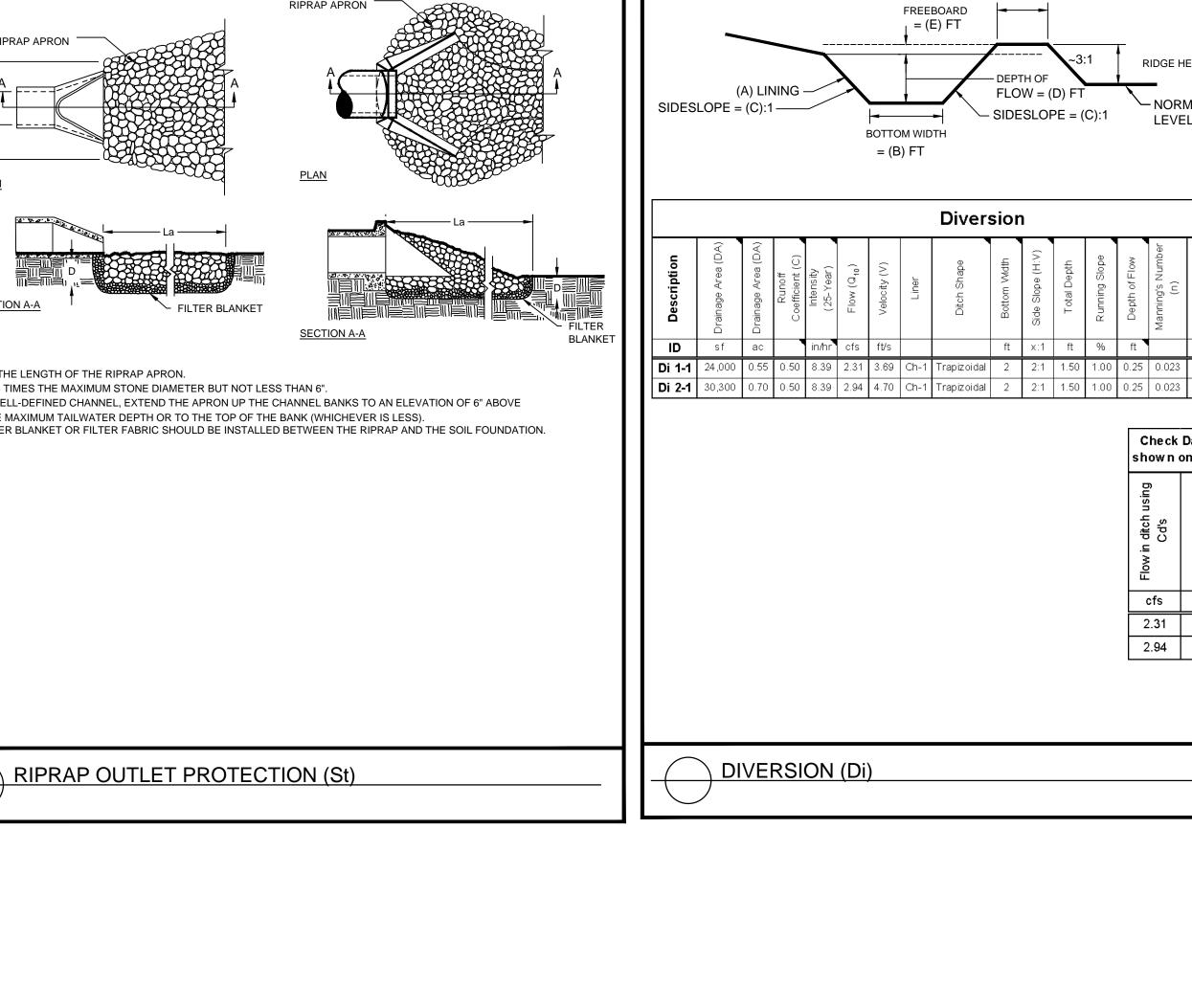
TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT AND MINIMUM THICKNESS. OTHER CONSIDERATIONS ARE: FOUNDATION

EACH SITUATION REQUIRES A SPECIFIC DESIGN THAT IS WITHIN THE CAPABILITIES OF THE

Silt Sack - Type B







HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400

0



(LEVEL II) 0000076500 DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 01362300′

> **EROSION** CONTROL **DETAILS**

C5-82

SHEET NUMBER

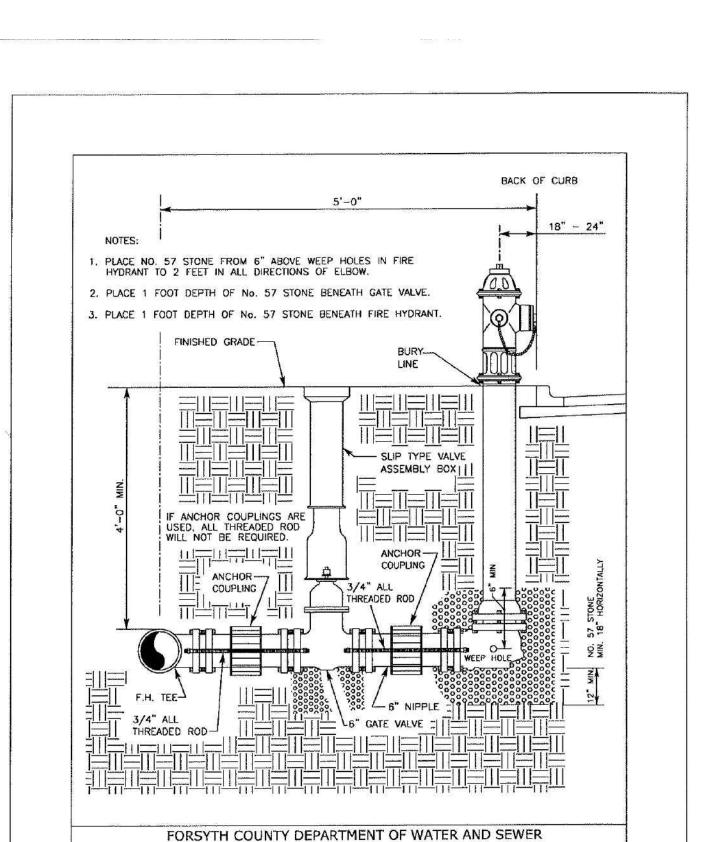
VILLAGE CENT SS 1100, 1300, 12

GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 013623001

CONSTRUCTION **DETAILS** 

SHEET NUMBER **C6-00** 



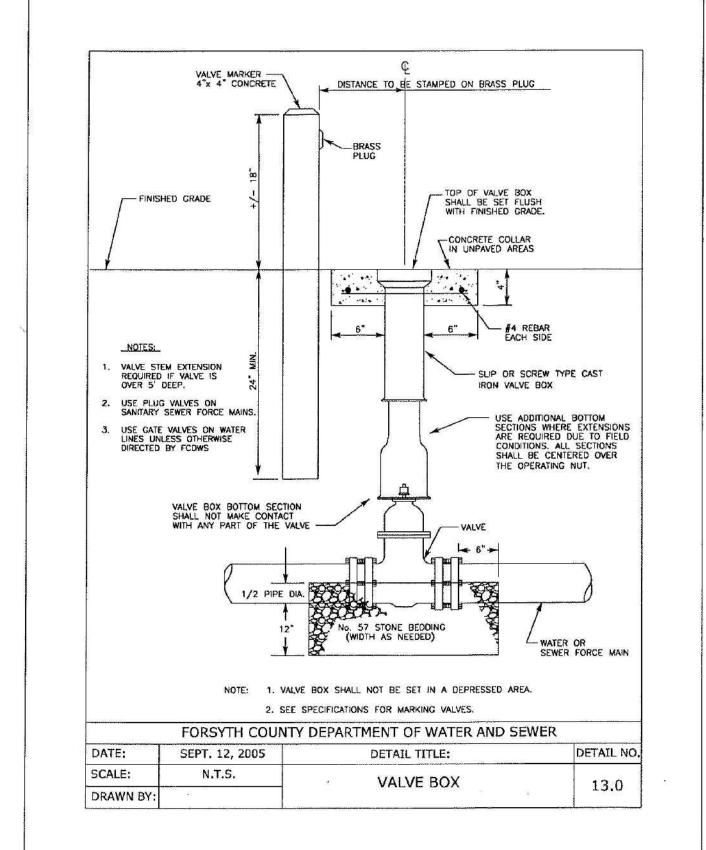
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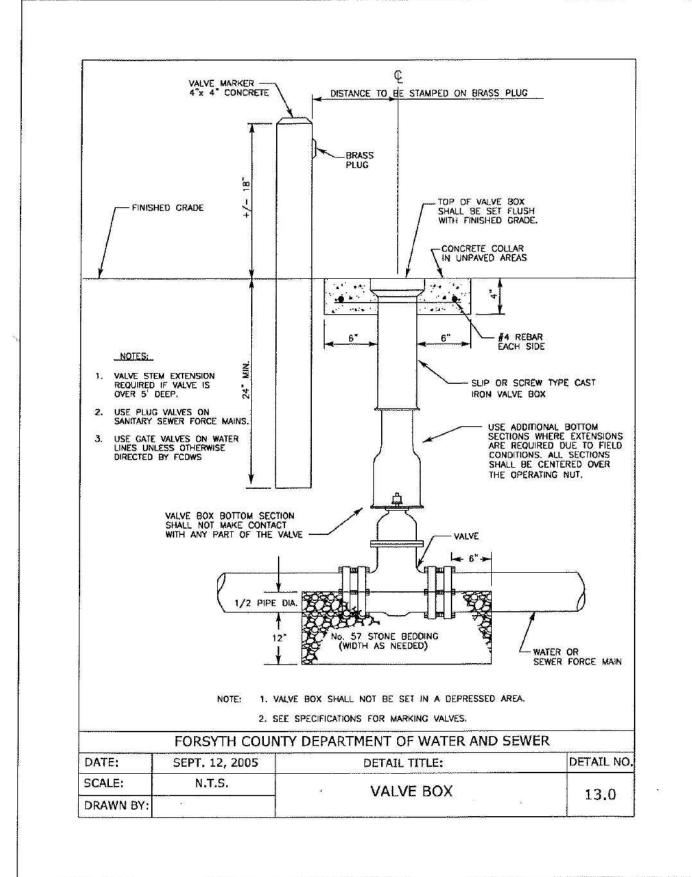
FIRE HYDRANT

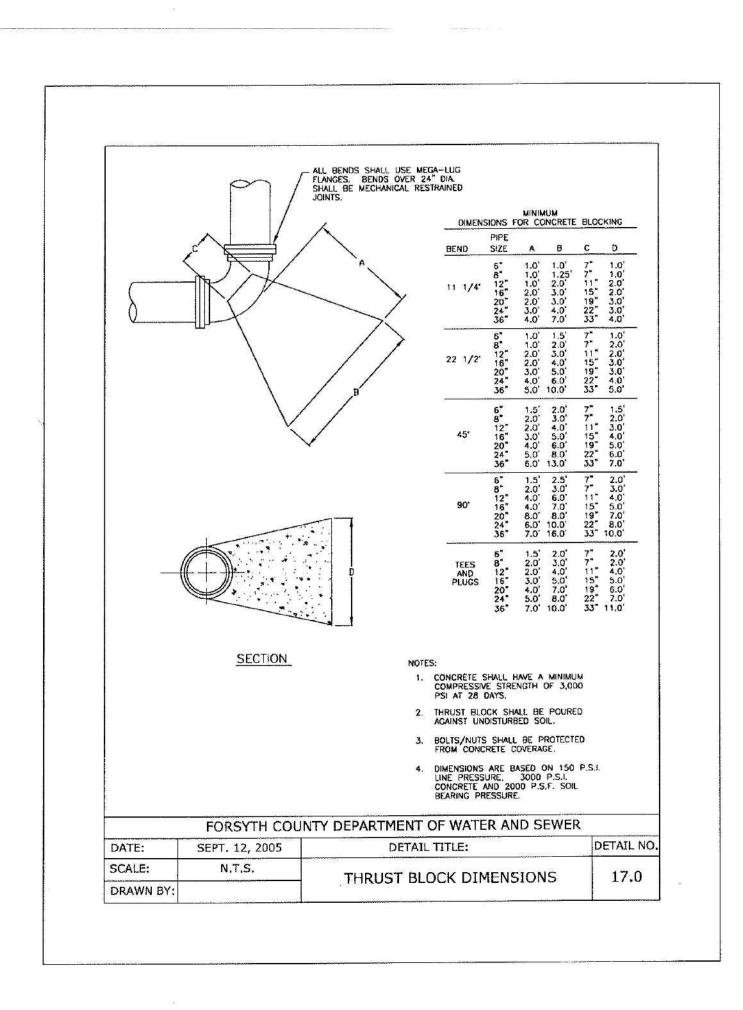
( CURBED STREET )

DETAIL No

10.0







RIGHT OF WAY

DETAIL No.

9.0

SLIP TYPE VALVE ASSEMBLY BOX!

THREADED ROD /

FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER

DETAIL TITLE:

FIRE HYDRANT

( UNCURBED STREET )

 PLACE NO. 57 STONE FROM 6" ABOVE WEEP HOLES IN FIRE HYDRANT TO 2 FEET IN ALL DIRECTIONS OF ELBOW. 2. PLACE 1 FOOT DEPTH OF No. 57 STONE BENEATH GATE VALVE.

FINISHED GRADE ----

F ANCHOR COUPLINGS ARE

ANCHOR-

COUPLING /

THREADED ROD -

SEPT. 12, 2005

N.T.S.

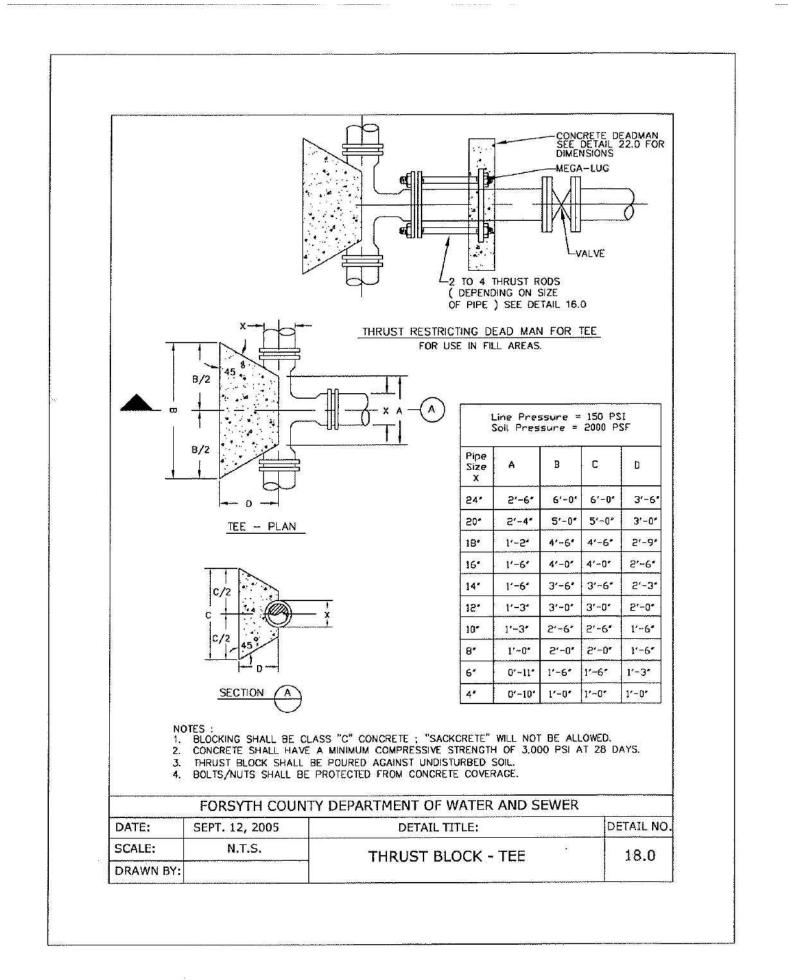
SCALE:

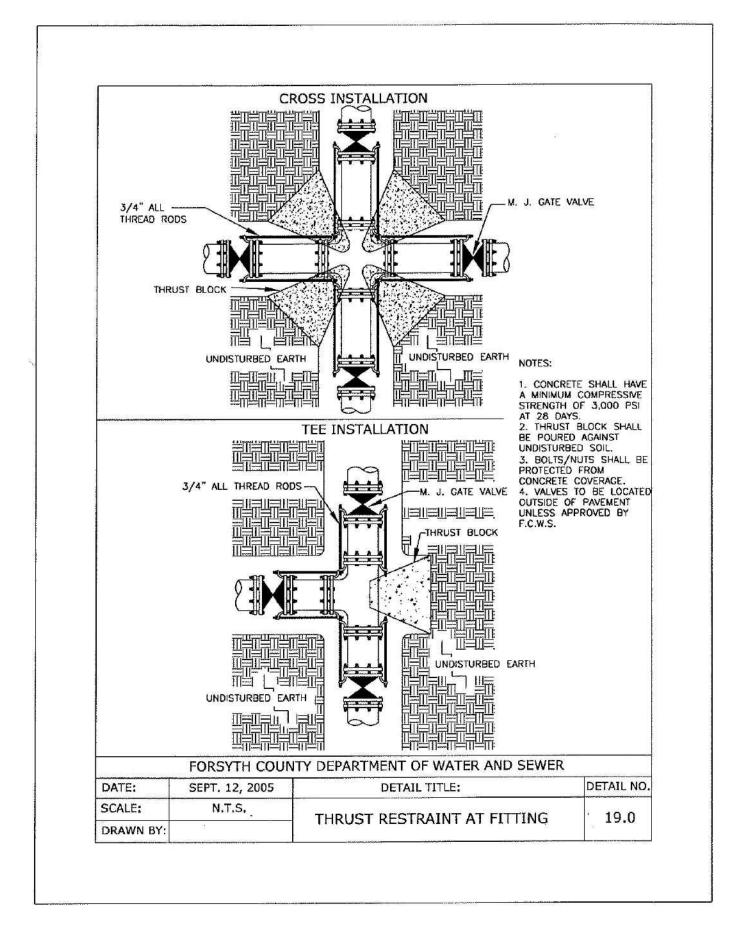
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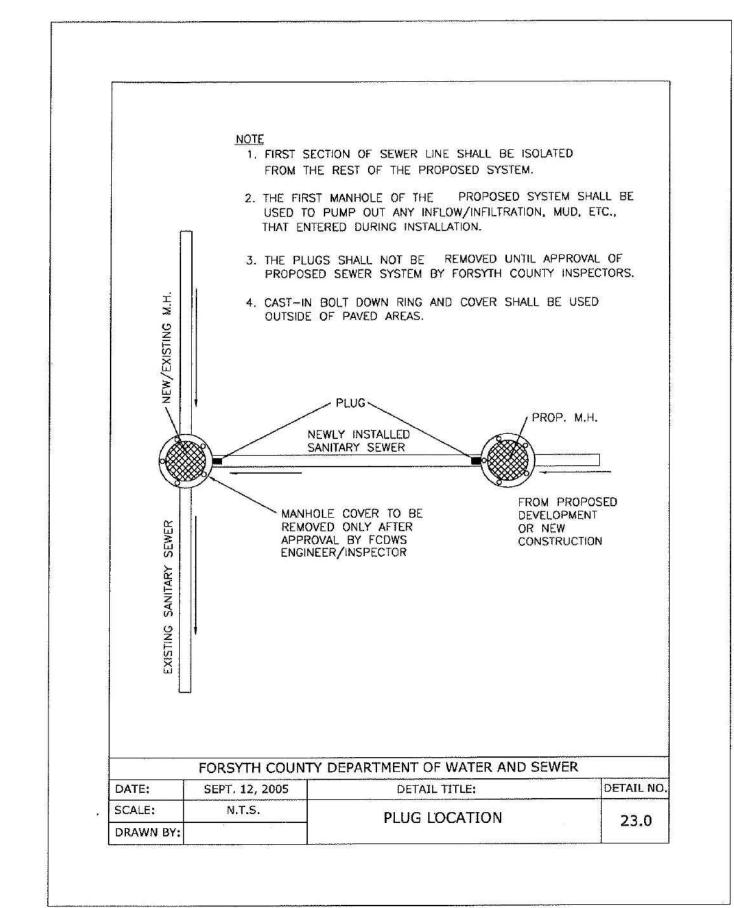
THREADED ROD

USED, ALL THREADED ROWLL NOT BE REQUIRED.

3. PLACE 1 FOOT DEPTH OF No. 57 STONE BENEATH FIRE HYDRANT.







BACKFILL REQUIREMENTS:
GENERAL - 85% OPTIMAL MOISTURE CONTENT
BELOW PAVED SURFACES - 98% OPTIMAL MOISTURE CONTENT

AROUND

DETAIL NO.

1. CONCRETE ENCASEMENT SHALL BE USED ON SANITARY SEWER FORCE MAIN PIPING WHERE INSTALLATION CANNOT MAINTAIN MINIMUM TEN (10) FEET SEPARATION FROM POTABLE WATER LINES.

**DETAIL TITLE:** 

CONCRETE ENCASEMENT

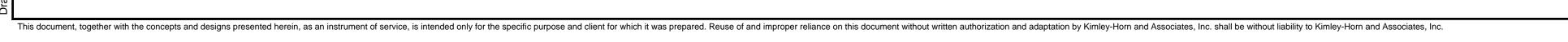
FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER

SEPT. 12, 2005

N.T.S.

SCALE:

DRAWN BY:



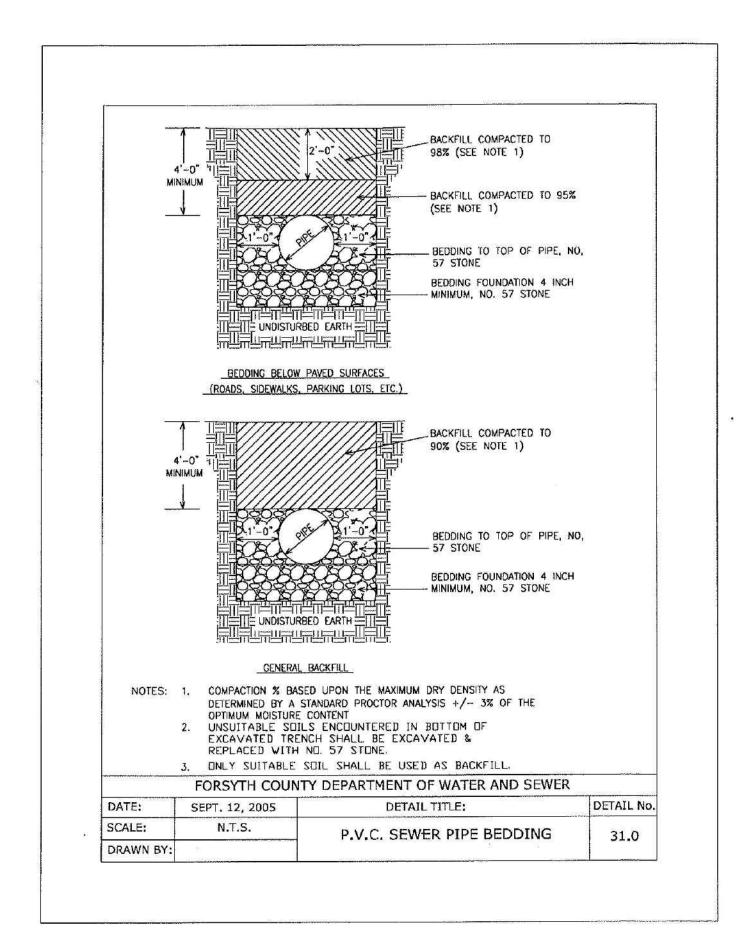
DATE:

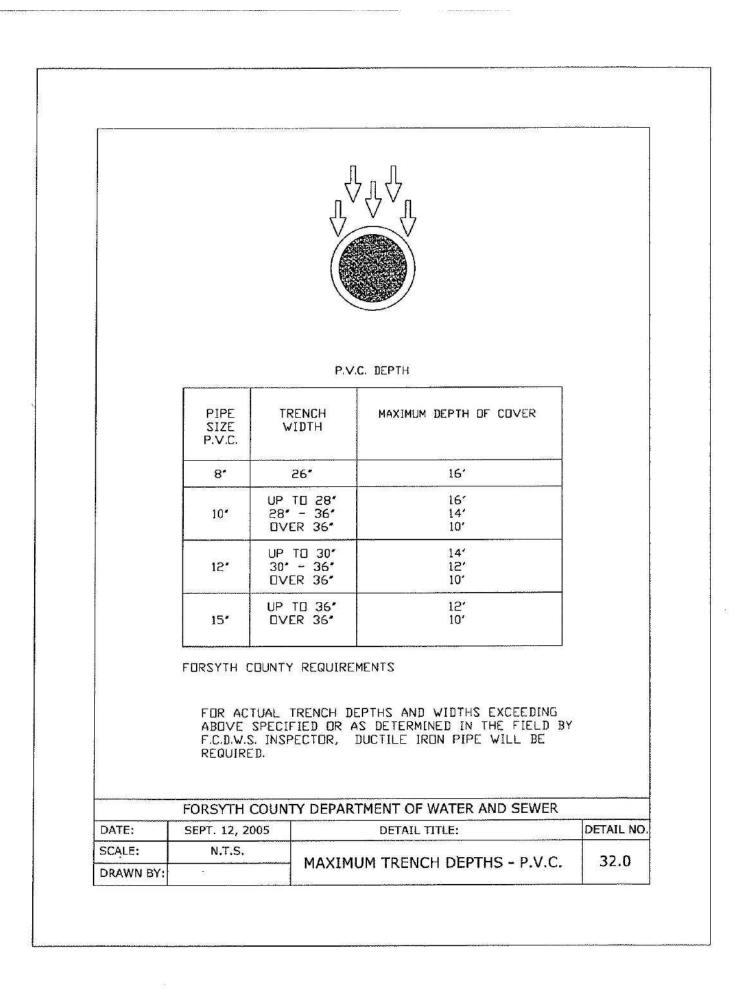
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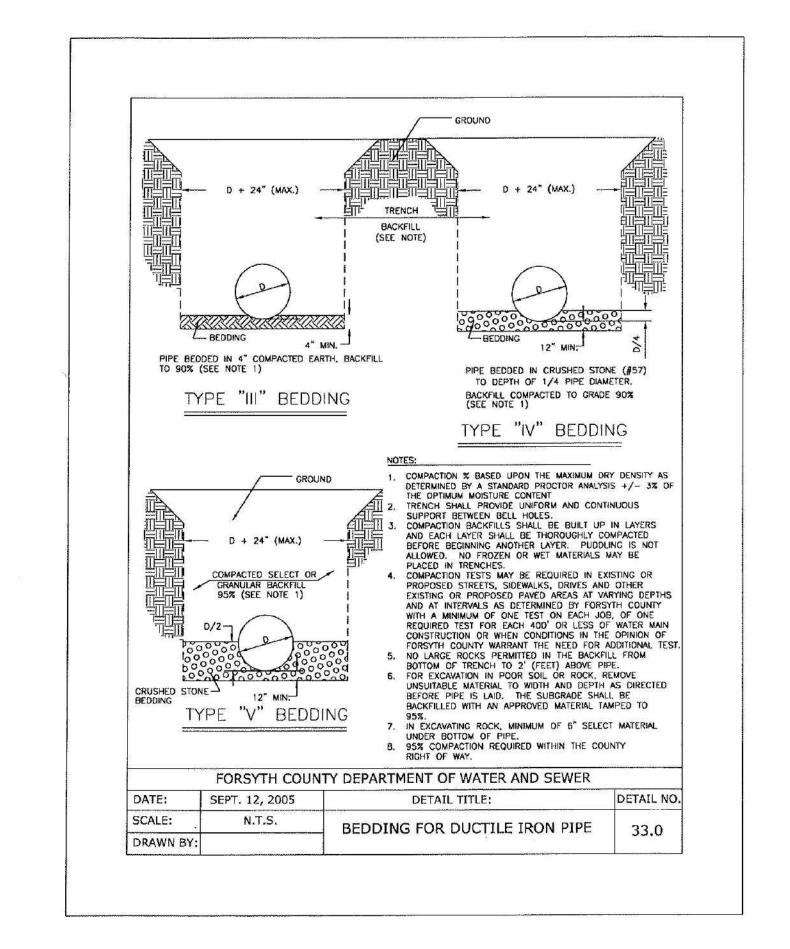
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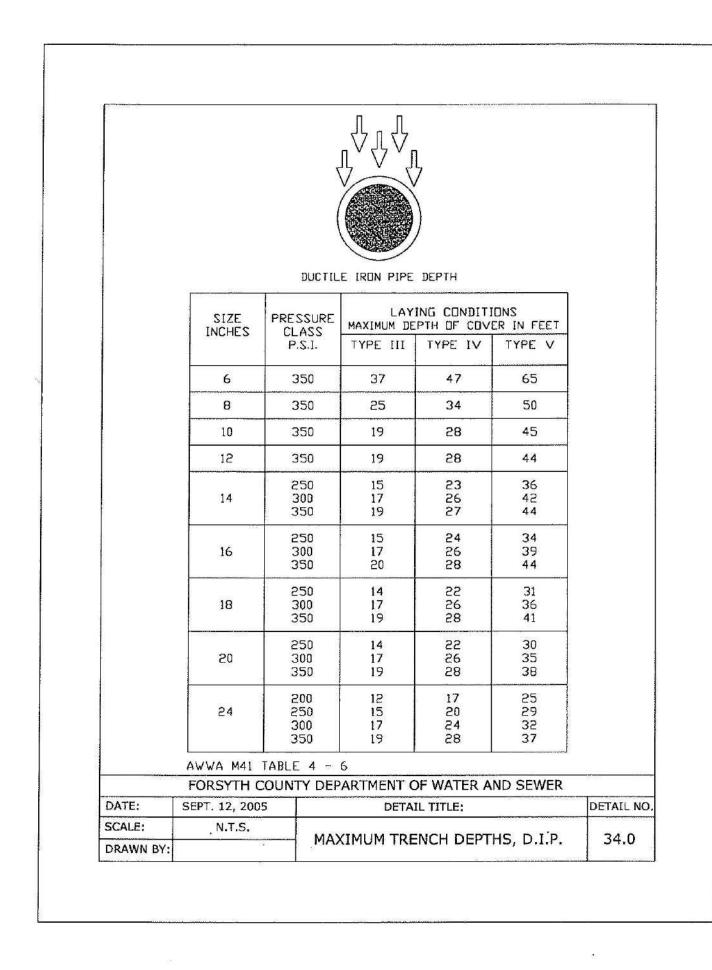
SEPT. 12, 2005

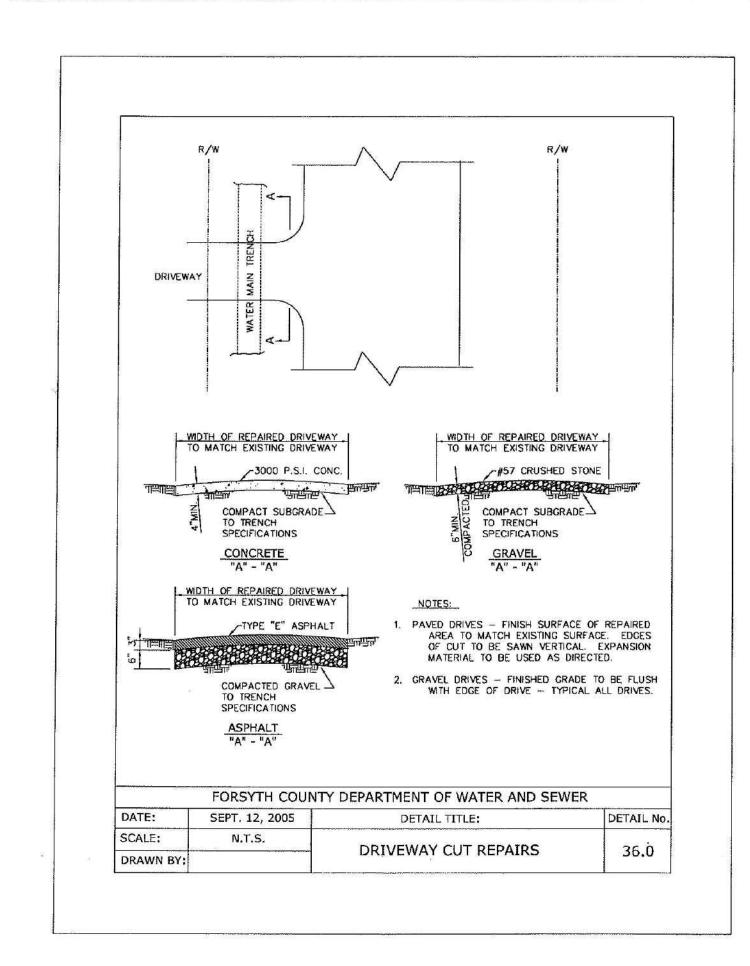
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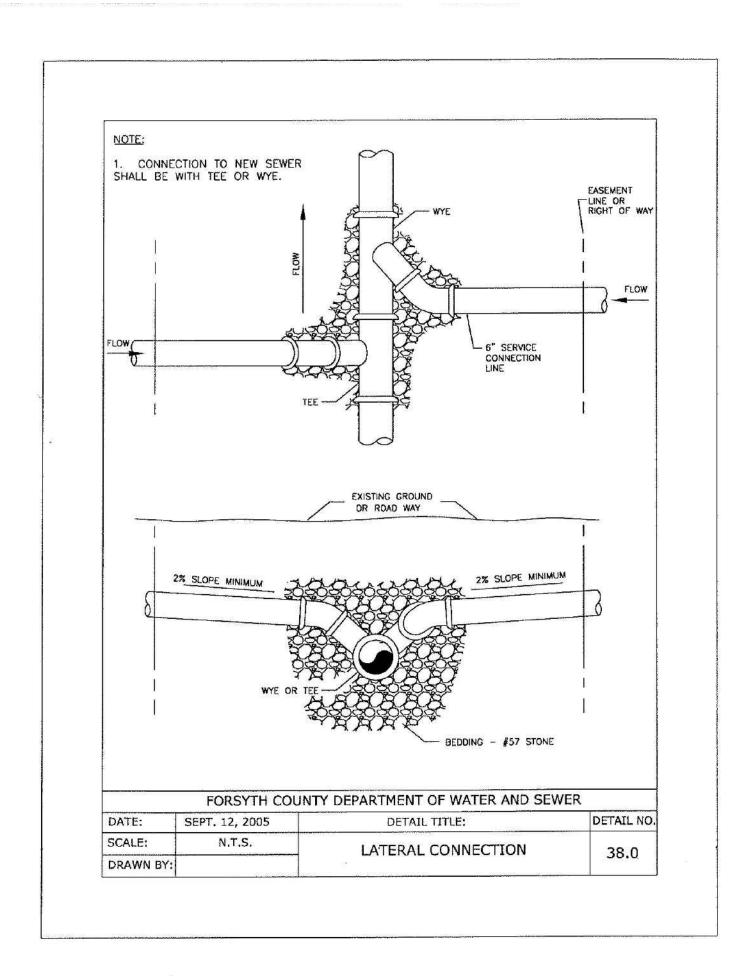


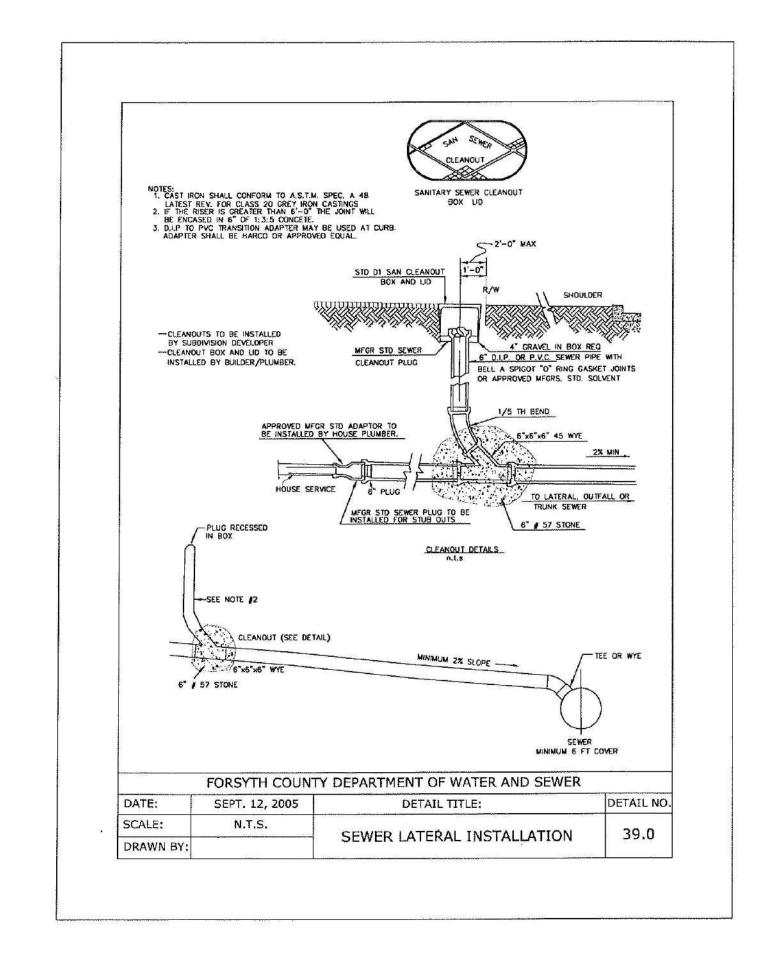


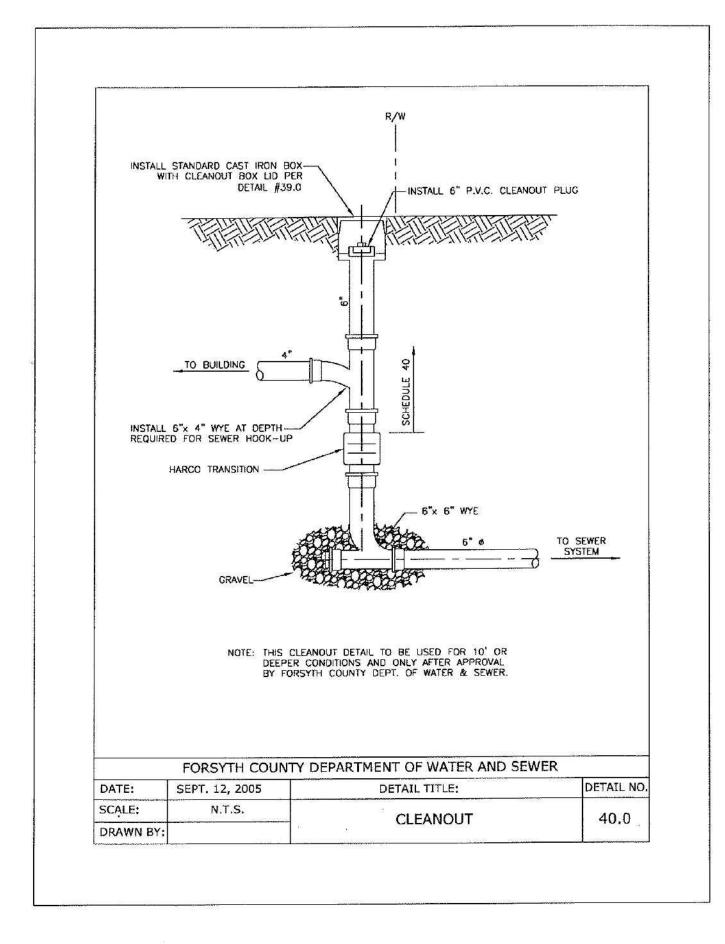














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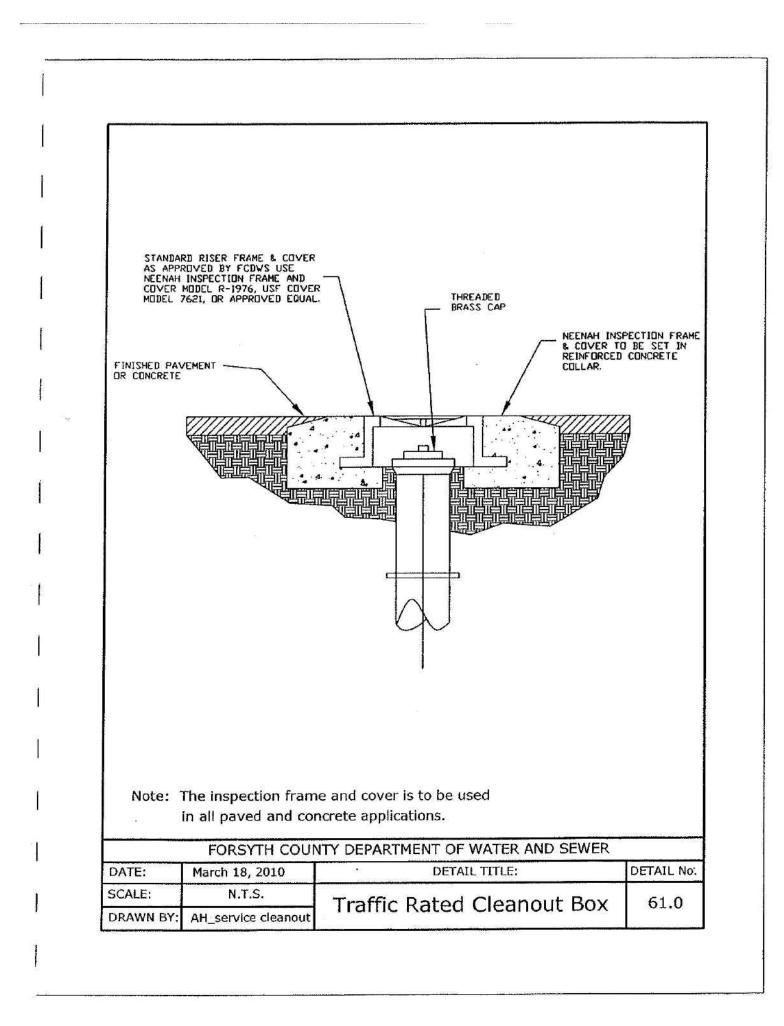
(LEVEL II) 0000076500

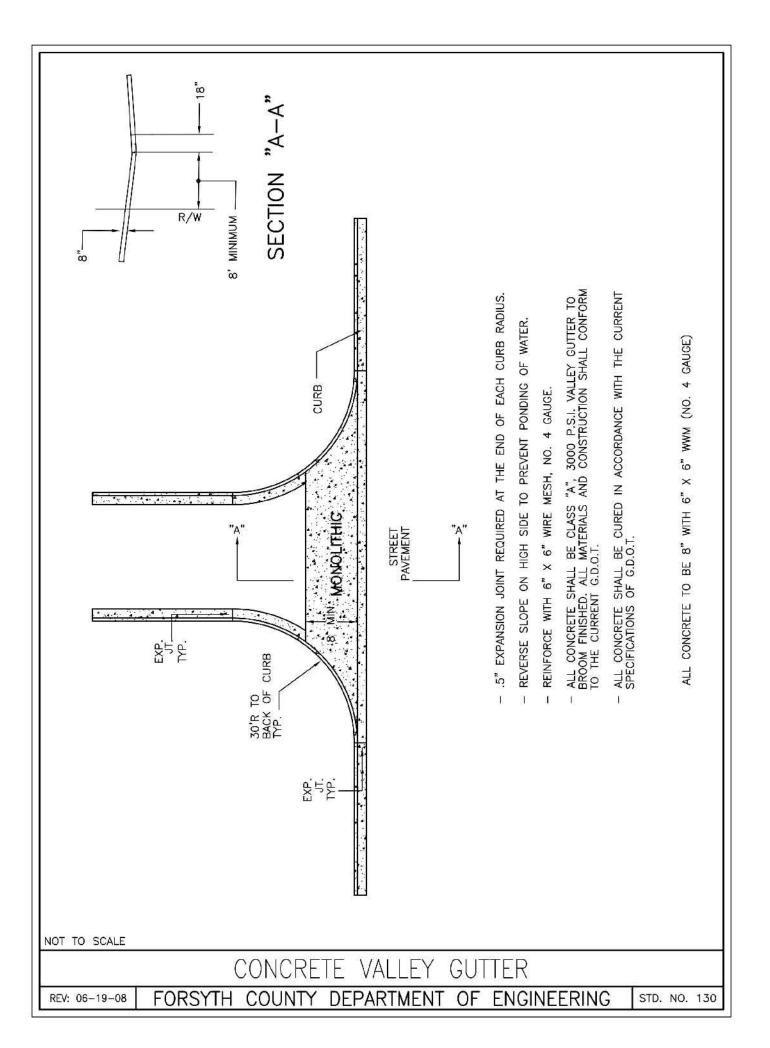
04/24/2020 PROJECT NO. 013623001

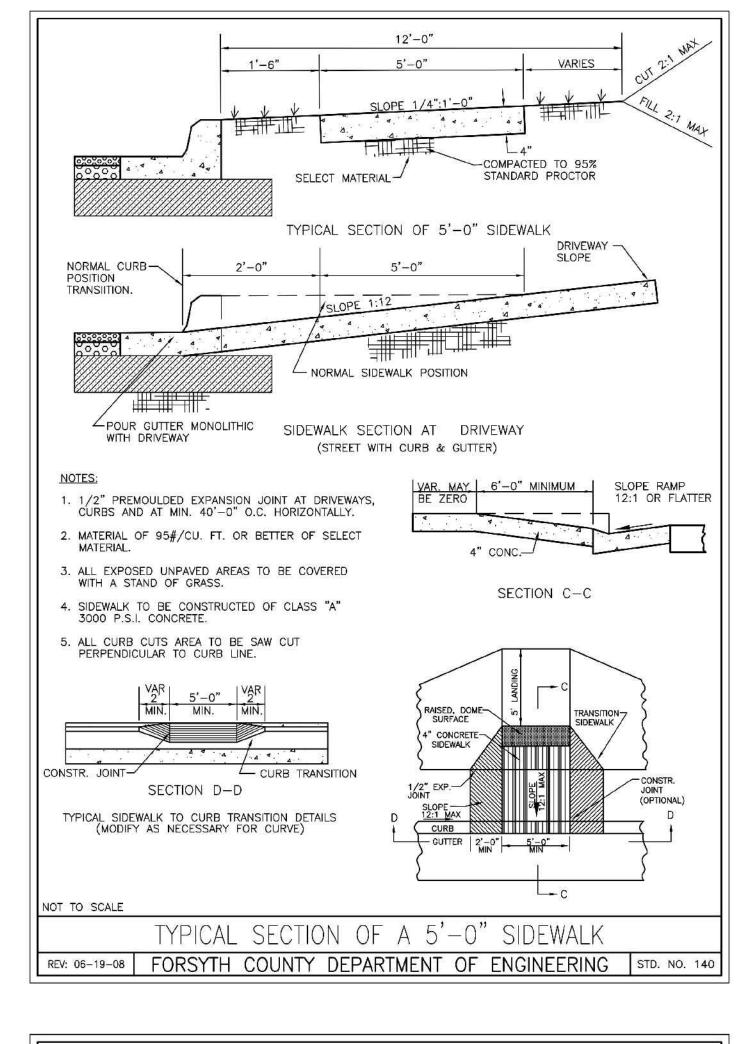
CONSTRUCTION

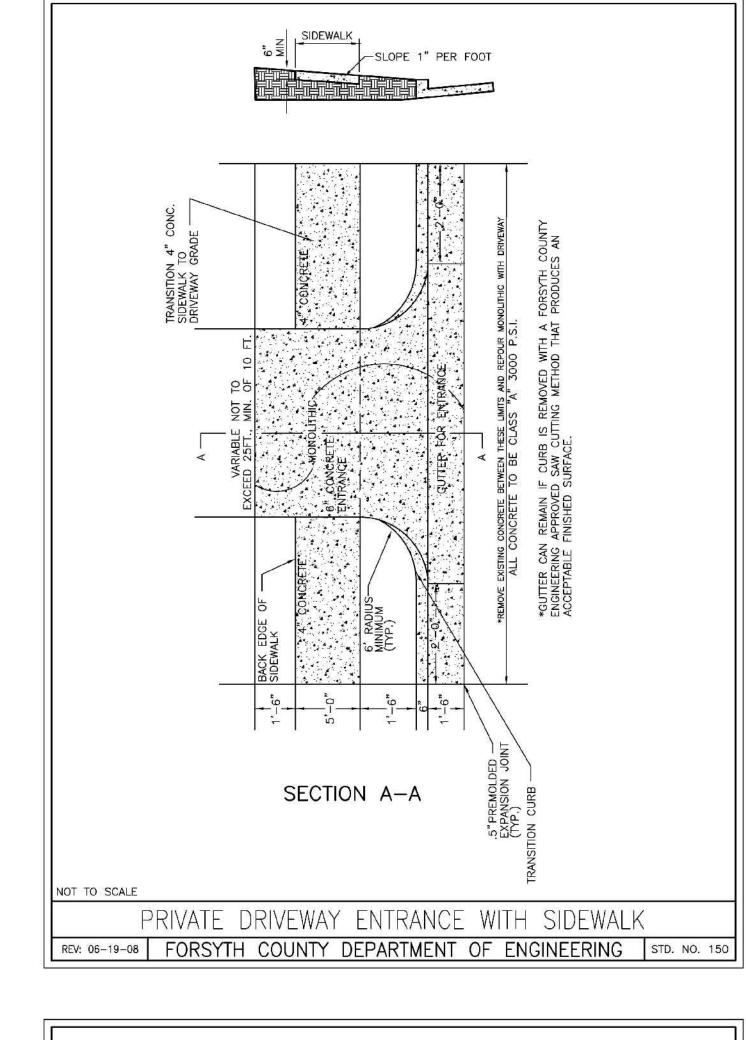
SHEET NUMBER C6-01

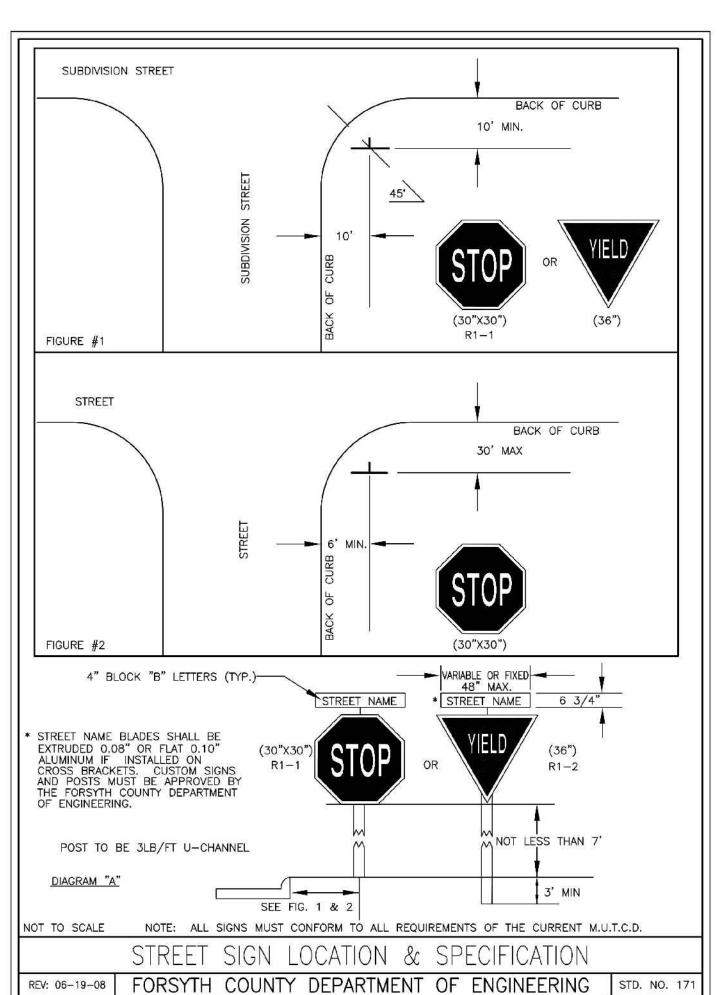
**DETAILS** 

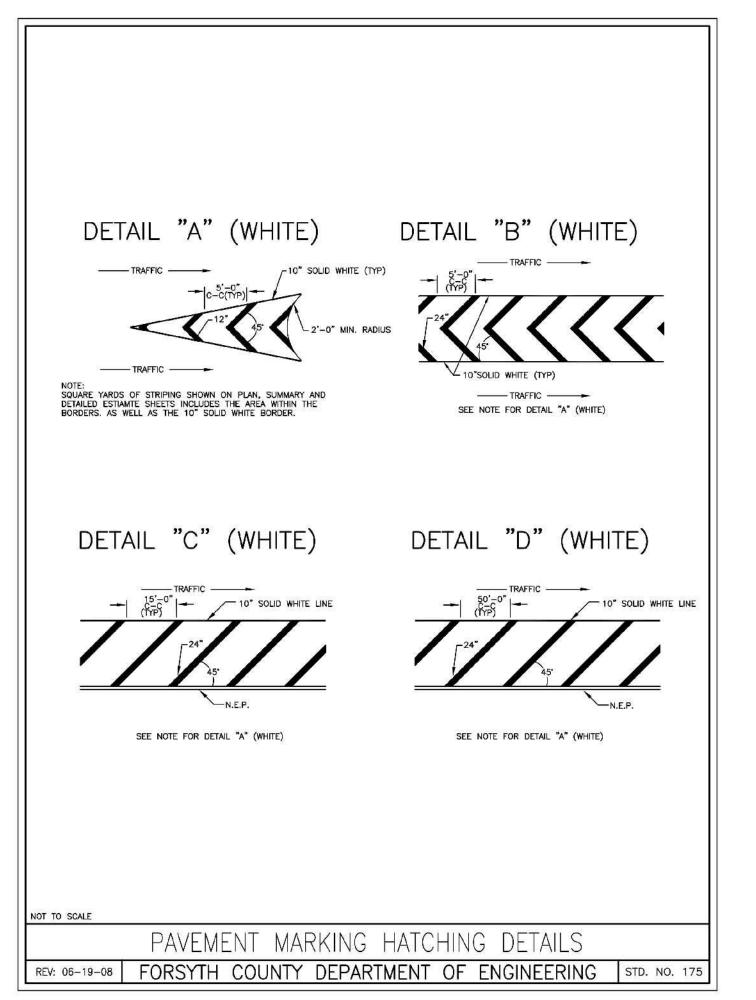


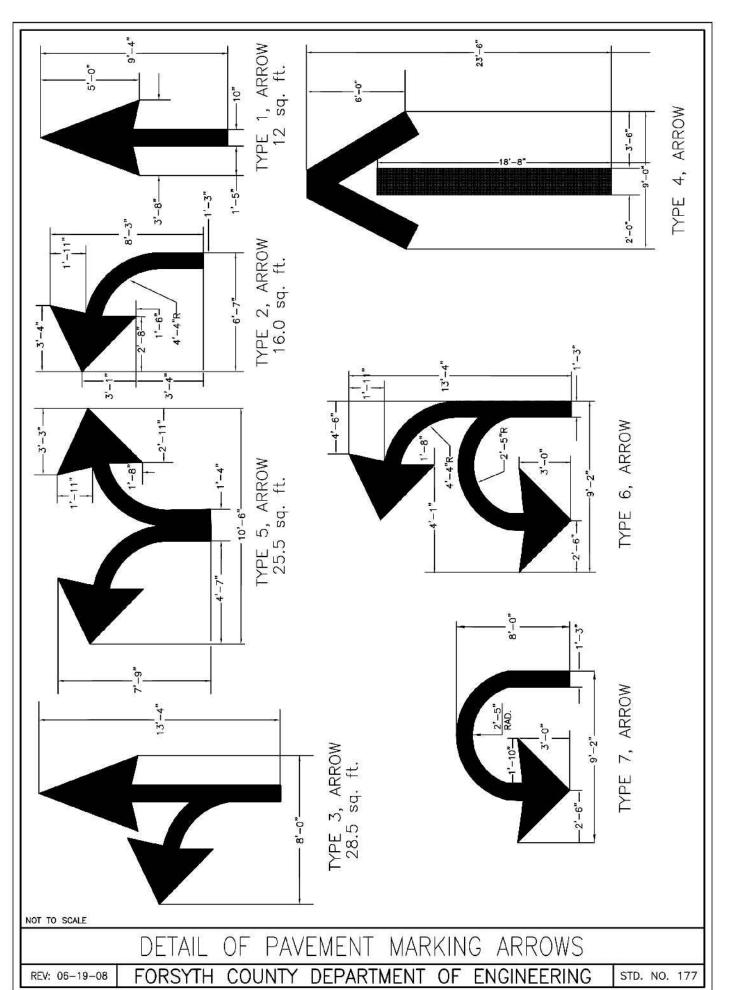


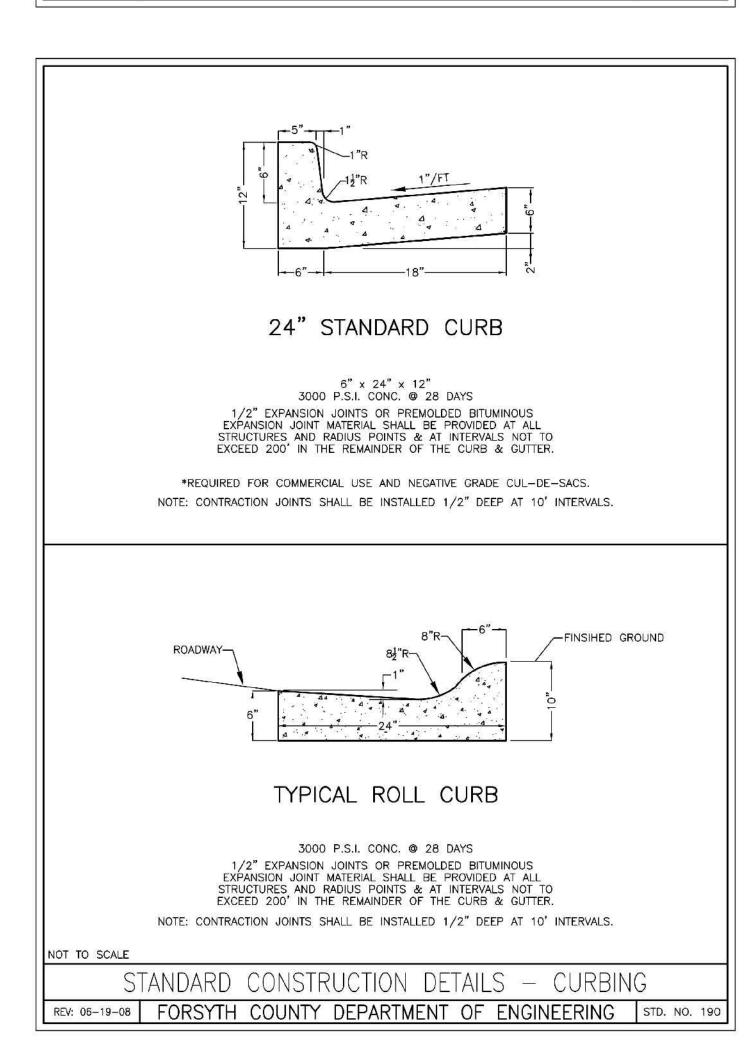














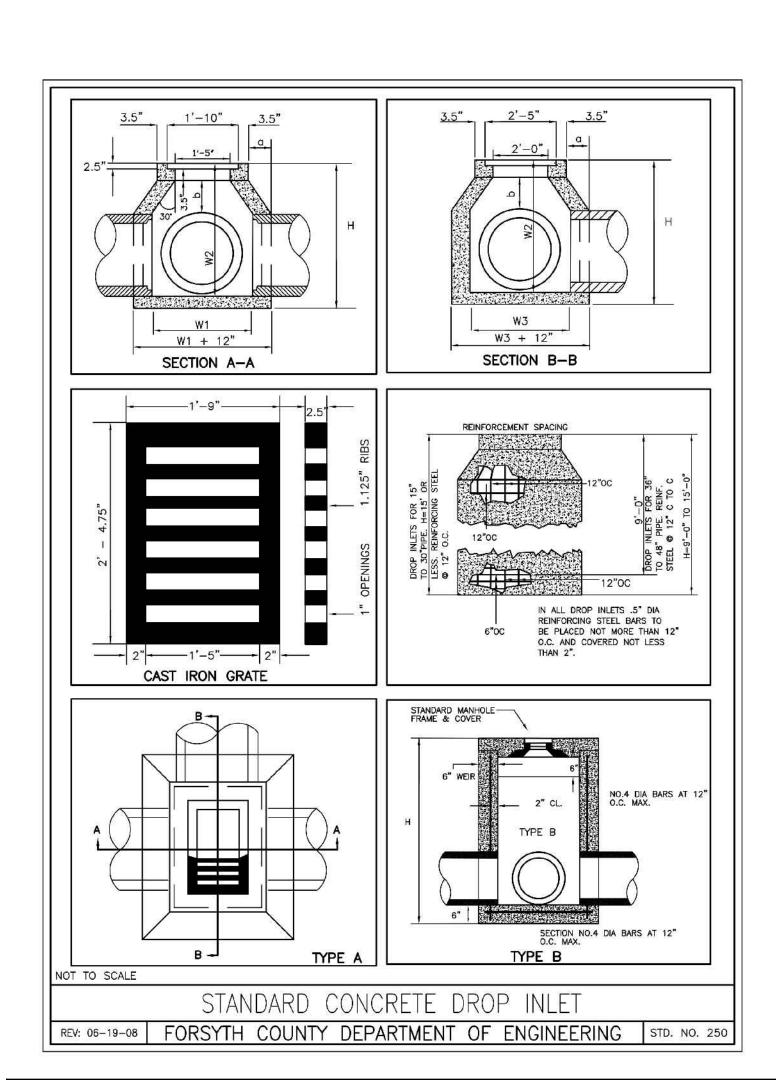
HALCYON VILLAGE CENTER BUILDINGS 1100, 1300, 1400 GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY

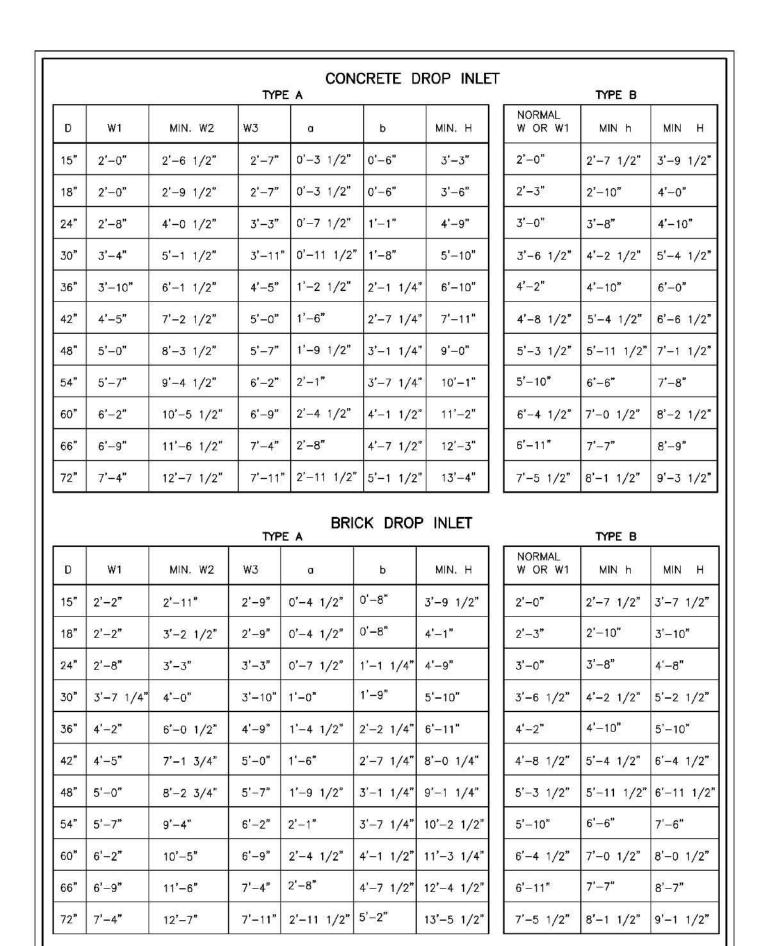
04/24/2020 PROJECT NO. 013623001

CONSTRUCTION **DETAILS** 

C6-02

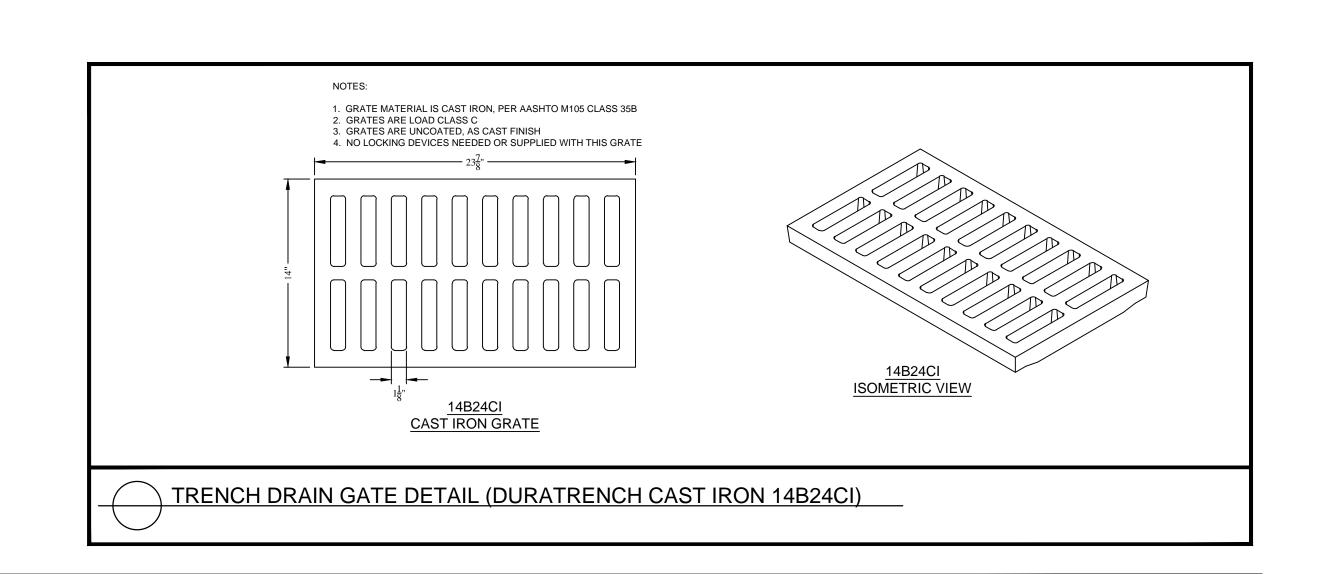
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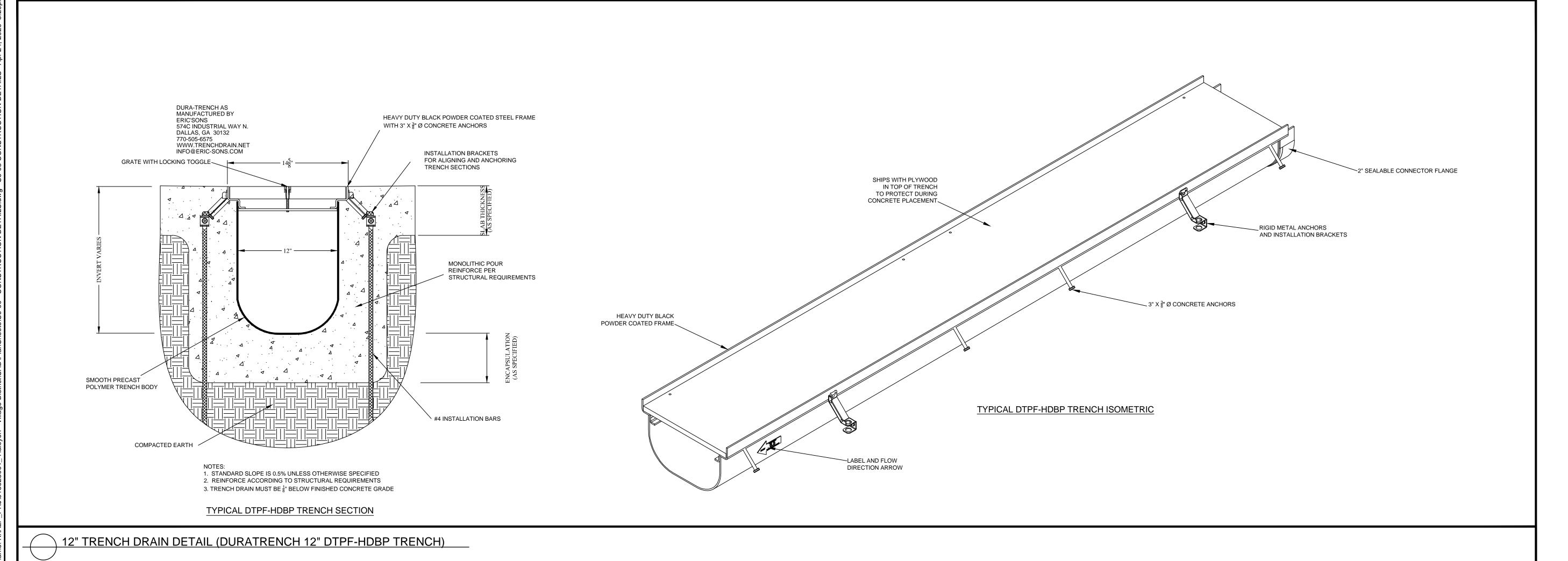




DROP INLET DIMENSIONS

REV: 06-19-08 FORSYTH COUNTY DEPARTMENT OF ENGINEERING STD. NO. 252







	NOVO IAH DA. TO	309 EAST PACES FERRY ROAD, SULLE 825	AILANIA, GA 30303	PHOINE: 404.855.5854	
L					

HALCYON VILLAGE CEI
BUILDINGS 1100, 1300, 100m SQUARE

GSWCC NO. (LEVEL II)	000007650
DRAWN BY	KH
DESIGNED BY	DM
REVIEWED BY	DM
DATE	04/24/202

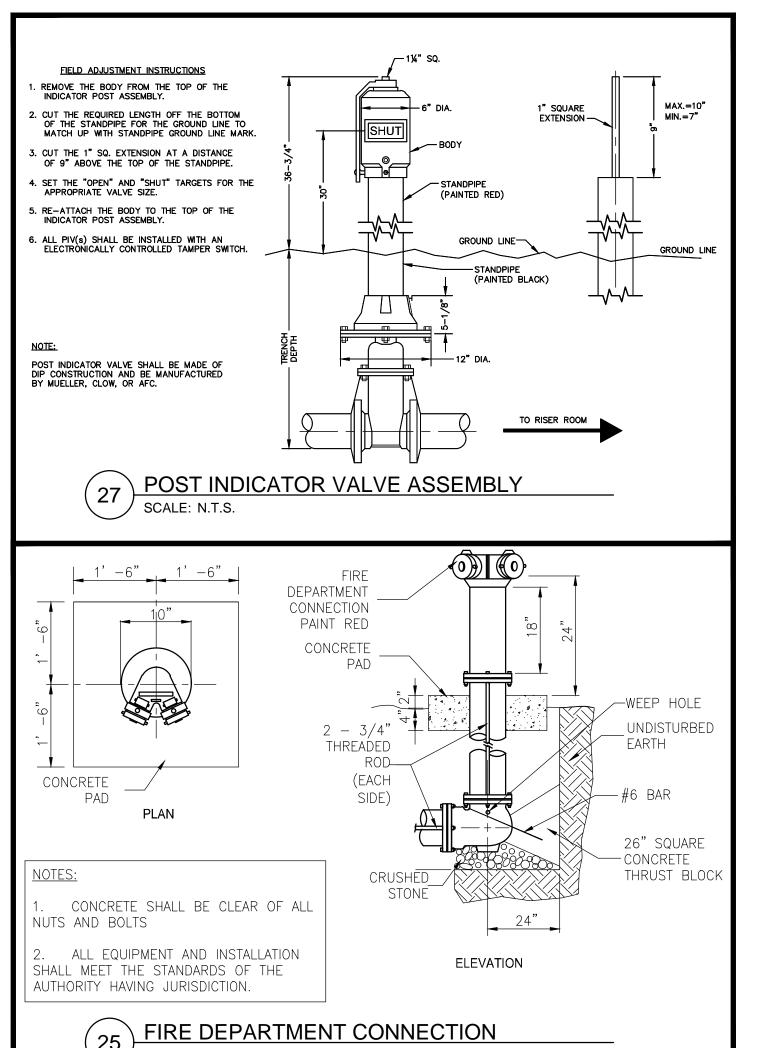
PROJECT NO. 013623001

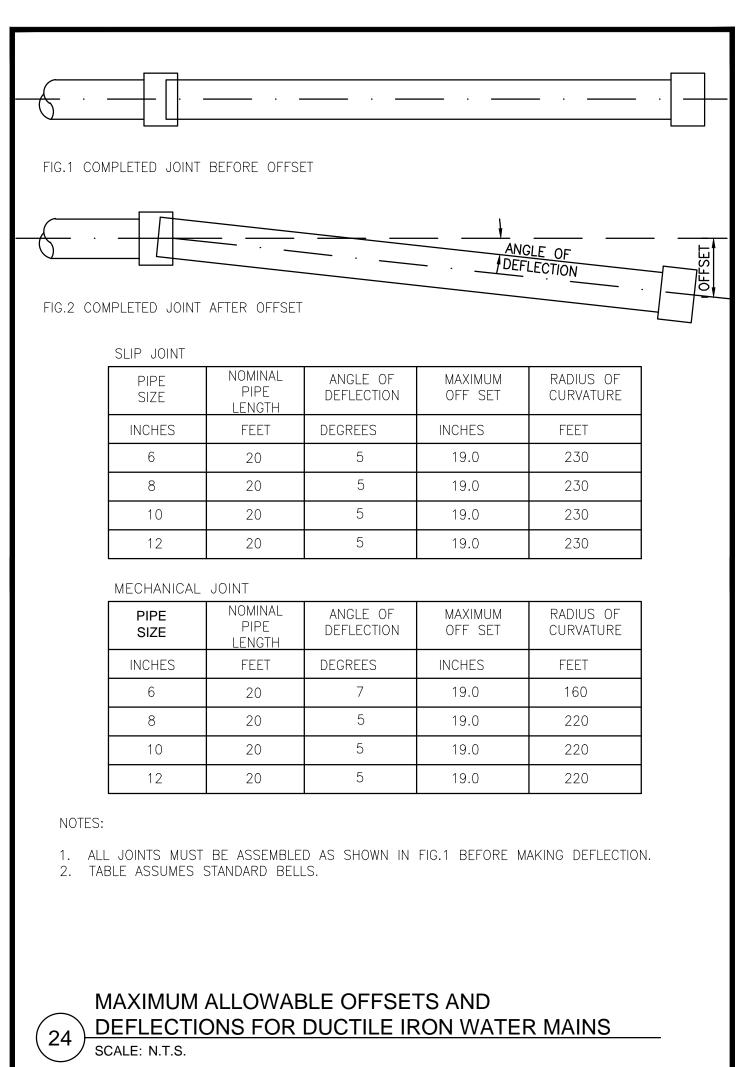
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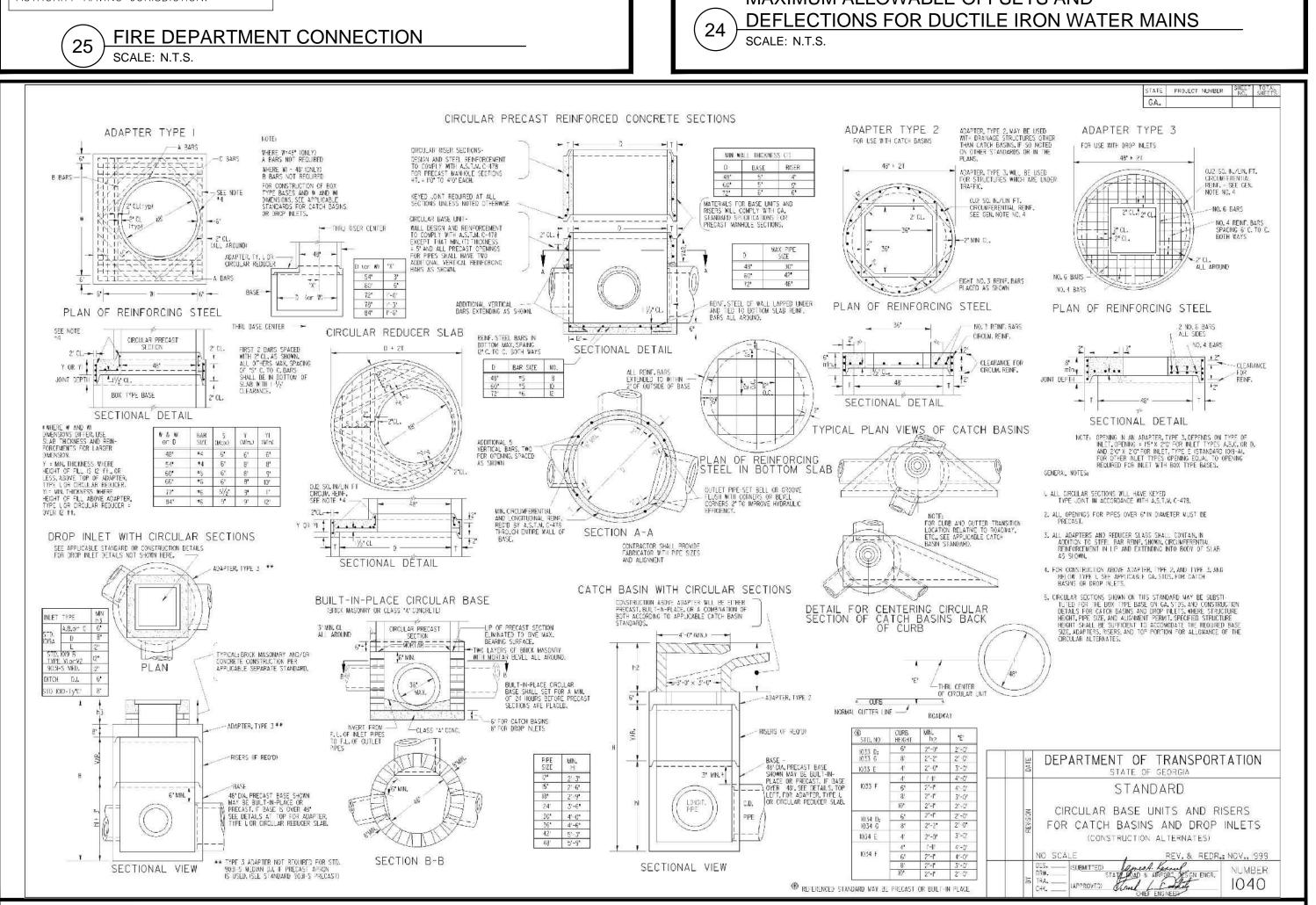
CONSTRUCTION

CONSTRUCTION DETAILS

C6-03

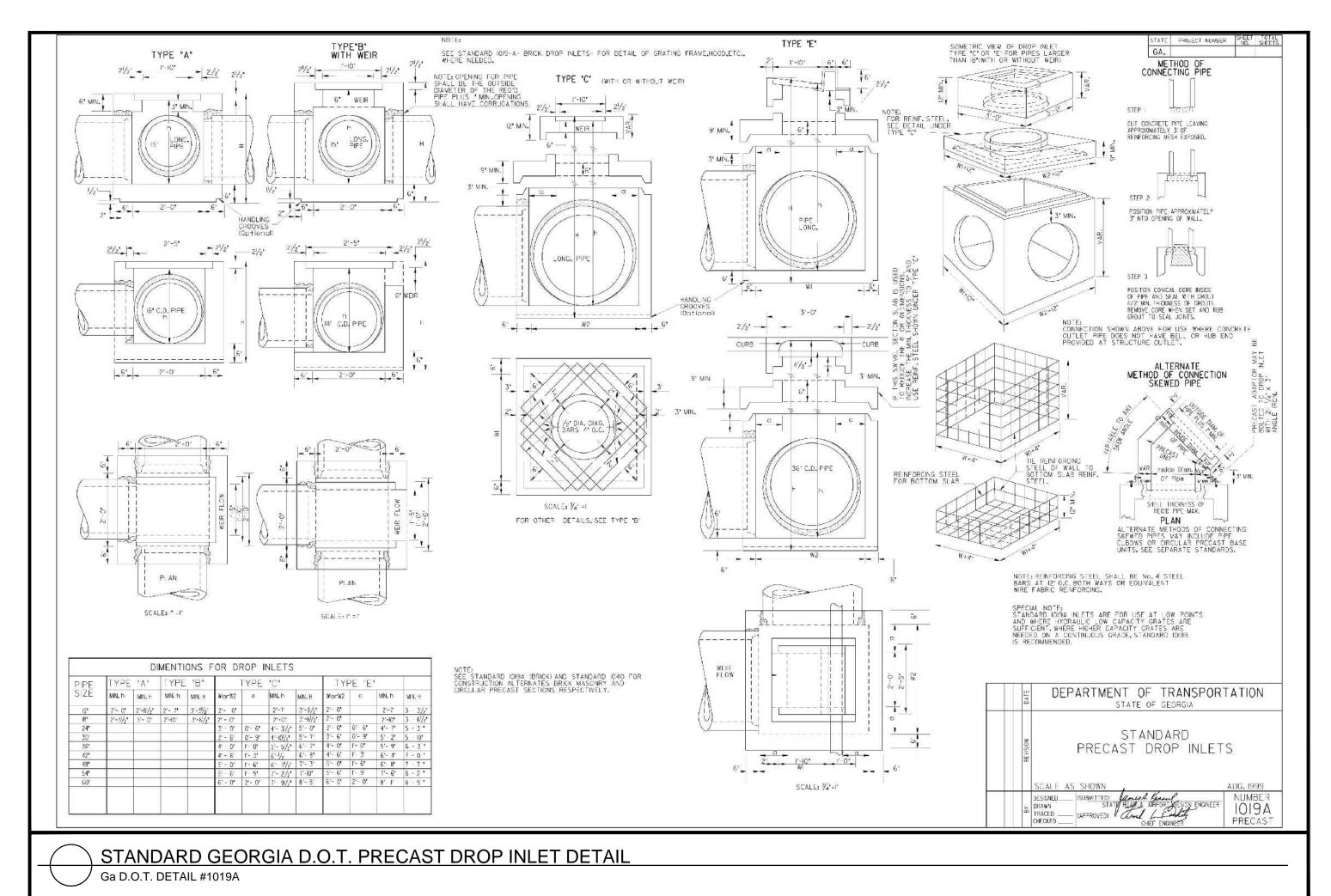


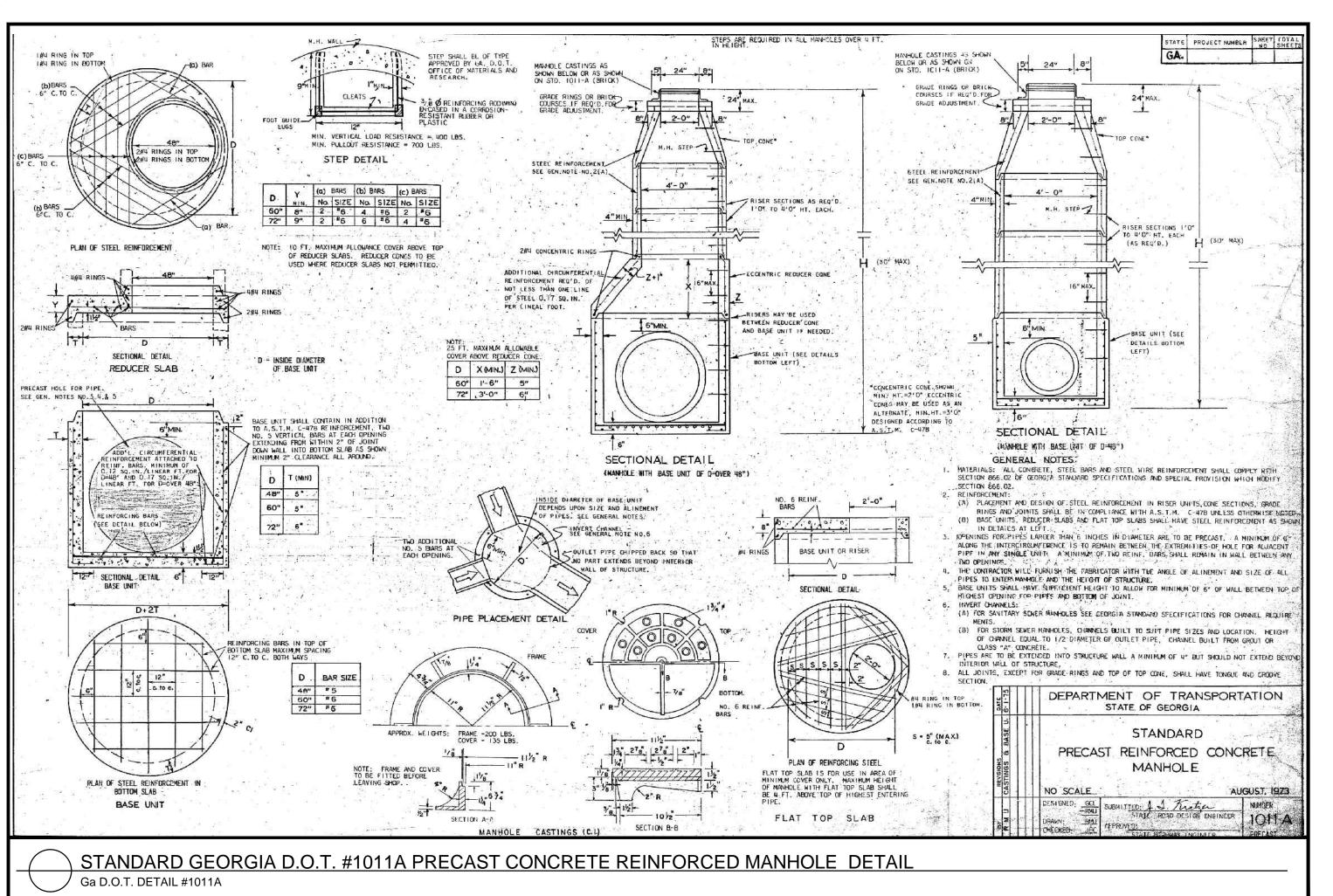




STANDARD GEORGIA D.O.T. CIRCULAR BASE UNITS AND RISERS FOR CATCH BASINS AND DROP INLETS

/ Ga D.O.T. DETAIL #1040







GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

IALCYON VILLAGE CENTER
SUILDINGS 1100, 1300, 1400

No. PEO44139
PROFESSIONAL
TAGINGESTORY

ALL ZITTRI

GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

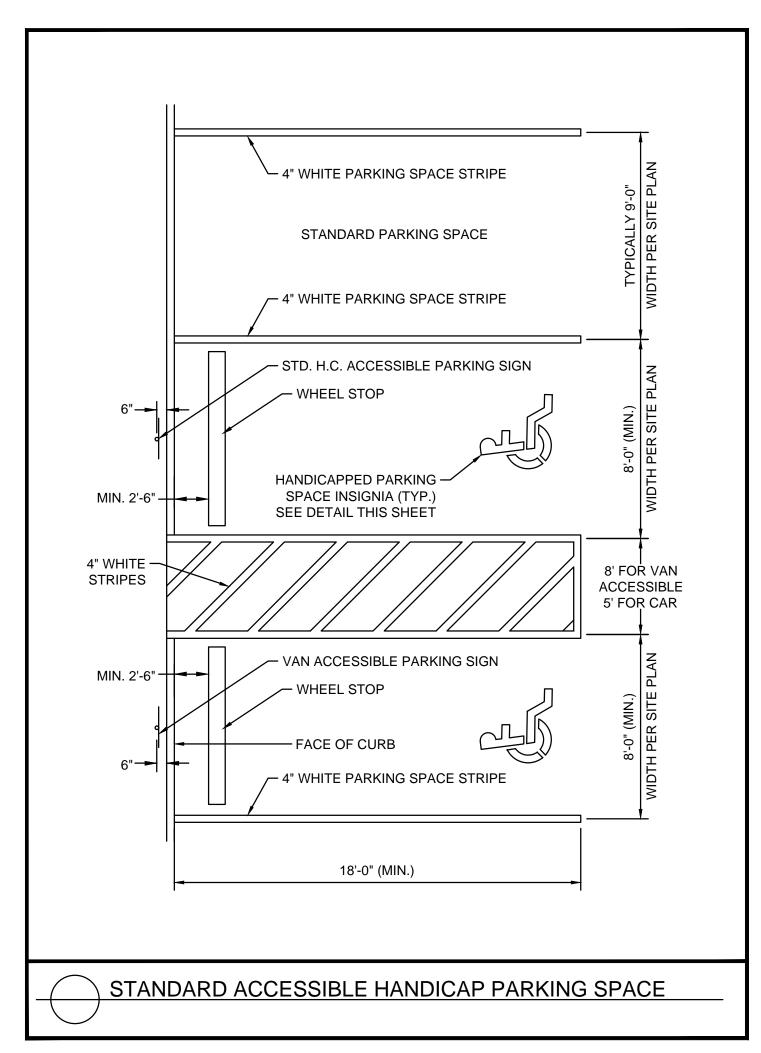
REVIEWED BY DMZ

DATE 04/24/2020

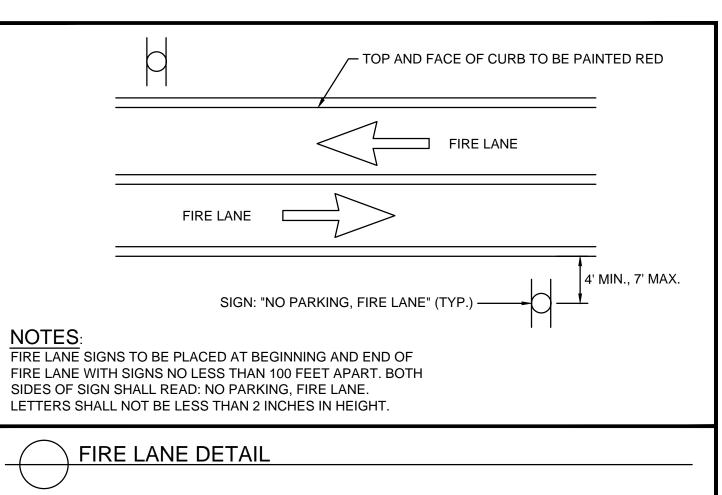
PROJECT NO. 013623001

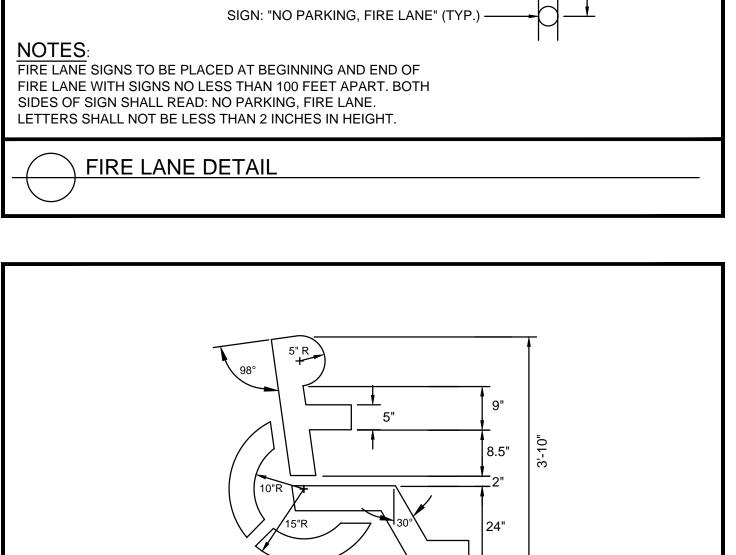
CONSTRUCTION DETAILS

C6-04



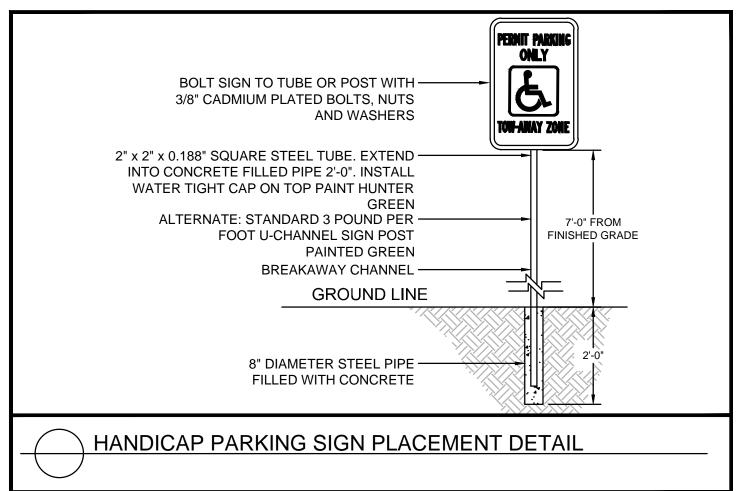
9/3/2004 8/37/23 AN \\COOT-CONT\COPLOT\COP\COLTFFLOUTPUT, DCF COVENS MI\CARY\ENGLISH STANDARDS UPDATED AND UPDATED INDEX\4DIG.PAR

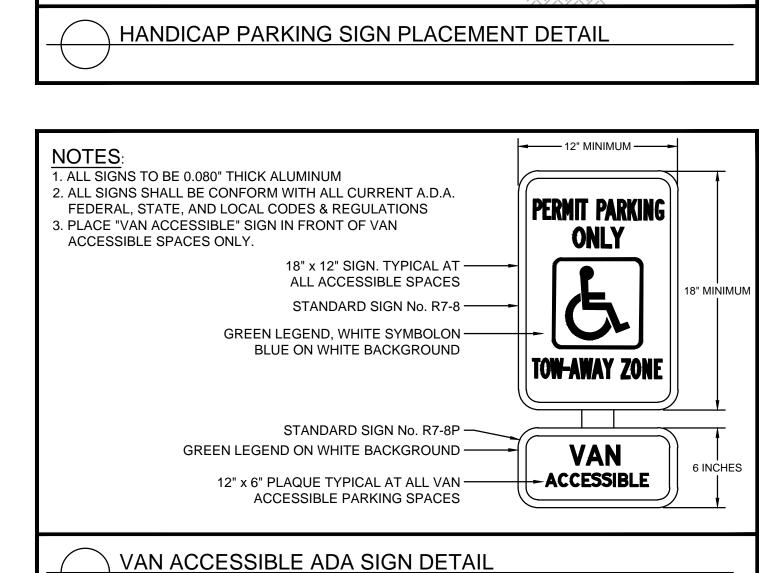


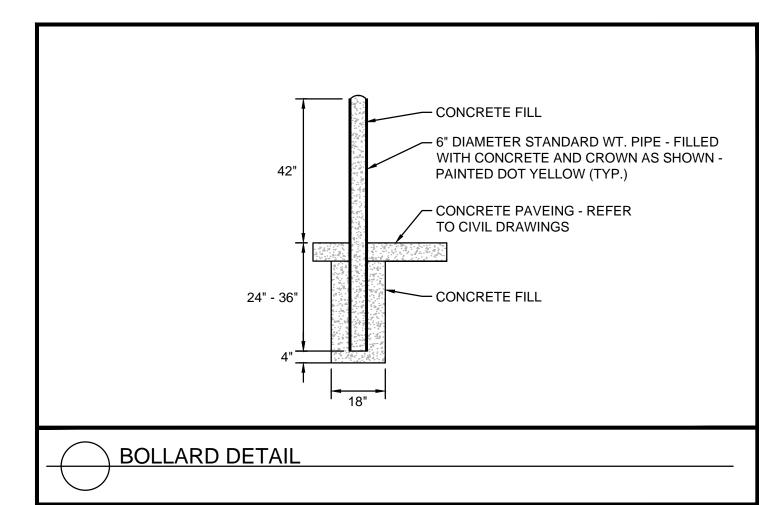


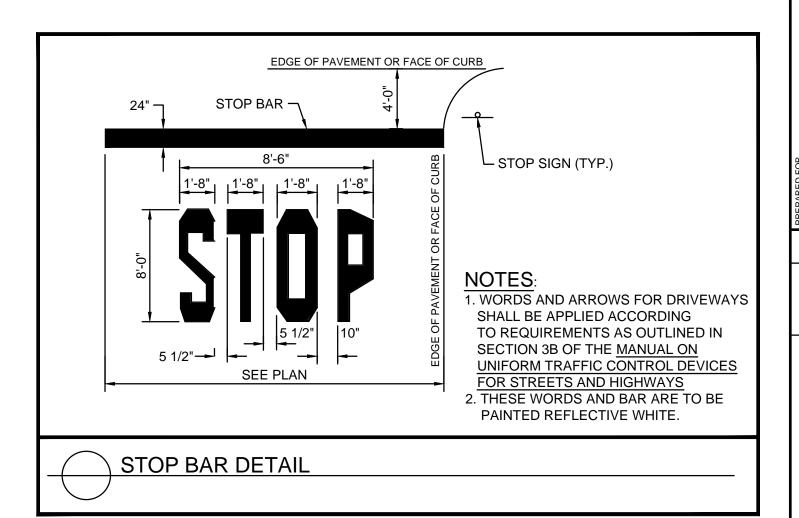
1. STRIPING - 5" WIDE TRAFFIC PAINT (WHITE ON A BLUE BACKGROUND)

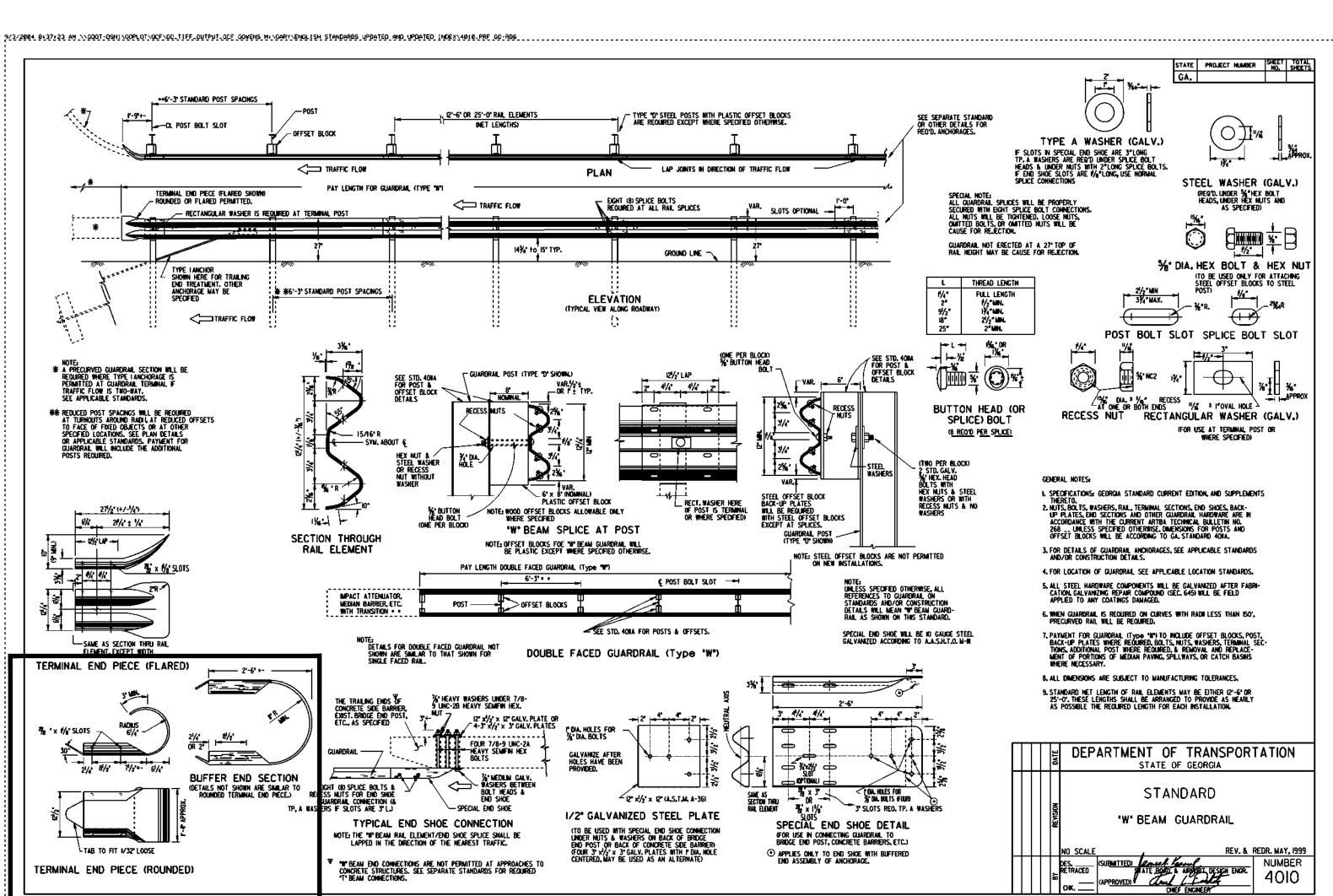
HANDICAP PARKING INSIGNIA DETAIL

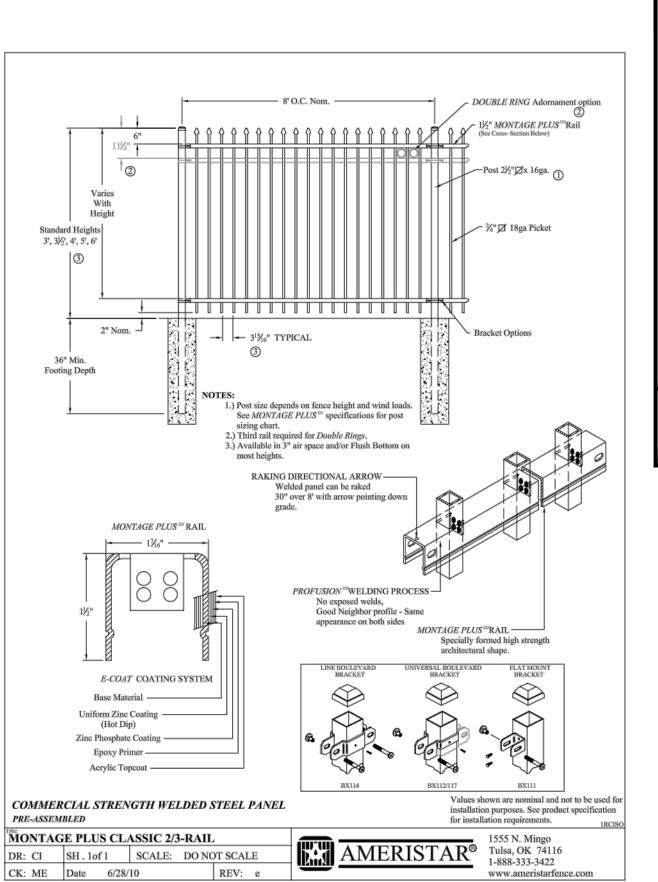


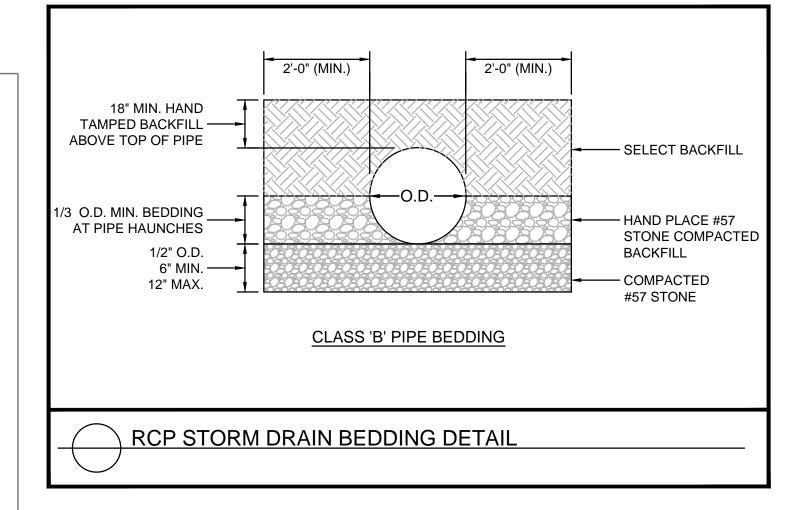














TER 1400

CE! 300,

/ILLAGE

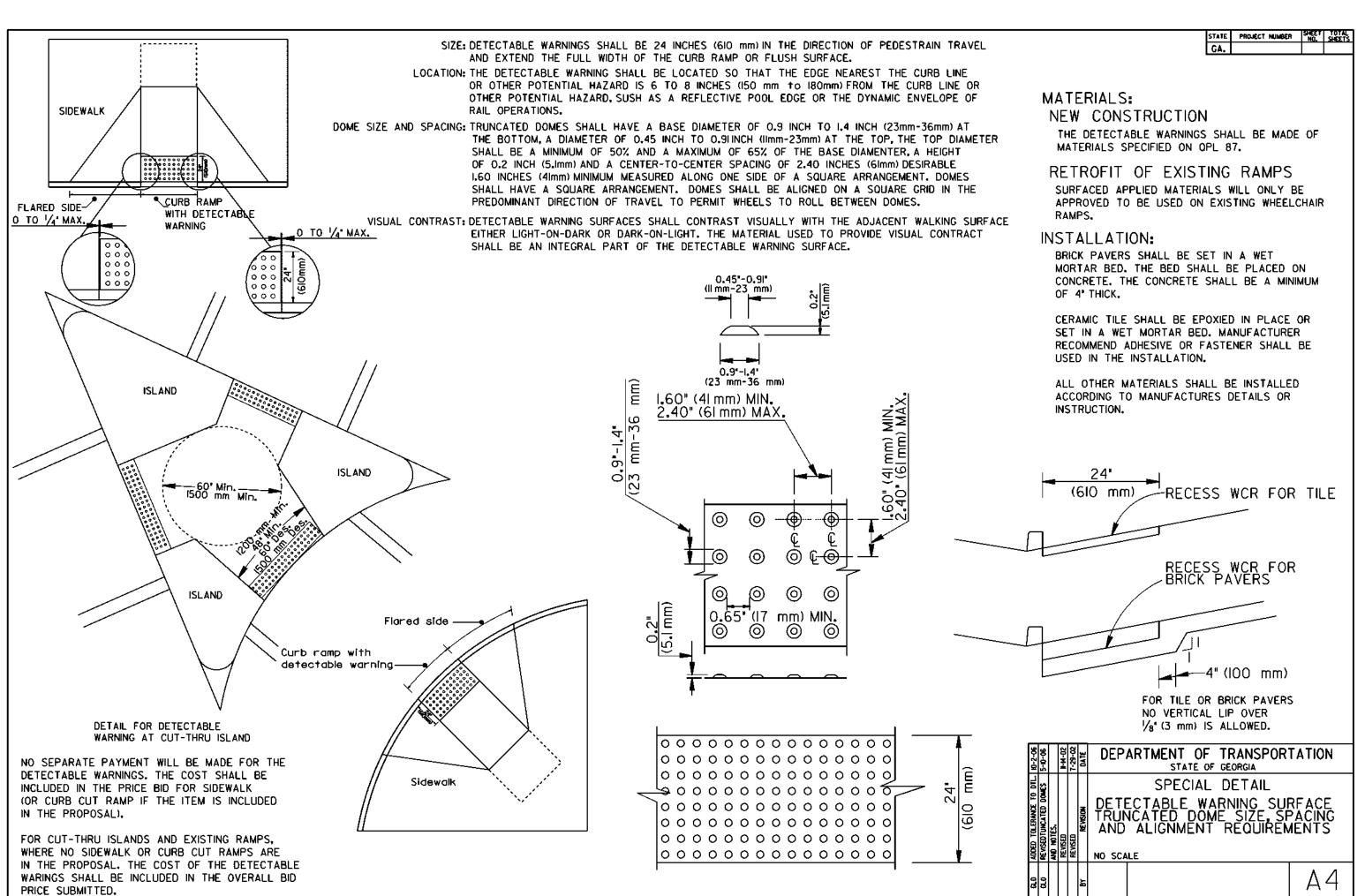
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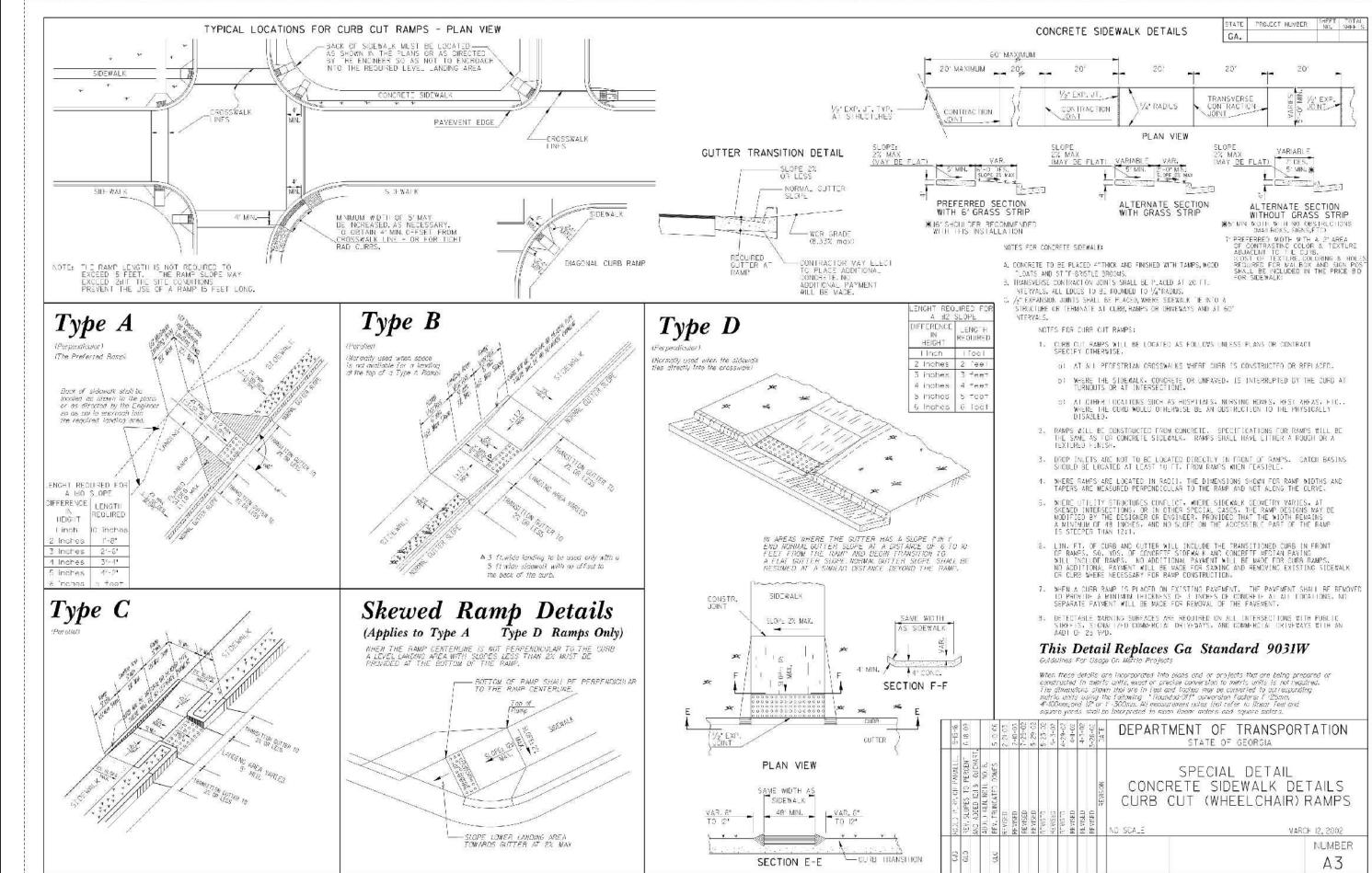
GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	DMZ
DATE	04/24/2020
PROJECT NO.	013623001

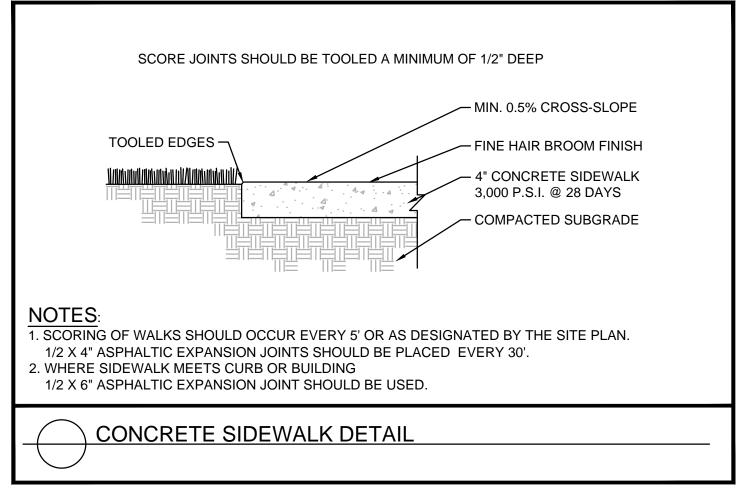
CONSTRUCTION DETAILS

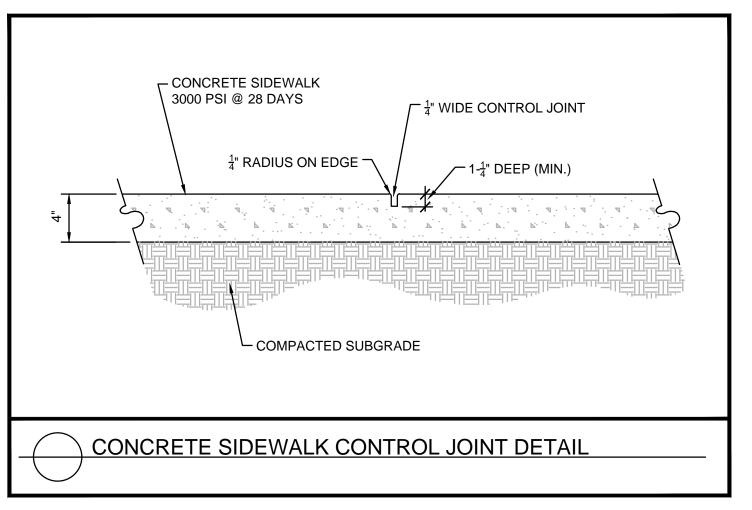
C6-05

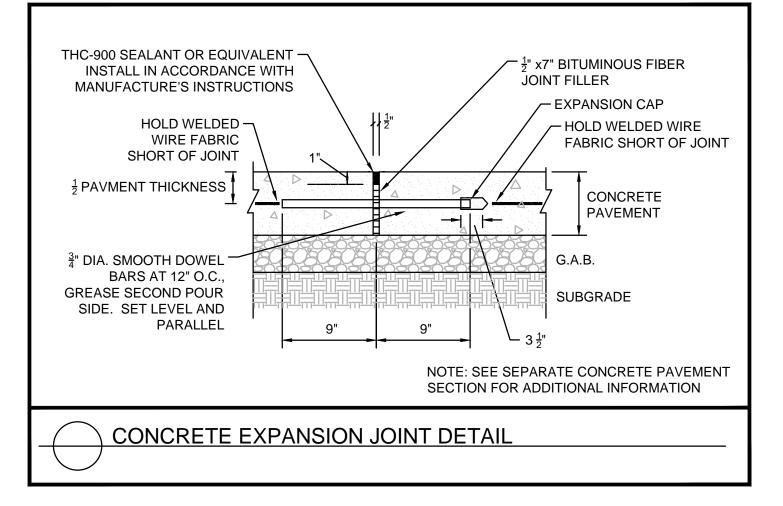
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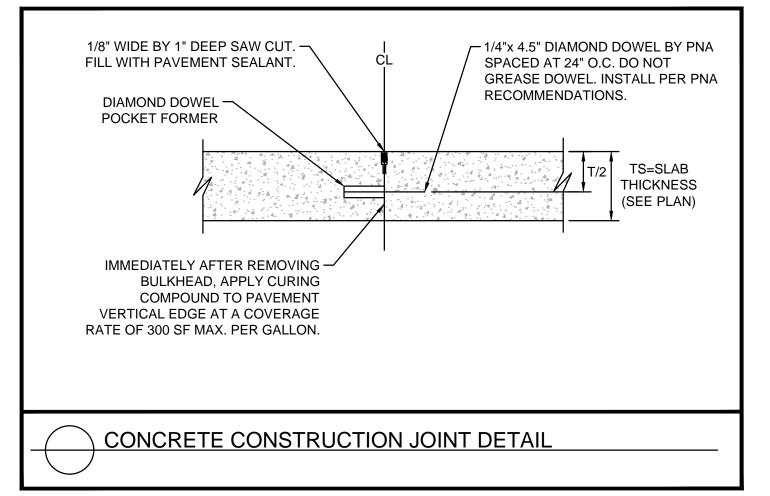












SUITE 825

© 2020 KIMLEY-HORN AND ASSOCIATE
11720 AMBER PARK DRIVE, SI
4

ALPHARETTA, GEORGIA 3
PHONE (770) 619-4280
WWW.KIMLEY-HORN.COW

0

GT-RP HALCYON
309 EAST PACES FERRY ROAD, SUITE 825
ATLANTA, GA 30305
PHONE: 404.855.5854

HALCYON VILLAGE CENTER
BUILDINGS 1100, 1300, 1400



GSWCC NO. (LEVEL II) 0000076500

DRAWN BY KHA

DESIGNED BY DMZ

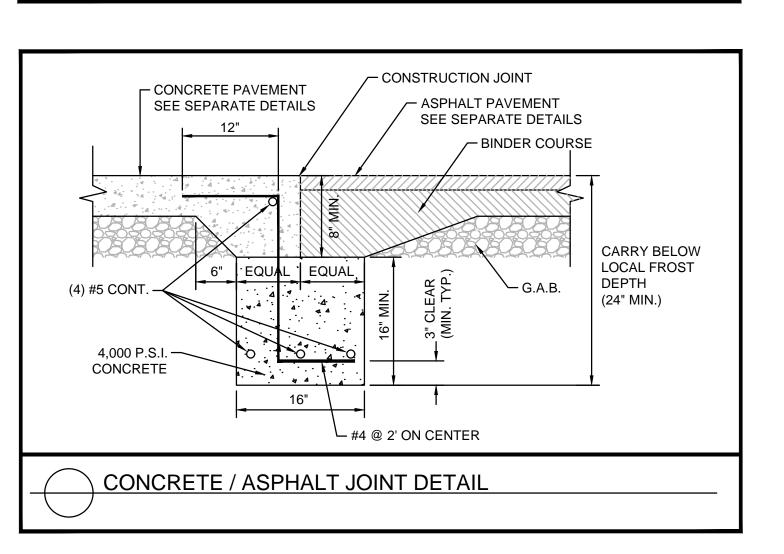
REVIEWED BY DMZ

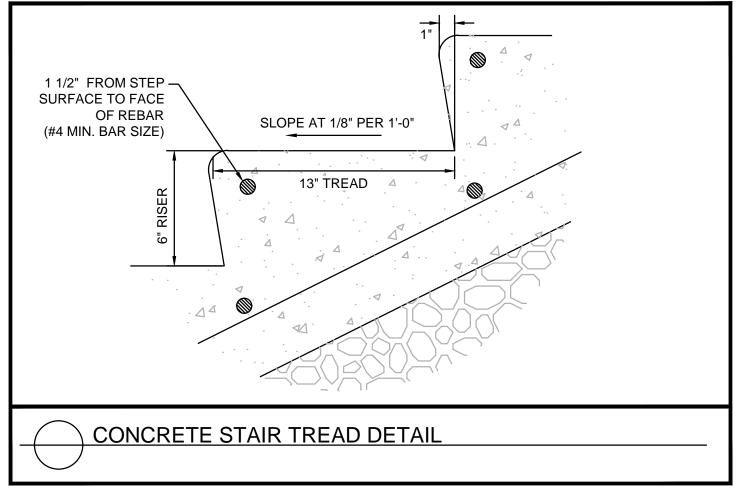
DATE 04/24/2020

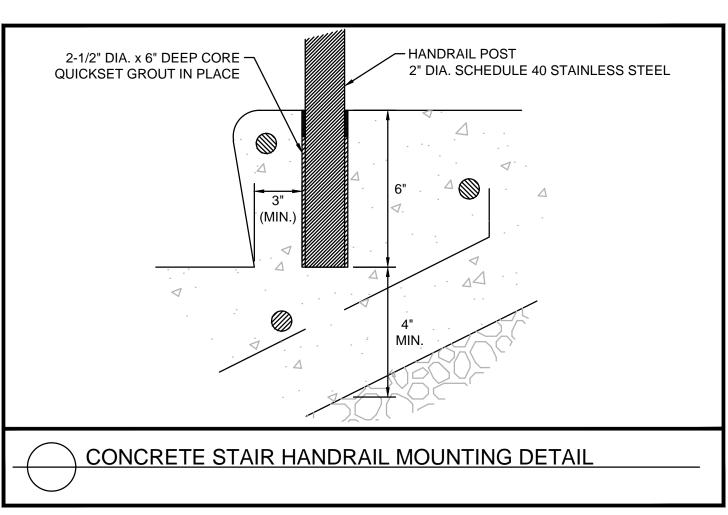
PROJECT NO. 013623001

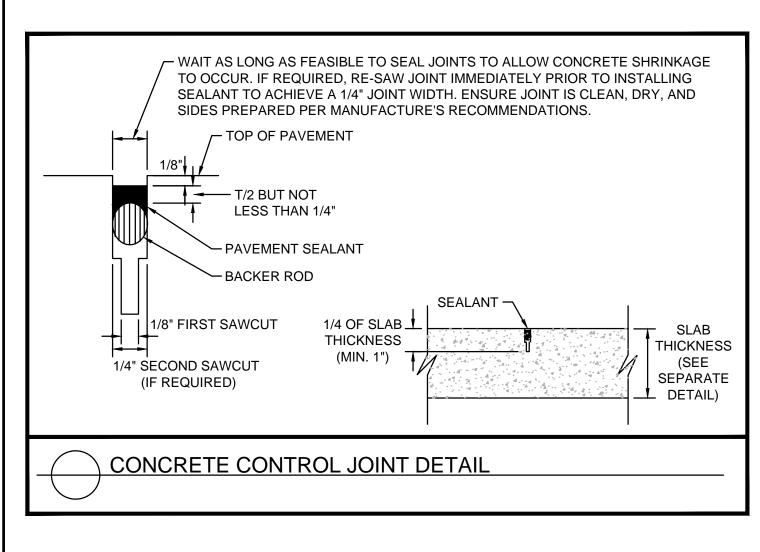
CONSTRUCTION DETAILS

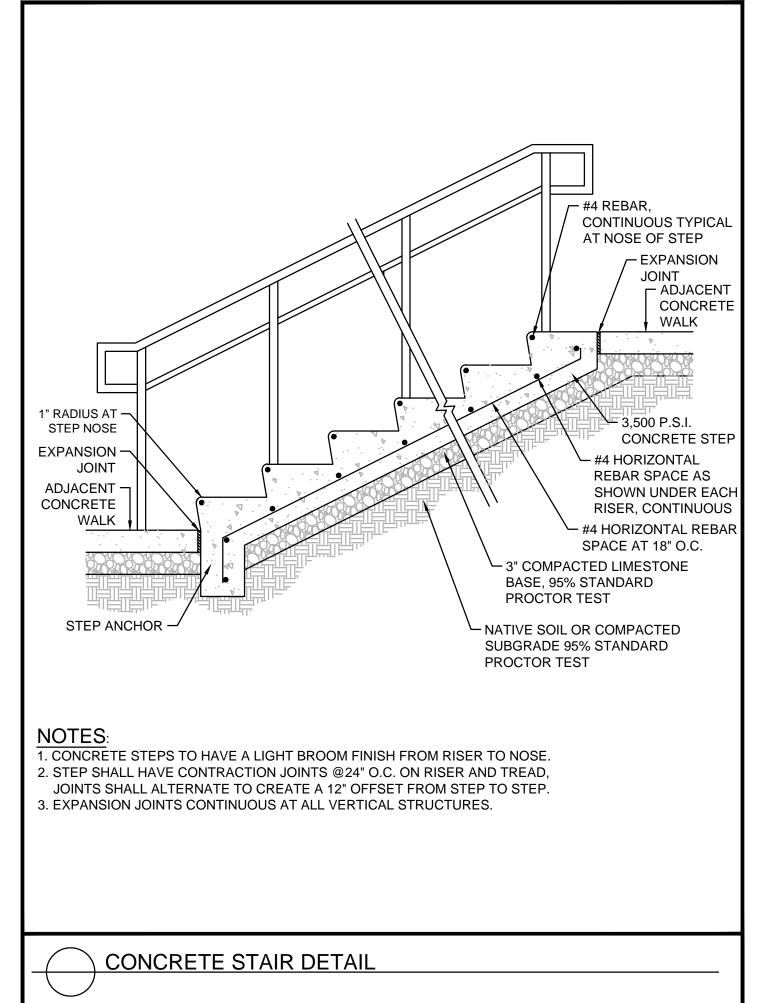
C6-06

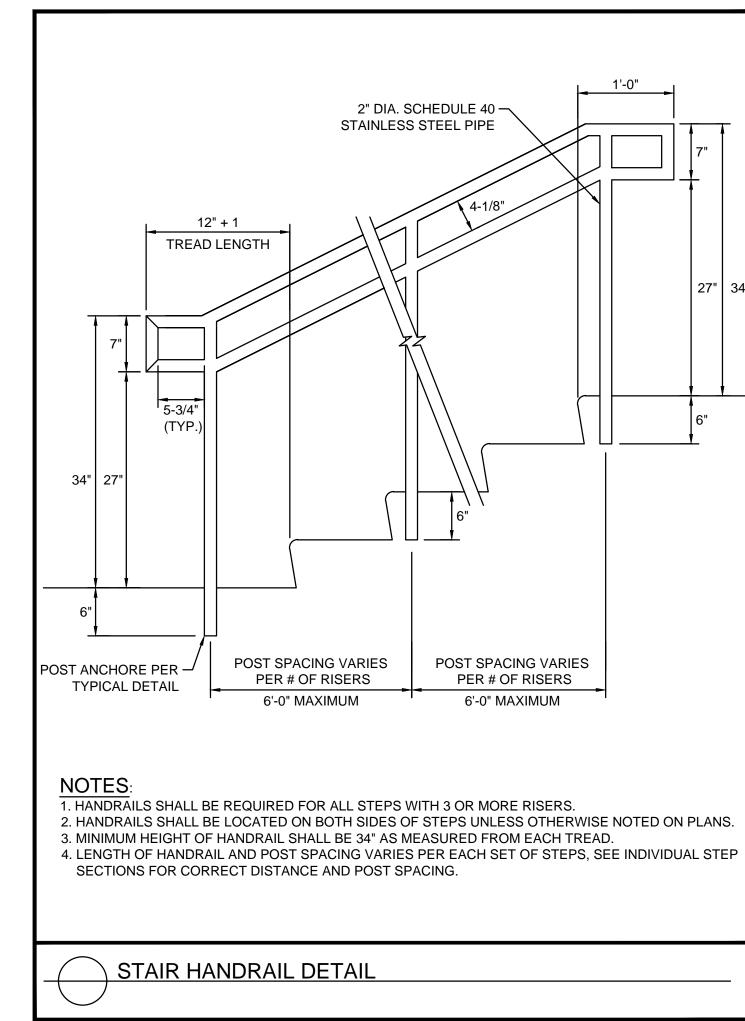


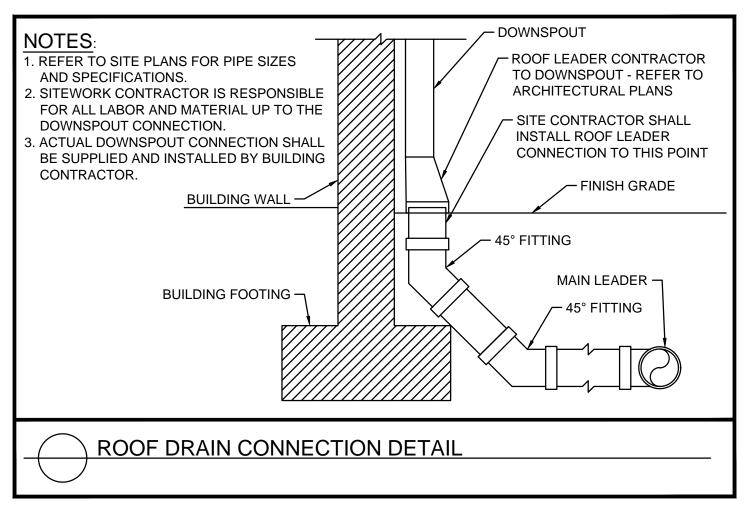


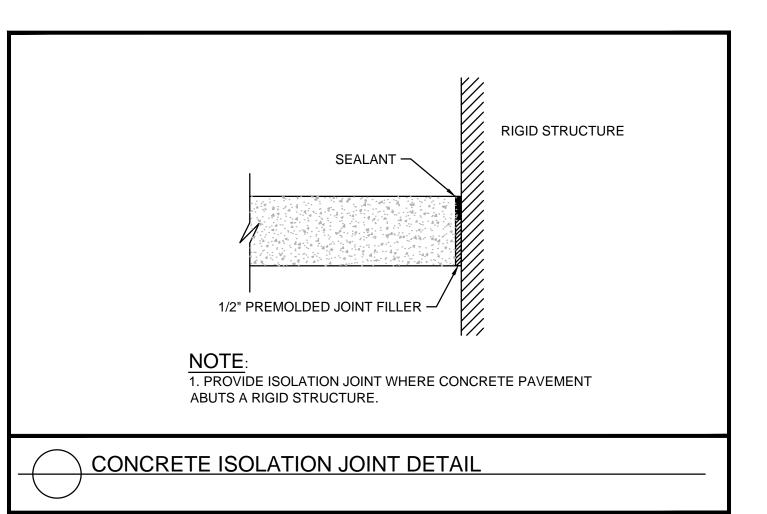


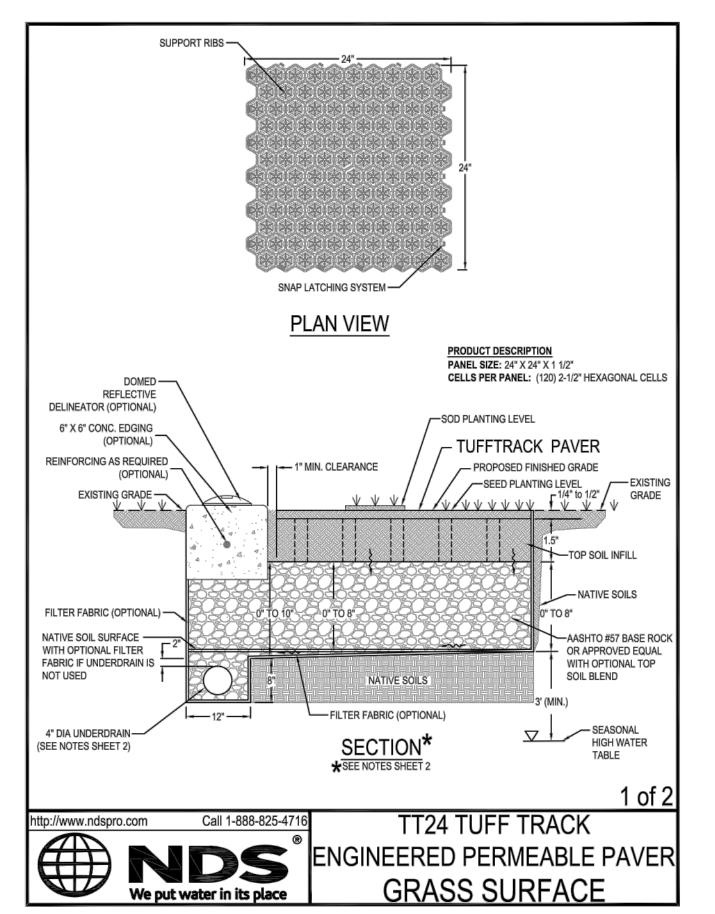


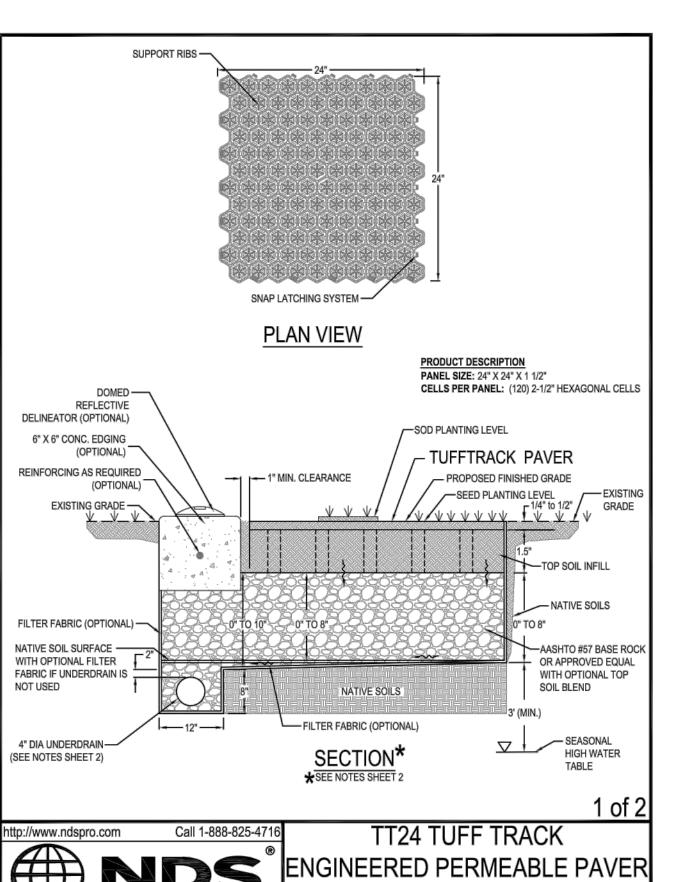


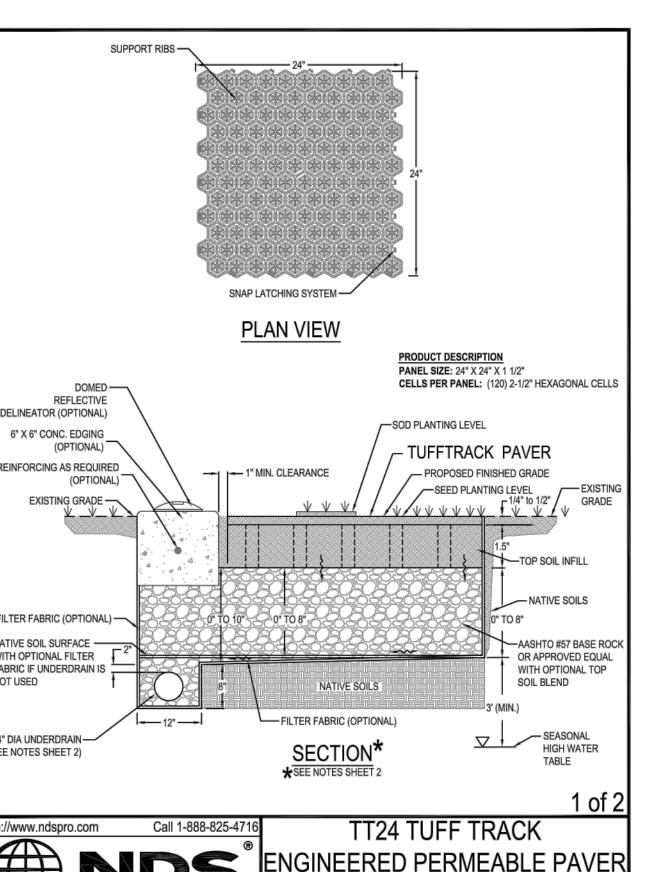


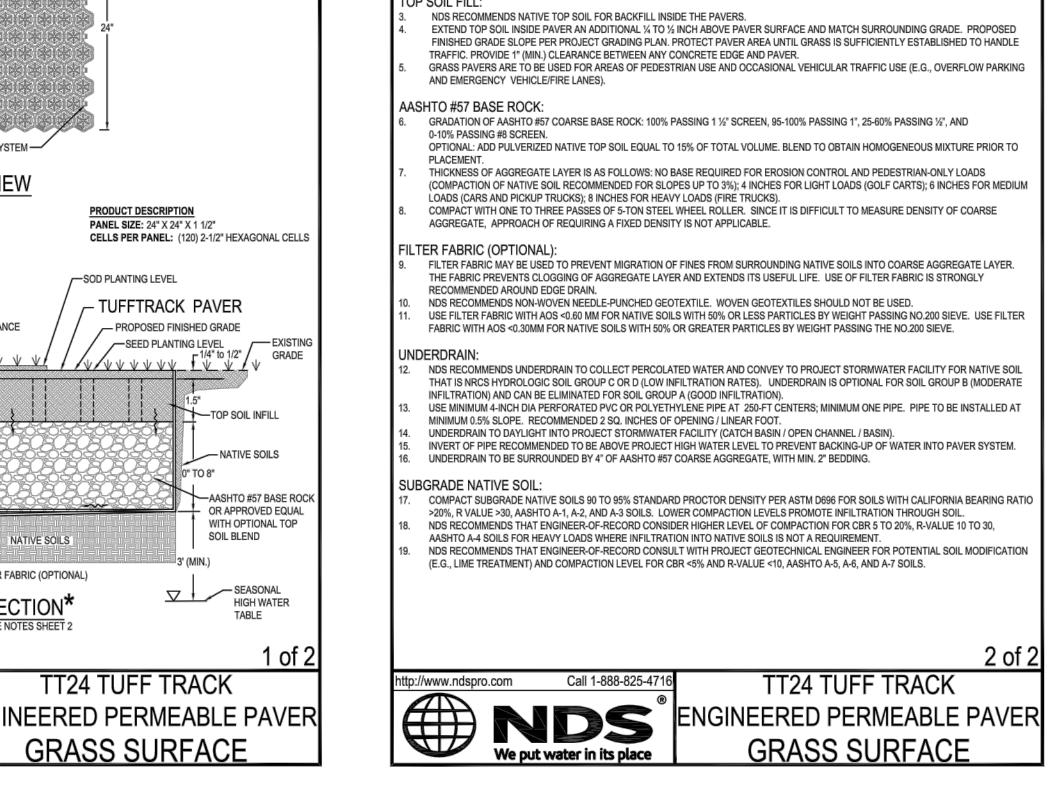












ENGINEERING PROPERTIES:

COMPRESSIVE STRENGTH OF TT24 PAVER:

POROSITY OF AASHTO #57 AGGREGATE = 0.4

EMPTY PAVER: ULTIMATE LOAD = 86,563 LBS / 601 PSI FILLED PAVER: ULTIMATE LOAD = 400,000 LBS

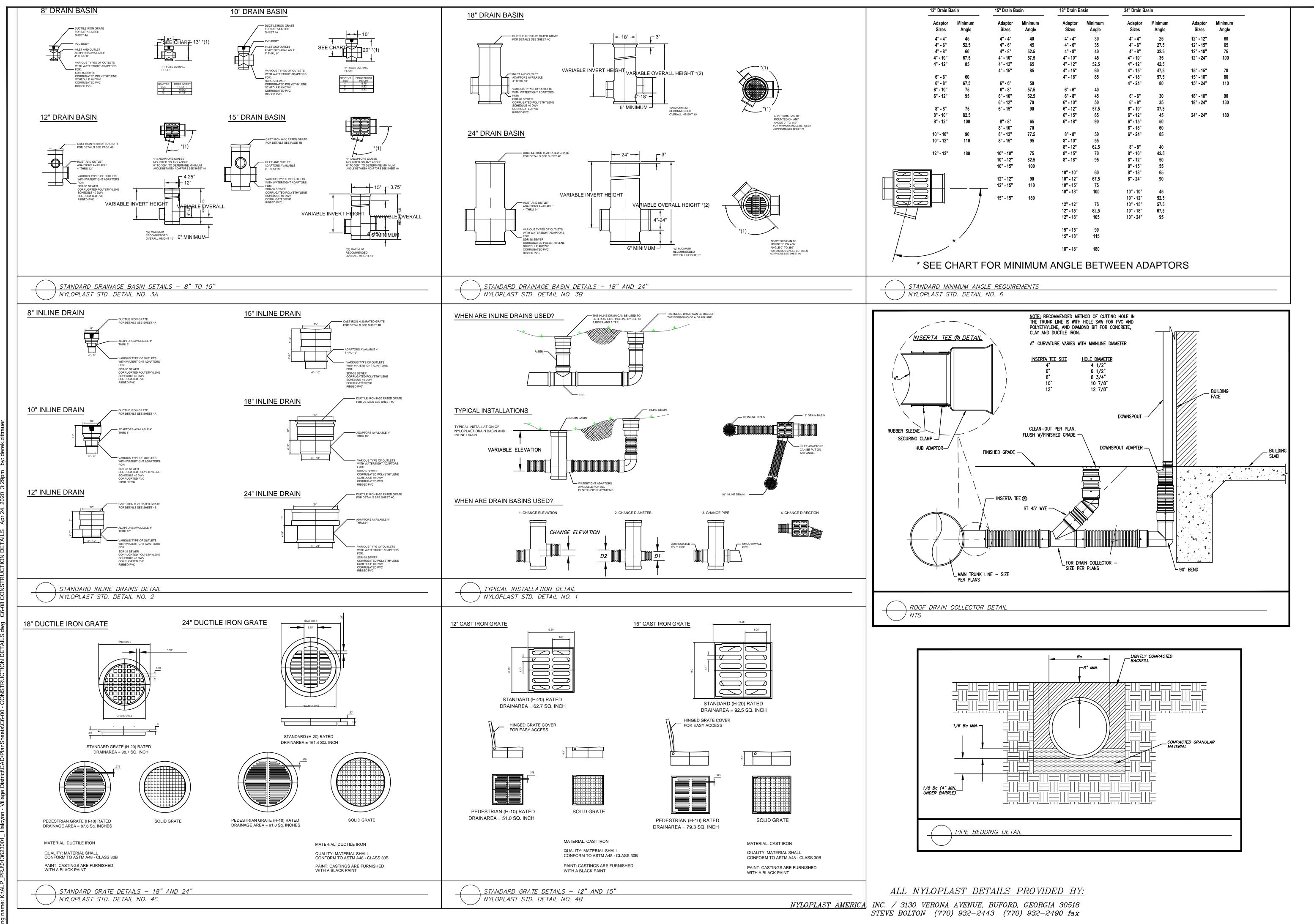
VILLAGE CENT SS 1100, 1300, 14 HALCYON BUILDINGS

(LEVEL II) 0000076500 DRAWN BY

DESIGNED BY REVIEWED BY 04/24/2020 PROJECT NO. 013623001

CONSTRUCTION **DETAILS** 

C6-07



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HALCYON VILLAGE CENBUILDINGS 1100, 1300, 1



GSWCC NO. (LEVEL II) 0000076500 DRAWN BY DESIGNED BY REVIEWED BY

04/24/2020 PROJECT NO. 013623001

CONSTRUCTION **DETAILS** 

**C6-08**