



## CONCEPTUAL NARRATIVE

### **Maileg North American Headquarters**

517 Jones St.

Prepared by Smith Dalia Architects

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### **Introduction**

Smith Dalia Architects is pleased to present the following narrative as part of the design for a new Headquarters for Maileg Inc. This narrative supplements the Concept Design Package. Additional Narratives from Structural, Mechanical, Electrical, Plumbing and Fire Protection will be included as exhibits to this document. These are intended to provide a general basis of design for anticipated building components, to establish a level of project quality, and to guide in the creation of an initial cost estimate for the project.

### **Project Description**

Maileg North American Headquarters is proposed to be office, showroom, retail and warehouse/distribution for the bespoke Danish toy manufacturer Maileg. The project is an adaptive use one story 30,000 s.f. warehouse building in Atlanta's English Avenue neighborhood on a 1.5 acre site fronting Northside Drive with address at 517 Jones Avenue. The newly completed Beltline/Path Extension borders the property on the West.

The existing 30,000 s.f. building is intended to be lightly renovated, a +/- 6,000 s.f. new construction addition is proposed for office and showroom. It is assumed that this new construction will reflect Maileg's distinctive character and aesthetic.

Site design will include renovation of existing parking areas to incorporate new construction building and to accommodate the expected truck access and facility parking. It is assumed that the perimeter of the site will require streetscape renovation and that stormwater management will be necessary to accommodate the new construction.

## Project Narrative

Site Demolition. Remove existing paving, curbing, sidewalks, and vegetation as necessary to construct the new work.

Building Demolition . See Conceptual Design Package, sheet A020 Demolition for additional information. Assume demolition of all interior components of the building including, but not limited to walls, mechanical, electrical and plumbing.

Streetscape. Follow City of Atlanta standards, including 6" granite header curb and standard streetlights.

Paving. Assume all new paving on site. Vehicular circulation and parking shall be 4" reinforced concrete designed for light vehicular circulation in parking areas and 5" reinforced concrete designed for light truck circulation at loading docks.

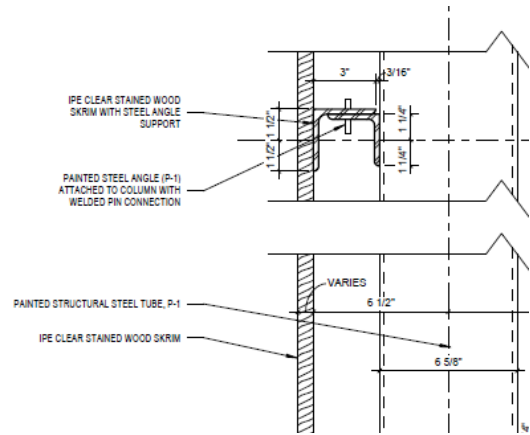
Site Hardscape. Entries and plaza sidewalks, ramps, and pads shall be 4" reinforced concrete. Brushed finish shall be typical. Entries and plazas shall have upgraded finishes (salting, washing to partially expose aggregate, etc.) All hardscape to follow ADA standards.

Site Landscape. All unpaved disturbed areas shall be permanently stabilized through a combination of landscape plantings. Plantings shall be durable native species and include a combination of trees, shrubs, and groundcovers. All planting areas shall be mulched with composted hardwood mulch. All plant material shall be warranted for one year after installation.

Site Utilities. Water, fire, sanitary & storm sewer, electrical, and gas are all present on site. Relocate or remove existing utilities as necessary to construct the new work. New installations shall be to typical standards for the appropriate municipality or utility service (City of Atlanta, Georgia Power, etc.)

Exterior Walls. Provide water-resistant fluid-applied vapor-permeable air barrier at exterior face of all new exterior wall assemblies. New wall assemblies shall achieve a minimum of R-19, with R-3.8 rigid insulation on the exterior side of the sheathing. Provide a 3-coat stucco system behind the vertical fin wall.

Vertical Fin Wall. New Building shall receive a vertical fin curtain wall. Two options are being considered: See next page and provide estimated pricing for both options.



Wood Batten Louver System

Project goal is a thin wood scrim that sits proud of building on a metal sub-structure and passes over window and wall. Assuming wood spacing @ 6". Provide a coordinating IPE wood siding for a small section of wall on the North Elevation.



Metal Louver System

Project goal adjustable metal louvers.

BOD Alucobond - Alufoil

Provide coordinating metal wall panel for small section of wall on North Elevation

Exterior Openings. Clerestory windows, single story storefront and punched openings shall be aluminum framed storefront with a combination of fixed and operable units. Curtain-wall and storefront shall be by the same manufacturer, thermally broken with Kynar 500 finish. Glazing shall be 1" Solarban 60 insulated lowe units, typical.

Skylights: Number as indicated on plans. Acrylic dome skylight with extruded aluminum frame and thermal break.

Interior Storefront. Frameless glass panels with butt glazing. Doors within system to be frameless glass pivot doors



Interior punched openings. Labeled as "Window A" on plans to be low profile black frame cased with offset steel plate casing. Similar look above.

Roof Construction.

New roof construction shall be 60 mil self-adhered TPO membrane on rigid insulation. The assembly shall achieve R 30, minimum. Provide full manufacturer's system warranty for 30 years.

Existing Roof. 3 Options to review

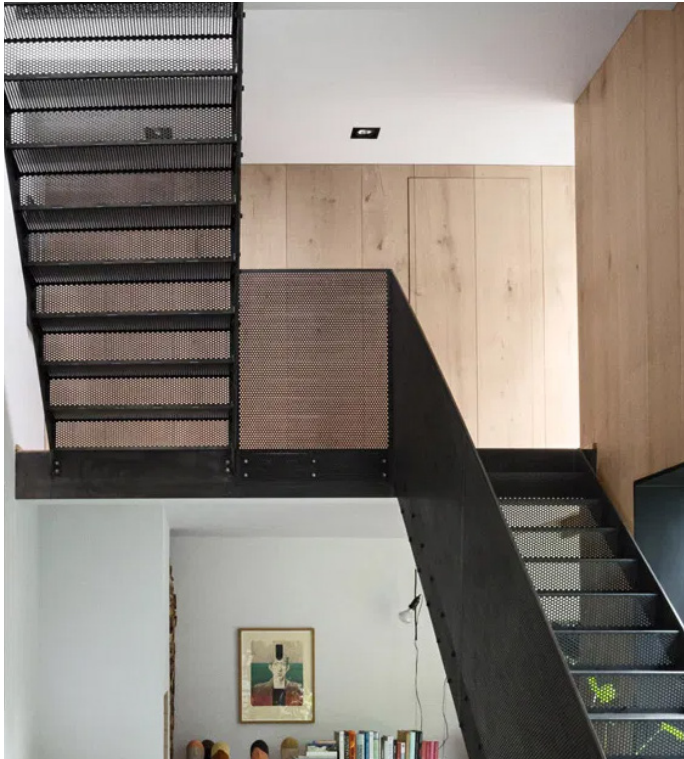
**Option 1, low touch.** Repair existing roof in kind.

**Option 2, high touch.** Remove and replace existing roof to structure.

Build back with a 60 mil self-adhered TPO membrane on 2" rigid insulation. Insulate deck from below with spray insulation.

**Option 3. Green touch.** Remove and replace existing roof. Provide additional bracing as described in Structural Narrative for green roof support. Build back with 5" rigid insulation, and hydra-tech, or similar, extensive green roof system. Build up existing parapets to accommodate new roof height.

Stairs, guardrails and handrails. Typical interior stair shall be custom metal mesh with custom concrete treads, landing, and steel guardrail assembly. Components to be fabricated to Architecturally Exposed Structural Steel (AESS) standards. See below for precedent image.



Doors & Hardware. Typical exterior doors shall be part of the curtainwall or storefront system outlined above. Provide power door operators with electric auto-equalizer at all exterior entry doors on the accessible path. Typical interior doors shall be solid-core flush wood doors, AWI Custom Grade, beechwood with transparent finish. All door hardware shall be heavy duty (Grade 1) with universal lock cores accepting 7-pin master keying system.

#### Finishes

##### Warehouse

- Seal and repair existing concrete floor
- Paint exterior walls and interior structure. Leave existing masonry walls exposed.

##### Office Bldg

- New engineered beech hardwood floors throughout.
- Provide hard plaster ceilings in all rooms. Provide acoustic plaster in open work rooms and conference rooms.
- Utilize finished stain grade beech plywood on “exterior” side within warehouse structure as indicated on plans.

##### Restrooms

- Porcelain tile on floors over waterproofing membrane and/or cementitious backer board. Include low VOC mortar, grout, sealant, adhesives, etc.
- Ceramic tile on walls. Assume full height on wet wall and 40” tile wainscot on all others.
- Toilet Accessories. Toilet partitions shall be stainless steel with stainless steel connectors and accessories, floor-anchored and overhead braced. Provide the following stainless steel toilet accessories at group and individual restrooms: mirrors, double roll toilet tissue

dispensers, seat cover dispensers, combination paper towel dispenser/waste receptacles, countertop-mounted soap dispensers, and surface-mounted grab bars.

#### Retail

- Seal and polish existing concrete floors
- Provide drop ceiling from structure, apply beechwood veneer planks over ceiling finish.

Finish Carpentry. Provide allowance for stain-grade wood casework as indicated on plan Ac-count for both upper and lower cabinetry. Provide 2cm quartz counter tops.

Gypsum Wall Board (GWB). 5/8" thick rated and non-rated gypsum wall board at new walls. Run to structure with sound attenuation batt insulation, typical. Provide non-sag gypsum wall board at ceilings. Provide moisture-resistant GWB below grade, all Restrooms, and Break Area walls Provide abuse resistant GWB at Lobby and Corridors.

Painting. Typical paint shall be low-VOC latex, unless surface to be painted requires otherwise. Prime all surfaces, then 2 finish coats.

Signage. Provide ADA-compliant interior signage with raised borders. At a minimum, the following are considered permanent rooms and must include compliant signage: offices, restrooms, stair/floor markers, elevators, and service rooms.

#### Appliances.

In Upper and Lower Breakroom provide: Double bowl sink and disposal, 24" dishwasher, 36" Fridge

Fire Extinguishers and Cabinets. Provide UL-rated multi-purpose dry chemical fire extinguish-ers in recessed Cabinets, typical. Cabinets shall have cylinder locks with all cabinets keyed alike.

#### **Alternates**

In addition to the items listed in this Narrative. Provide a breakout for the cost to provide an additional 500 sqft of conditioned elevated office within the warehouse footprint and continuous with the Office area as laid out in the Concept Drawings.